

Department of Veterans Affairs

Greater Los Angeles Campus



Draft Master Plan

January 28, 2016



Defining
EXCELLENCE
in the 21st Century

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I. Introduction to the Plan

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Introduction

The United States Department of Veterans Affairs (VA) Greater Los Angeles (GLA) Medical Center is part of the larger VA GLA Healthcare System that serves over 90,000 unique Veterans in Kern, Los Angeles, San Luis Obispo, Santa Barbara, and Ventura counties. The GLA campus is located at the major intersection of Sepulveda Boulevard, Interstate 405 (also known as the San Diego Freeway) and Wilshire Boulevard in Los Angeles, California. The campus is located in the densely urbanized Brentwood neighborhood, and encompasses approximately 388 acres. The GLA campus is one of largest medical center campus in the VA system. It provides a full range of medical services to eligible Veterans, including state-of-the-art hospital and outpatient care, rehabilitation, residential care, and long-term care services. It also serves as a center for medical research and education. The GLA Medical Center serves as a major training site for medical residence in partnership with the David Geffen School of Medicine the University of California, Los Angeles (UCLA) and University of Southern California (USC) School of Medicine as well as more than 45 colleges, universities and vocational schools in 17 different medical, nursing, and other healthcare and administrative programs

In January 2015, a settlement agreement was reached in the June 2011 lawsuit that a number of lawyers, including the ACLU Foundation of Southern California, filed against VA (*Valentini v. McDonald*) on behalf of several Veterans, the Vietnam Veterans of America, and Carolina Winston Barrie (a descendant of family members that deeded the GLA campus to the United States). The lawsuit alleged that VA violated the covenant contained in the March 1888 deed whereby the United States acquired title to the GLA campus, by misusing parts of it for commercial purposes in lieu of caring for and serving Veterans – namely chronically homeless Veterans with significant disabilities, and other underrepresented Veterans that are severely disabled, aging, or female Veterans.

The settlement agreement reached in *Valentini v. McDonald* was memorialized in a “Principles Agreement” executed between Secretary Robert McDonald and Ron Olson, Esq. of Munger, Tolles, and Olson, LLP law firm. The settlement agreement memorialized VA’s intent to prepare a new Master Plan for the campus to help in VA’s goal to revitalize the campus to be Veteran focused. This goal includes making supportive housing and other services available on campus, so Veterans will have a choice to live on or off campus, and have access to a more welcoming and healing environment in which to live and receive care, services, and benefits to which they are entitled. The Principles Agreement also reflects the intent of VA and the former plaintiffs to work collaboratively in coordination with key Federal, State, local, and community

stakeholders, Veterans, Veteran Service Organizations, and charitable and philanthropic entities, to end Veteran homelessness in greater Los Angeles. A key element of the Principles Agreement was for VA to solicit input and feedback from those stakeholders for this Draft Master Plan.

The Draft Master Plan for the GLA Campus is a framework that will assist VA determine and implement the most effective use of the campus for Veterans, particularly for homeless Veterans, including underserved populations such as female Veterans, aging Veterans, and those who are severely physically or mentally disabled. The primary considerations include: (a) the provision of appropriate levels of supportive housing on the campus, in renovated existing buildings or newly constructed facilities, while taking into account the parties' assessment of available housing units available in the greater Los Angeles community; (b) respect for individual Veteran choices on whether to seek housing at the GLA campus or in the local community; (c) parameters of applicable law, including but not limited to the appropriate integration of persons with disabilities into the community, and applicable environmental and historic preservation laws, regulations, and consultation requirements. (d) need for appropriate levels of bridge and emergency/housing along with short-term treatment services on campus, to provide state-of-the-art primary care, mental health, and addiction services to Veterans, particularly those that are chronically homeless.

VA is now excited about the progress made to date and the future opportunities that lie ahead; to improve Veteran outreach and coordination with all stakeholders sharing in the common goal of improving the overall well-being of Veterans and their families, on and off the campus; to help end Veteran homelessness; to assist Veterans with the transition and reintegration back into community after service to our country, and to be a leader in environmental sustainability. VA cannot solve these problems alone and appreciates the shared commitment of the key stakeholders involved, including the former Plaintiffs in the *Valentini* litigation, Federal, State, and local authorities, Veterans, Veteran Service Organizations, legislators, faith-based organizations, community partners, philanthropic organizations, and the local community.

Background

In March 1888, the United States received a donation of the land now comprising the GLA campus from John P. Jones, Arcadia B. DeBaker, and John Wolfskills, with the understanding and intent for the site to be used to establish a Pacific Branch of the National Home for Disabled Volunteer Soldiers. Shortly after the Korean War, nearly 5,000 Veterans called the campus home. In fact, the federal government maintained this purpose for the property with fidelity until the 1970's, but over years it transitioned into a condensed healthcare and research campus leaving land, housing and amenities unused and in disrepair.

Today the property, comprised of approximately three hundred eighty-eight (388) acres located in the heart of Los Angeles, currently supports one of the largest medical center campuses in the VA system. In this capacity, it provides Veterans with access to a full continuum of healthcare services in a range of treatment environments including hospital, residential, long-term and various outpatient settings. However, at present the campus itself is not authorized to offer resources beyond medical care, such as housing with support, as it had been for many decades prior in accord with its original charter as a home for disabled Veterans.

With this context in mind, it is well known that homelessness among Veterans is a serious problem and, according to a recent report, that the State of California alone accounts for one-

quarter of the nation's homeless Veteran population. Further, VA and HUD data indicate that approximately 10% of the nation's homeless Veteran population is concentrated in one region, namely LA County, significantly more than any other such region in the United States. Of note, this same part of the country also accounts for the nation's highest numbers of new Veterans currently returning from Iraq and Afghanistan as well as the highest number of female Veterans, populations that may be at risk for becoming homeless.

Though there is no argument that medical care is of the utmost importance for Veterans in general, many need additional resources, especially those struggling with social issues that include (or increase the risk for) unstable housing and/or frank homelessness. In recent decades, Veteran needs and vulnerabilities have grown in both size and scope due to the large population from earlier eras that is aging and the return of a new generation from recent conflicts that presents an unparalleled set of reintegration challenges requiring a range of non-medical resources to be fully addressed.

On-Campus Housing

Consistent with the Deed of 1888, utilizing the GLA campus to develop on-campus "homes" is a critical component to the local solution for ending Veteran homelessness. Not only can on-campus housing help fill LA's well known shortfall in housing inventory and mitigate its exorbitant real estate market, but the property itself offers an attractive choice for the most disabled and medically compromised Veterans who will prefer to live on this historic site in LA's west side as opposed to elsewhere in the community. Perhaps most importantly, campus-based housing will provide a clinically indicated option for the neediest aging, chronically homeless, and other vulnerable Veterans who will have better life outcomes in this type of enriched environment.

VA recognizes that it cannot solve Veteran homelessness alone and that it will take the combined, coordinated efforts of the entire local community to solve this problem. As such, campus-based housing must be carefully planned to help ensure the development of a safe and dignified community that functions effectively in its own right but also one that operates in coordination with surrounding neighborhoods as well as other care and service entities located off campus.

Master Plan Input, Goals, and Vision

Key to the creation of a successful master plan, and stipulated in the Partnership Agreement, was the need to solicit input from a full range of stakeholders in determining how best to use the campus in a Veteran-centric manner so that Veterans living on or visiting the campus will be able to experience superior care, support, convenience, and customer service. The results of this outreach, which included input from thousands of Veterans in working sessions throughout LA county, a public comment period that collected a record number of entries (1002) on the federal register and several surveys led to the goals below which have been used drive the Plan.

1. Use the planning process to create a 21st Century model for Veterans' care that honors those who have served our nation and serves as a symbol of national pride and innovative change.
2. Revitalize the site to its intended purpose as a home; a vibrant community that includes the

development of high quality housing tailored to priority Veteran subpopulations with robust supports that promote wellbeing and holistic, strength based services to augment existing structure of healthcare services.

3. Ensure transparency and accountability in land use and partnering decisions by engaging Veterans in the process that underlies the site's revitalization.
4. Make certain that all on-site programs, activities, resources and initiatives are offered in a culture that prioritizes the needs and wants of Veterans from every service era, and their families.
5. Develop a variety of high quality supportive housing that is tailored to the needs of vulnerable veteran sub-populations populations (e.g., chronically homeless, severely disabled, aging veterans with disabilities, females with dependents and other Veterans suffering from significant trauma and addictions disorders that have experienced housing instability) who have been prioritized to live on-site.
6. Offer user-friendly access to a holistic set of resources provided on-site for the benefit of Veterans and their families whether living on campus or residing elsewhere in the greater Los Angeles community.
7. Interconnect campus operations in real time with available off-site resources including VA facilities, state, county, city, neighborhood systems, Veteran Service Organizations and non-profit organizations.
8. Create opportunities on campus for all Veterans to interface safely and network constructively with the community at large and in the process facilitate their successful reintegration into civilian society.
9. Optimize the site by maintaining its legacy as a home wherever possible through restoration of original structures, thoroughfares, open space, trees and natural terrain while developing new facilities that are compatible with the home's scale and character.
10. Create a safe, secure sustainable campus that is not fully reliant on VA funds for development and operations of housing and services while ensuring future land use activities beyond the providing of healthcare, benefits, and memorial services, directly benefit Veterans and their families, and help foster a culture where Veterans are welcome and free to engage with each other, their families, VA personnel, and other stakeholders, to help improve their lives and overall well-being.

The Draft Master Plan that follows in this document describes a framework and vision of how the GLA campus can once again provide a home for those Veterans most in need by offering on-site housing with individualized support to augment its resources as a medical center campus. Of paramount importance to the vision, therefore, is the development of various campus-based options for permanent supportive housing (homes and apartments) as well as temporary, triage-based housing (emergency, bridge and transitional) in adequate quantities to have a robust impact on the overall homeless problem in LA. Such inventory will need to be co-located on campus with state-of-the-art care for homeless, elderly and women Veterans including robust mental health and addiction services that are easily accessible. In addition, the campus will need to be structured and operated according to evidence-based homelessness

prevention and urban planning sciences, consistent with best practice approaches such as the Housing First model described in Section II.

To both augment and complement housing-focused development and homeless support services, the Draft Master Plan describes how various campus-based resource options can be put in place to address not only the needs of Veterans suffering in the streets today, but also ways it can be used to help other Veterans avoid joining the homeless ranks down the road. As such, the Draft Master Plan sets the stage for pursuing a land use plan that promotes the wellbeing of both homeless and/or otherwise vulnerable Veteran populations and at the same time leverages the property to serve as a catalyst in life for those Veterans who seek access to core reintegration-oriented opportunities such as alternative healthcare modalities, education, training, employment, benefits, legal, and spiritual services, as well as entrepreneurial, recreational, and social activities.

With the adoption of this Draft Master Plan, VA confirms its intent to create a 21st Century campus by renovating and protecting the property's historic features and functions as a home, expanding its resource offerings to meet current demands, enhancing its open spaces and natural features, improving its internal navigability and circulation, and optimizing its connection to the greater community, all in the interest of supporting LA's Veteran community in the broadest sense. As such, the Draft Master Plan commits VA to developing and operating the campus as a safe, welcoming, vibrant and sustainable community where Veterans, including women, disabled, and elderly in particular, will feel comfortable and proud accessing the resources they have earned.

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A. Housing Analysis and Recommendations

Introduction

As described in Section V. Master Plan Development, the key purpose of the Draft Master Plan is to establish the most effective use of the campus for Veterans. Homeless Veterans, including aging Veterans, Veterans with high medical needs, female Veterans, aging Veterans, and Veterans suffering trauma as a result of military sexual trauma or domestic violence, are of particular focus. Further, as articulated in the Introduction section of the Draft Master Plan the Principles for Partnership necessitates VA to consider the availability of community housing beyond the GLA campus and then provide for appropriate levels of bridge housing and permanent supportive housing, utilizing the Housing First model on the campus. A core tenet of Housing First framework is respect for Veteran choice regarding whether to seek housing on the GLA campus or in the greater community. The Principles for Partnership also requires that the envisioned master plan to comply with applicable laws, codes, ordinances, and regulations, including those regarding the integration of disabled Veterans into the community, and those pertinent to the environmental and historic preservation. This section assesses the current and projected need for permanent supportive and bridge housing, as well as plans to address those needs.

Veteran Demographics and Demand for Housing

This section contains an overview of Veteran demographics in the GLA market, including the current and projected Veteran population in the region, the current and projected homeless Veteran population and a summary of the characteristics of the local homeless Veteran population.

Veterans in the Region, Current and Projected

The VA GLA Health Care System, of which the GLA Medical Center is a part, serves Veterans throughout Kern, Los Angeles, San Luis Obispo, Santa Barbara, and Ventura counties. Those counties collectively are home to about 435,000 Veterans. The GLA Healthcare System is a part of VA Network 22, which includes facilities in Los Angeles, Long Beach, San Diego, Loma Linda, and Las Vegas, Nevada. 70% of the Veterans in the GLA Healthcare System region live in Los Angeles County. Because many studies have found that most Veterans prefer to and do live in the communities from which they come, the estimates of housing needs to be met, in part, by the GLA campus, are based on the needs of those in Los Angeles County. VA projects that the number of Veterans in Los Angeles County will decline 32.7% from 301,821 in September, 2015 to 203,101 in September, 2025.

The Los Angeles County Veterans Study conducted by researchers at University of Southern California (USC) found that Veterans in Los Angeles County face some exceptional challenges. They found an unemployment rate of 24% for pre 9/11 Veterans and 28% for post 9/11 Veterans. Housing presented a particular challenge for Veterans transitioning out of the military: 40% of Los Angeles County Veterans did not have a permanent place to live when leaving the military. In the USC study, one in five (20.7%) post-9/11 Veterans and nearly one in three (29.7%) of pre-9/11 Veterans reported unstable housing, placing them at increased risk for future homelessness.

Homeless Veterans in the Region, Current and Projected

In January 2015, communities across the country conducted a "Point In Time" (PIT) count of homeless persons in their jurisdictions. Each community reports as a "Continuum of Care," or CoC. In Los Angeles there are four CoCs: Long Beach, Pasadena, Glendale, and the remainder of Los Angeles County, including the City of Los Angeles. In January, 2015, the Los

Angeles CoC reported counting 4,016 homeless Veterans, far more than any other CoC in the United States. For Los Angeles County as a whole, the number counted was 4,366. New York City, with 1,558 homeless Veterans, was a distant second. In 2015, Los Angeles County accounted for one in 11 of the homeless Veterans in America. Los Angeles County accounted for 88% of homeless Veterans in the five-county GLA Healthcare System service area.

According to a recent report by the Center on Budget and Policy Priorities in 2015, California accounts for 24% of the nation's homeless Veteran population, and VA and HUD data indicates that approximately 10% of the nation's Veteran homeless population is concentrated in the greater Los Angeles area. The GLA community also accounts for the highest numbers of Veterans returning from Iraq and Afghanistan, female Veterans, and chronically homeless Veterans in the nation.

In addition to having a large number of homeless Veterans, the Los Angeles area has a very high proportion of unsheltered homeless persons, including homeless Veterans. In the Los Angeles CoC in 2015, 68.8% of homeless Veterans surveyed lacked even a shelter bed, compared to 40% nationally.

In recent years, thanks to a large infusion of resources from HUD and VA, primarily in the form of vouchers under the Housing and Urban Development – Veterans Affairs Supported Housing (HUD-VASH) and the Supportive Services for Veteran Families (SSVF) programs, the number of homeless Veterans in the Los Angeles CoC has declined by 33% since 2009, comparable to a 35% decline nationally. The Los Angeles CoC will conduct another PIT Count in late January 2016.

Longer term projections are difficult because they depend on a complex array of factors that are difficult to predict. As the capacity and effectiveness of homelessness prevention and housing programs increase, one expects to see a further decline in the number of homeless Veterans in the region, albeit other factors – notably the sharp rise in housing costs – may slow progress. Similarly, Veterans are continuously both entering and leaving the ranks of the homeless. There are reasons to expect an increase in homelessness among post-9/11 Veterans, particularly those who served in Iraq and Afghanistan. The incidence of PTSD, traumatic brain injury, military sexual trauma, major depression and substance use disorders, often in combination, are all associated with increased risk of homelessness. The incidence of these conditions is higher among post-9/11 Veterans than any previous cohort. In addition, the poverty rate among Veterans ages 18-34 (11.8%) is higher than for Veterans ages 35-54 (8.5%) and is rising. As with non-Veterans, poverty is a major contributing factor to homelessness.

Characteristics of the Homeless Veteran Population in Los Angeles

The characteristics of the homeless Veteran population in Los Angeles can be gleaned from several sources. First, as part of the PIT count for the Los Angeles CoC in January 2015, the Los Angeles Homeless Services Authority conducted a demographic survey of a weighted sample of 3,077 homeless persons and families, including homeless Veterans. This sample was used to make projections regarding the characteristics of the 41,174 homeless persons in the CoC, of whom 4,016 (9.7%) self-identified as Veterans. Second, the GLA Medical Center's former Community Care Service provided information on the patients seen at the facility during FY2015, ending September 30, 2015. During that period, the GLA Medical Center saw 16,072 homeless or formerly homeless Veterans. Their average age was 54.4 years. Female Veterans accounted for 9% and OEF/OIF Veterans 11% of homeless Veterans seen in FY2015.

A large percentage of homeless Veterans are chronically homeless. In 2015, approximately

10.5% of chronically homeless persons surveyed in the PIT count were Veterans (or 32.4% of the homeless Veteran population, which equates to approx. 1,300 Veterans). More broadly, the Los Angeles CoC reported that in 2013, there were 7,475 chronically homeless individuals in the jurisdiction. For 2015, those numbers had risen to 12,356 chronically homeless individuals, an increase of 65% in two years.

Additionally, roughly 53% of new homeless Veteran intakes at the GLA Medical Center in 2015 met the federal definition of chronically homeless. Of Veterans seen at GLA Medical Center in FY2015, approximately 65% were either chronically homeless or had a significant mental health diagnosis and a history of homelessness. The difference between the PIT count and the VA administrative data reflects the sample bias owing to the serious health consequences of chronic homelessness and a resulting higher usage of VA medical facilities.

The GLA Medical Center reported that 70% of homeless patients seen had serious medical issues, such as diabetes, prolonged and complicated hypertension, Chronic Obstructive Pulmonary Disorder (COPD), arthritis, or other cardiac conditions that decrease their life expectancy and increase their risk for premature placement into nursing homes or other institutional care settings. Of the GLA Medical Center new intakes, 59% had behavioral health issues associated with psychiatric illness, substance abuse, or both. Co-morbidities of both health and behavioral health problems are common.

Homeless Veterans who are not chronically homeless face the same challenges as other homeless individuals whose homelessness was of shorter duration or who had, in federal parlance, no disabling condition. Among the greatest of these challenges is the mismatch between available income and the high and rising costs of rental housing in the Los Angeles area. In 2014, California had one of the highest Veteran unemployment rates (7.4%) in the country. A 2014 study by researchers at USC found that nearly a quarter of employed Veterans in Los Angeles County were earning less than the poverty level. At the same time, the median rent in 2015 for a 1-bedroom apartment in Los Angeles County was \$1,201 per month; which puts Los Angeles in the top 4% of the counties with the highest rent in the United States. Unemployment rates and housing costs will vary over time with the economy. The associated homelessness is also likely to be more transitory and variable, both at the individual and population levels. The prevalence of disabilities affecting an individual's ability to participate in the labor market is likely to remain stable and thus there is a high likelihood that the incidence of chronic homelessness will persist.

Overview of Housing for Veterans in GLA Market

Types of Housing

Veterans, including homeless Veterans, are competing for housing in an increasingly tight market in GLA where rental vacancy rates are less than 3%. Housing is at a premium in Los Angeles. There is a significant need for more affordable housing in this market and that the GLA Draft Master Plan is a critical component of the larger community's plan to end homelessness among Veterans.

The type of housing that a Veteran pursues in the GLA market depends on his or her unique needs and preferences. These housing types include, but are not limited to the following:

- **Private rental housing** is community-based housing unaffiliated with any social program.
- **Permanent supportive housing (PSH)** is long-term, community-based housing with supportive services for people experiencing or at risk of homelessness, including those with disabilities.

- **Transitional/bridge housing** is time-limited housing that aims to facilitate the movement of homeless individuals and families to permanent housing within a reasonable amount of time (usually 24 months). Veterans typically do not sign leases for transitional housing units.
- **Domiciliary** is a VA-operated residential short-term treatment program for Veterans with multiple and severe medical, mental health, addiction or other conditions.
- **Assisted living** is housing with services for the frail elderly and people with disabilities who can live independently but need assistance with activities of daily living.
- **Nursing homes** are residential care facilities for people who cannot live independently and require 24-hour care.

For purposes of this Draft Master Plan for the GLA campus, the housing types to be included are PSH, transitional/bridge housing, and the VA Domiciliary. These types of housing are best suited meet the needs of Veterans who may choose to live on the GLA campus. The Draft Master Plan does not include the California Veterans Home, which sits on land no longer owned or controlled by VA.

Permanent Supportive Housing

The focus in this Draft Master Plan on PSH is essential. Per the terms of the original grant of the land, housing on the GLA campus was and is intended to be used as a home for Veterans, or more specifically based on the 1888 deed, housing for “disabled volunteer soldiers.” The PSH focus is also consistent with the first ever Federal Strategic Plan; Opening Doors, which was originally signed in 2010 and then refreshed in 2015.

PSH is generally provided in one of two models. In the first model, often called “project-based supportive housing,” all or a significant proportion of the units in an apartment building are reserved for PSH and many of the supportive services are provided at or near the same location. In the second model, generally referred to as “scattered site supportive housing,” individuals live in housing units scattered throughout the community and the supportive services are provided by mobile providers visiting individuals in their apartments and/or limited on-site services. The operating and supportive services funding for PSH in either model generally comes from a variety of sources. A major source comes in the form of housing vouchers paid directly to the landlord or operator of the facility, through a program like the HUD-VASH or Housing Choice Voucher programs. In project-based supportive housing, the vouchers are assigned to the developer of the project, and serve as a funding stream that can be leveraged, in conjunction with other funding, to generate the capital needed for construction, rehabilitation, and operation of a PSH project.

Housing First Approach and Permanent Supportive Housing

Like other federal and community agencies, VA emphasizes a Housing First model, where the goal is to move a Veteran into housing as quickly as possible, with as few preconditions as possible. Housing First includes not only housing, but also individualized service support. Once housed, the Veteran is much more likely to be able to address any health or mental health problems he or she may have. This policy is based on evidence showing that homeless persons housed in restricted shelter and/or transitional housing programs achieve long-term housing stability at a much lower rate than those housed under a Housing First approach in PSH. Further, as shown in a recent study, communities that added relatively more PSH units over a six-year time period showed more significant decreases in chronic homelessness over time. Studies also indicate that Housing First is cost-effective and saves communities resources, by reducing use of costly emergency room services, unscheduled hospitalizations,

involvement with justice systems and other crisis services. There is substantial research documenting the effectiveness of Housing First. The program is endorsed by the United States Interagency Council on the Homeless (USICH), and is listed in the Substance Abuse and Mental Health Administration's *National Registry of Evidence Based Programs*. Additionally, the model has received recognition and numerous awards including the American Psychiatric Association's Gold Award for excellence in community mental health.

Housing/Rental and Rapid Re-Housing Assistance

It is important to note that Veterans have access to a limited set of housing/rental assistance resources that are not available to non-Veterans. For example, Veterans can access rental housing assistance through the HUD-VASH and SSVF programs.

While the HUD-VASH program is restricted to Veterans who were discharged or released from the military under conditions other than dishonorable, those Veterans who are ineligible for HUD-VASH may be eligible for other PSH. (Note: More information on the availability of HUD-VASH vouchers is providing later in this section). In particular, the Housing Authority of the City of Los Angeles (HACLA) has set aside a substantial number (500) of Housing Choice Vouchers (i.e., Section 8 vouchers) for Veterans not eligible for VA-funded PSH.

SSVF is designed to rapidly re-house homeless Veteran families and prevent homelessness for those at imminent risk due to a housing crisis. The SSVF program is authorized by 38 U.S.C. 2044. SSVF represents an entirely new and wholly unique model for VA. It is the first and only VA program that provides services to Veterans and their families. It is a community-based, competitive grant program that rapidly re-houses homeless Veteran families, and prevents homelessness for those at imminent risk due to a housing crisis. Designed to play a critical role in the goal to end homelessness among Veterans, the focus of SSVF is housing stability. The program's objective is to achieve that stability through a short-term, focused intervention. Like HUD-VASH, SSVF employs a Housing First model. Housing First focuses on helping individuals and families access and sustain permanent rental housing as quickly as possible and without precondition, while facilitating access to those services that will help the Veteran's family keep their housing. SSVF providers focus on increasing income through employment and benefits, while addressing those issues that can interfere with Veteran's housing stability. Legal assistance, credit counseling, needed health care and other supports often play critical roles in sustaining permanent housing and improving quality of life.

SSVF is also different from some other VA programs, in that it provides services to the entire family, not just the Veteran. Eligible program participants may be single Veterans or families in which the head of household, or the spouse of the head of household, is a Veteran. This capability allows SSVF to provide assistance to family members that can aid the Veteran's entire household. For instance, SSVF can help a Veteran's disabled partner gain employment and/or benefits, bringing additional income into the household. Similarly, children can be linked to needed child care services that allow parents to seek and keep employment.

In addition to the required supportive services, SSVF emphasizes housing stabilization and helping Veterans develop a plan for preventing future housing instability. Grantees may also assist participants, by providing temporary financial assistance (TFA), including rental assistance, security or utility deposits, moving costs, or emergency supplies. TFA is paid directly to a third party on behalf of a Veteran for rental assistance, utility fee payment assistance, security or utility deposits, moving costs, child care, transportation, emergency supplies, emergency housing, and general housing assistance.

The greater Los Angeles has the largest number of SSVF providers in the country. Approximately \$62.3 million dollars have been awarded to those providers since the program's inception, to provide homelessness prevention and rapid rehousing services. The GLA Healthcare System's SSVF providers have served over 4,000 Veterans and Veteran families thus far.

Permanent Supportive Housing Supply

The availability of PSH in a community depends on the overall stock of such housing, the turnover rates of its occupants, and the number of homeless individuals who need, are eligible for, and will accept such housing. There is imperfect information about the latter two factors as discussed below, but the stock of PSH in the Los Angeles CoC has been determined with some precision by the Los Angeles Homeless Services Authority (LAHSA). LAHSA has compiled and reported to HUD on the inventory of all housing and shelter for homeless persons and families.

PSH Inventory Excluding Scattered-Site HUD-VASH Vouchers

In the 2015 housing inventory for the Los Angeles CoC, excluding scattered-site HUD-VASH vouchers (for which there is more recent data from other sources, discussed below), there were 4,364 PSH units for chronically homeless persons. 501 of those units were designated for Veterans. Apart from the PSH provided through the HUD-VASH program, the great majority of chronically homeless Veterans must compete with chronically homeless non-Veterans for available PSH units.

Scattered-Site HUD-VASH Vouchers

To date, the GLA Healthcare System has been awarded 5,800 HUD-VASH vouchers. At the end of December 31, 2015, approximately 4,900 of these vouchers were used to provide supportive housing to formerly homeless Veterans. Although HUD-VASH vouchers provide housing of unlimited duration, the annual housing retention rate has been approximately 85% (i.e., a "turnover" rate of about 15% per year). In other words, if all of the HUD-VASH vouchers allocated to GLA Healthcare System were in use, one would expect about 870 vouchers to be available to homeless Veterans each year.

As noted, however, at the end of December 31, 2015, approximately 900 HUD-VASH vouchers were unallocated. Part of this number is explained by the turnover process just described. But about half of these unused vouchers are a function of several other constraints on the use of HUD-VASH vouchers. The success of a HUD-VASH voucher is contingent on the Veteran finding an apartment that meets certain HUD criteria at a rental rate that is equal to or below the established voucher rental rate (see below for more information) and the landlord being willing to accept the voucher.

Attitudes of landlords vary of course, toward both Veterans and persons with disabilities, but this factor adversely impacts the available supply. Prospects are better if VA can provide assurances that VA will assist in resolving any problems that might arise during the tenancy.

The major constraint on supply, however, is the economics of the rental housing market for all prospective tenants. A HUD-VASH voucher pays the same as a Housing Choice (Section 8) Voucher, the amount of which is determined by a rental survey to determine what constitutes a "Fair Market Rent" (FMR) for apartments of varying sizes in the local market. HUD has determined that the FMR for the Los Angeles-Long Beach Metropolitan Area, and thus the standard voucher rate for FY2016, for a one room efficiency apartment in the City of Los Angeles is \$947 per month, or \$1,154 for a one bedroom apartment. Local officials can, and have, sought a 20% augmentation of the FMR based on local market conditions. This means

that the maximum monthly rental rates associated with HUD-VASH vouchers for an efficiency apartment or a one-bedroom apartment are \$1,136 and \$1,384, respectively.

The establishment of an augmented FMR rate for a market does not guarantee that any particular number of apartments is available in such market at the FMR rates. Availability is a function of overall demand from all prospective renters and the turnover rate for units in the price range, among other factors. While there is little directly relevant available data on those points, there is very important circumstantial evidence that the availability is low. Over the past year, at any one time, between 750 and 1,000 homeless Veterans, with HUD-VASH vouchers in hand, have been unable to find an available unit and a willing landlord.

Another indicator of low availability is the time lapse between the date the Veteran receives a voucher, and the date she or he can move into an apartment. Although extensions can be requested, the HUD-VASH program assumes Veterans will be able to locate a unit within 120 days. As of December 2015, however, the average time from enrollment into housing was approximately 130 days. There are other reasons for these problems beyond the objective availability of units in the market. The lack of access to information and the costs of a housing search, particularly for formerly homeless Veterans with limited transportation access to look for housing across a very large geographic area, also play a role. VA has contracted with a housing search provider to assist Veterans with the information gap and increase outreach to landlords, but the number of unusable HUD-VASH vouchers has continued to remain high and the lag time from voucher to lease, much longer than in most rental markets.

Role of Housing Choice in Supply Analysis

A final consideration in how the supply of existing PSH units affects the need for GLA campus housing is the core principle of Veteran choice as to where he or she lives. As a matter of preference, most Veterans will prefer to live in the communities from which they come or with which they are familiar. The goal of scattered-site PSH is not merely to provide long-term shelter, but also to provide stability and increase the ability of a Veteran to build upon pre-existing social networks. The stability and social support may help minimize the period of time that a Veteran will require supportive housing. Moving out of supportive housing into the private housing market is both a positive outcome for the Veteran and also makes enables the HUD-VASH voucher to be repurposed to another Veteran in need.

It is worth noting, however, that there is to some degree a mismatch between the location of the most affordable housing and the communities in which the social networks of Veterans are located. A recent search of the affordable housing database maintained by www.socialserv.com indicated that of the 66 rental locations listing efficiency or one bedroom vacancies affordable to and willing to accept a HUD-VASH voucher, 34 were in either the downtown/Skid Row or South Los Angeles neighborhoods of Los Angeles, or in Compton or Lynwood. While a significant number of homeless Veterans may come from or be familiar with these neighborhoods, it is not the case for all Veterans.

GLA Campus: Future Housing Needs Analysis

Role of the GLA Campus in Ending Veteran Homelessness in Los Angeles and the Country

Ending Veteran homelessness, in coordination with federal and community partners, is a top priority of the Obama administration, Congress, VA, state and local governments. In May 2010, this commitment was memorialized in Opening Doors, the first ever Federal Strategic Plan to prevent and end homelessness. At the core of Opening Doors is the principle that PSH is essential to achieving the mission and that evidence based practices like Housing First need to become common practices. Since the announcement of Opening Doors, which prioritizes the goal of ending Veteran homelessness, GLA has increased its engagement and partnership with federal and community partners to better address the needs of homeless Veterans and those at risk of homelessness. Since the implementation of the plan, there has been significant progress. However, California still has the nation's highest rate of homelessness, including chronic and Veteran homelessness.

The GLA Draft Master Plan presents an opportunity for VA and the community to significantly increase the supply of available PSH and other housing units for homeless and at-risk Veterans in the market.

Guiding Principles for Needs Analysis

In developing this Draft Master Plan and identifying the future estimated number of housing units to be located on the GLA campus, VA collected and reviewed available data, held conversations with numerous stakeholders, and in the absence of hard data in limited cases, made reasonable assumptions. A precise need for PSH on the GLA campus in future years cannot be easily specified.

In such cases of uncertainty, it is important to consider the consequences of either overestimating or underestimating the need. The consequences of an underestimate are that the Draft Master Plan may not allocate sufficient land for PSH development, and land that might have been so used will be committed to other uses (a change in which would be difficult or costly). This could result in the development of too few units of PSH on the campus to meet the Veteran need. The consequence of an overestimate is that the Draft Master Plan will allocate land for future PSH development that may have been better utilized for other purposes or that PSH for Veterans will be developed and will remain vacant for lack of Veteran need or interest.

Given VA's mission and the importance of ending Veteran homelessness, VA took a conservative approach to estimating the PSH need. VA consistently opted for higher estimates of needs, rather than lower ones throughout the analysis process. To effectively mitigate the risk of an overestimate of the future PSH need on the GLA campus, VA proposes to construct or rehabilitate the supportive housing in phases, so as to be able to modify plans as new information and projections become available. Future projections will become more accurate as VA and the community partners improve their information systems to track the variables that affect housing needs on the GLA campus, including the preferences of Veterans choosing housing either in the community or on the GLA campus.

Target Populations

A key purpose of the Draft Master Plan is to set out the effective use of the GLA campus for Veterans, particularly for homeless Veterans with a focus on the following three high need subpopulations: severely physically or mentally disabled Veterans, including chronically homeless Veterans; aging Veterans; and, female Veterans. The prevalence of chronic homelessness is high in these groups of Veterans. These populations were identified as

deserving particular but not exclusive focus for housing on the GLA campus in the aforementioned *Principles for Partnership*.

1) Severely Disabled Veterans, including Chronically Homeless Veterans

Homelessness, especially homelessness among Veterans, is associated with (and sometimes caused by) serious illness, both physical and mental. A national sample of Veteran users of Health Care for the Homeless clinics revealed the following prevalence rates, often in combination: heart disease (39.7%), depression (73%), PTSD (66.7%), anxiety disorders (73%), traumatic brain injury (17.5%), co-occurring mental illness and alcohol/substance abuse (55.6%), Hepatitis C (28.6%) and HIV/AIDS (12.7%). Depending on the acuity of these conditions, the stress associated with traveling to the GLA campus for treatment and therapy may be an insurmountable barrier.

2) Aging Veterans

Of those assessed and receiving care through the GLA Medical Center homeless programs, the average age was 54. The homeless Veteran population has been aging over time, in part because of the high rate of poverty among older Veterans and the aging of the Veteran population overall. Nationally, the poverty rate among Veterans ages 55-64 is 43.2%, rising to 48% for those Veterans over 65. In national samples, older (over 60) Veterans who are homeless have higher mortality rates and die 2.5 years earlier than non-homeless Veterans. Their suicide risk is double that of non-homeless Veterans. In the 2015 Los Angeles PIT count, 25% of homeless Veterans (approximately 1,000 Veterans) were 60 or older.

3) Female Veterans with and without Dependents

In the 2015 PIT data, 8.6% of homeless Veterans were female, effectively the same as the national percentage of 9% noted by VA data. One of the most significant risk factors for homelessness among women is trauma, including Military Sexual Trauma (MST) associated with a sexual assault during military service. A sample of homeless women Veterans in Los Angeles found that MST survivors were 4.4 times as likely to be homeless, compared to a matched sample of housed women Veterans. MST is not limited to women Veterans; however, men are much less likely to report it. Thirteen percent (13%) of respondents to a Department of Defense survey of MST survivors were men.

PSH Unit Projection and Phasing Plan

Based on all the foregoing, we believe it is reasonable to include in the current Draft Master Plan approximately 1,200 units of PSH on the GLA campus. Approximately 1,200 new PSH units on the GLA campus will significantly increase the supply of PSH units in the GLA market. The homeless Veteran and chronically homeless Veteran populations in GLA as of 2015 were 4,366 and approximately 1,300 respectively. Given the limited turnover and vacancy in the existing PSH stock, which includes the 4,364 units identified by the GLA CoC and the 5,800 HUD-VASH vouchers in circulation, the infusion of roughly 1,200 new PSH units has the potential to make a big impact. This planning analysis will be refreshed at least every three years utilizing the most current community and VA data available to establish current housing needs and supply targets.

In order to help meet the current and immediately foreseeable urgent need for additional PSH for Veterans to meet the national goal of ending Veteran homelessness, VA will begin facilitating the private development of approximately 490 units of PSH on the GLA campus and identify siting consistent with this plan for the remaining approximately 710 units. It is important to note that the average project size to receive a competitive award of Federal Low-Income Housing

Tax Credits in California from 2013 through 2015 was approximately 60 units, which would mean that the first phase of the Draft Master Plan would be equivalent to approximately eight separate PSH projects.

To address the immediate housing needs, VA will need to continue coordination with transitional housing providers to assist them in converting beds to bridge housing. These beds will provide more capacity to immediately aide Veterans exiting the streets and begin the process of securing and maintaining a home either on the GLA campus or in the community.

B. Proposed Veteran Services' Enhancements

Introduction

The GLA Medical Center, a Joint Commission accredited, complexity level 1a facility, is part of the larger GLA Healthcare System that serves Veterans in Kern, Los Angeles, San Luis Obispo, Santa Barbara, and Ventura counties. The GLA Medical Center is located in West Los Angeles, California and the outpatient clinics are located in Bakersfield, Downtown Los Angeles, Gardena, San Luis Obispo, Sepulveda, East Los Angeles, Lancaster, Oxnard, Santa Maria, and Santa Barbara (see Figure II-1 below).

Figure II-1: GLA Healthcare System Catchment Area



The GLA Healthcare System has 964 operating and authorized beds, over 5,000 employees, and an annual operating budget of approximately \$900 million. The GLA Healthcare System provides comprehensive acute, emergency, ambulatory, and tertiary care to Veterans, while also maintaining a strong medical education and research focus. It is also part of and serves Veterans from the Veterans Integrated Service Network (VISN) 22 - VA Desert Pacific Healthcare Network. VISN 22 is one of the larger VA Networks of healthcare within VA encompassing southern California and Arizona.

In FY 2015, GLA cared for just over 90,000 unique Veterans, including approximately 1,347,000 outpatient visits and 7,367 inpatient hospitalizations. The facilities provide state-of-the-art healthcare services for Veterans, including acute inpatient, outpatient, rehabilitation, residential, and long-term care. Comprehensive healthcare is provided to Veterans through a Patient Aligned Care Team (PACT) model with Primary Care-Mental Health Integration within the PACT. Specialty care services are available in all disciplines of medicine, surgery, mental health, physical medicine and rehabilitation, neurology, and dentistry.

The GLA Medical Center also serves as a center for innovation and clinical education with one of the largest research programs within VHA and a wide range of academic affiliations encompassing nearly all clinical disciplines. In addition to these broad-ranging programs, The GLA Medical Center supports geriatric research, education, and care center and provides comprehensive geriatric care to meet the needs of aging Veterans. This support includes acute

rehabilitation beds, and long term Community Living Center (CLC) beds at both the GLA and Sepulveda campuses. GLA also provides comprehensive cancer care and radiation oncology services.

VA understands that service members encounter a series of needs as they transition out of the military. These include securing employment and housing, addressing physical or mental health issues and adjusting to civilian culture. The ease through which this transition is made has a profound impact on post-service well-being.

The following eleven categories of service are the focus of services to be provided on the campus in services-rich areas in order to optimize Veteran wellbeing:

- 1) Self-care instruction and volunteerism
- 2) Peer-support specialist services (including a concierge)
- 3) Family and caregiver support (including child-care)
- 4) Housing (emergency, triage, bridge, transitional and permanent)
- 5) Integrative (non-traditional, alternative) healthcare
- 6) Occupational therapy and healing arts
- 7) Forums for traditional and non-traditional spiritual practice
- 8) Education, vocational training and job placement
- 9) Benefits, financial coaching and a full range of legal services
- 10) On-site employment and entrepreneurship
- 11) Recreation (individual/team sports, entertainment and leisure)

Selected VA Programs and Services Available to Homeless Veterans

Ending Veteran homelessness, in coordination with stakeholders, including federal, state, and local authorities, Veterans, Veteran Service Organizations, the plaintiffs in the *Valentini* litigation, legislators, charitable organizations, and community partners, is a top priority of the Obama Administration and VA. To meet this challenge, VA launched a comprehensive, evidence-based and outcome-driven strategy. VA's strategy is consistent with Opening Doors (the Federal Strategic Plan to Prevent and End Homelessness), which calls for the adoption of partnerships among federal, state, and local governments, as well as service organizations, to increase access to stable, affordable housing—by prioritizing evidence-based services such as Housing First.

Transitional Housing

The majority of transitional housing units are in the community, but some are located on the GLA Medical Center campus. Some of these units are focused on rapid stabilization, and are utilized to help quickly transition a Veteran to permanent housing. These are called emergency housing or bridge housing units. The GLA Medical Center funds a number of emergency, transitional, and board and care housing programs on the campus.

Transitional housing generally lasts for a limited time period and is not considered the Veteran's permanent residence. The length of stay can range from weeks up to 24 months. The programs are focused on reconnecting Veterans to independent housing, healthcare services, and employment. While in the transitional housing, Veterans work on individual goals focused on housing, employment, savings, and self-determination. Currently, the GLA Medical Center funds more than 1,300 transitional housing units in the community, many of which are funded through VA's Homeless Providers Grant and

Per Diem Program (“Grant and Per Diem Program”).

The Grant and Per Diem Program is a time-limited program that provides housing with supportive services to homeless Veterans as they transition from the streets back into the community. VA’s Grant and Per Diem Program funds VA’s public and non-profit partners who acquire and/or develop and operate the housing. The Grant and Per Diem Program provides a mechanism to assist public and non-profit private organizations in establishing and operating service- programs for homeless Veterans. VA awards capital grants and operational funding (per diem) and monitors the services provided to ensure the best quality of care.

VA offers the program as funding permits to community-based agencies providing transitional housing or service centers for homeless Veterans. Under the Capital Grant Component, VA may fund up to 65% of the project for the construction, acquisition, or renovation of facilities, or to purchase van(s) to provide outreach and services to homeless Veterans. Per Diem is available to grantees to help off-set operational expenses. Programs not seeking a Capital Grant may apply for Per Diem only under a separate announcement published in the Federal Register. The GLA Medical Center provides support for the largest Grant and Per Diem Program in the country with numerous non-profit community partners and approximately 1,100 operating beds at the end of FY 2015.

Domiciliary and Other Short-Term Treatment Programs

In addition to transitional housing and the Grant and Per Diem programs, VA provides short-term treatment services for homeless Veterans. The GLA campus is home to a 296-bed domiciliary program, which prioritizes treatment services to homeless Veterans with addiction, and co-occurring mental health and substance use treatment needs. Lengths of stays for these programs average approximately 120 days, and while in these programs, Veterans receive mental health and addiction services. Upon the conclusion of the program, VA staff assists with placing participating Veterans in housing and aftercare treatment programs.

A second type of short-term treatment located on the GLA campus is the 55-bed Compensated Work Therapy Transitional Residential (CWT/TR) Program. This program offers comprehensive psychosocial rehabilitation services, so that Veterans can develop sufficient skills, income, and natural supports to re-enter the work force, and live independently in the community. CWT/TR provides a stable residential environment, while providing Veterans with therapeutic support, employment services, and life skills training. The overarching goals are for Veterans to live and work at their highest levels of ability, and function in their environments of choice.

Permanent Supportive Housing, Rapid Re-Housing and Homelessness Prevention Programs

VA’s transformational effort to end Veteran homelessness has resulted in several new service models for homeless Veterans and Veterans at-risk of homelessness and their family members, most notably the Supportive Services for Veteran Families (SSVF) program, and a significant expansion of the Housing and Urban Development (HUD)-VA Supported Housing Program (HUD-VASH). These models promote a more person-centered and collaborative approach, which prioritizes connecting Veterans to permanent housing, healthcare, and other supportive services, including employment opportunities that promote sustainable income, greater community reintegration, and

improved quality of life. To support the goal of ending Veteran homelessness, VA not only provides core primary and specialty healthcare services, but also seeks out and provides specific homeless services to Veterans in need of assistance.

Homeless services have core functions that include: street outreach, rapid connections to housing, healthcare, jobs, and other supports that promote community reintegration. Street outreach is a fundamental component of the HUD-VASH program, in particular, where VA staff and non-VA Veteran peers, formerly homeless Veterans helping other homeless Veterans, social workers, and nurses, meets with homeless Veterans on the streets daily. Outreach staff also visit shelters to engage homeless and at-risk Veterans and connect them to healthcare, housing, and benefits as needed to end their homelessness.

A key aspect of outreach is to know the Veterans by name, to know their needs, and to engage them on a consistent basis. Sharing information across outreach teams and sites, using a Housing First approach to focus on permanent housing connections, and collaborating with other healthcare providers, community agencies, law enforcement, and justice programs, are all requirements of a successful outreach program. In order to maximize resources and to minimize the duration that a Veteran experiences homelessness, VA, in partnership with the GLA community, participates in a coordinated entry system, which matches individuals and households experiencing homelessness to appropriate housing and services, based on need.

HUD-VASH is a joint effort between HUD and VA to move Veterans and their families out of homelessness and into permanent housing. Within HUD-VASH, HUD provides housing assistance through its Housing Choice Voucher Program (Section 8), while VA provides case management and other supportive services to help Veterans obtain and maintain permanent housing. The program targets chronically homeless Veterans.

The SSVF Program represents a crucial component of VA's plan to prevent and end homelessness among Veterans. Operationalized in federal Fiscal Year 2012, SSVF is the first and only VA program that provides services to Veterans and their families. SSVF is a community-based, competitive grant program, which rapidly re-houses homeless Veteran families, and prevents homelessness for those at imminent risk due to a housing crisis. The program focuses on achieving housing stability through a short-term, customized intervention, using a time-limited case management approach.

SSVF services include help in locating housing, financial assistance to offset move-in costs or remediate rental arrears, landlord mediation services, financial management and credit counseling, support for child care and transportation, and assistance with accessing healthcare and other supports. SSVF employs a Housing First model, which prioritizes access to permanent rental housing as quickly as possible, without preconditions. SSVF providers concentrate on helping Veterans increase their income through employment and benefits, while addressing issues that can interfere with housing stability.

Since making the initial commitment to ending homelessness among Veterans, VA has developed a number of innovations based on the principle that the solution to homelessness is permanent housing with wrap-around supportive services. VA's service delivery system has become more accessible, community-based, and Veteran-focused, with a focus on meeting Veterans where they are and helping them to move

forward to improve their health and housing stability. VA now has a range of programs to connect homeless and at-risk Veterans with varying levels of need, to the housing and supports necessary to end or prevent their homelessness as quickly as possible. The revitalization of the GLA campus to include permanent supportive housing will help VA sustain these advances, and ensure that every Veteran in Los Angeles, particularly severely disabled, aging, and female Veterans, will have a place to call home.

Proposed Services' Enhancements

As VA revitalizes and reinvigorates the physical plan of the GLA campus, it must also add to the service plan both on the campus and in the community. The goal is to create a vibrant, welcoming, Veteran-focused, outcomes-driven model for Veterans and their families. The services must be strength-based, holistic, and aimed at helping the Veteran and the Veteran's family beyond the traditional medical models. Practically speaking, it means "how", "when" and "where" services are delivered must conform to the needs of the Veteran. This is particularly relevant for Veterans who are aging, disadvantaged, and suffering from chronic debilitating illnesses like schizophrenia and other psychotic disorders, Post-Traumatic Stress Disorder (PTSD), addictions and/or other medical complications that compromise the Veteran's quality of life. It is particularly relevant for female Veterans who need designated space and services to address their unique healthcare and preventative healthcare needs. The campus must also have capacity to address the wellbeing and preventative care concerns of younger veterans transitioning back to civilian life by addressing their employment, educational, familial and other reintegration issues.

Services must also be delivered in partnership with VA's academic affiliates, including UCLA, and other VA partners who have expertise in caring for homeless and other vulnerable Veteran populations. As part of the service enhancements, it will be critical to create improved access processes through not only more effective staff and volunteer efforts, but also through a resource center and the use of Veteran peer supports (concierges) that improves the ease with which various parts of the campus can be navigated.

Permanent Supportive Housing and Associated Services

The most critical addition to the campus and in the community is the addition of Permanent Supportive Housing (PSH) on the campus, targeting the most needy, most vulnerable Veterans. PSH is critically needed in the GLA area. Market-rate housing has a reported 3% vacancy rate, which means Veterans who are able to afford market rates (on their own or with the HUD-VASH program) have a difficult time finding housing. PSH on campus would be most beneficial for Veterans who utilize a high number of health/behavioral health services. These sub-groups include chronically homeless Veterans that are aging with disabilities, homeless female Veterans with dependents, and Veterans with physical illnesses, mental health disorders, and substance abuse disorders.

Veterans with fewer health and service needs are likely to self-select housing in the greater LA community through the existing HUD-VASH program. Most of the housing on campus should be designed for single adults, with the possibility of some family housing for adult Veterans with spouses and/or minor dependent children. PSH units would likely be best situated in the outlying areas of the north campus, where they could look and feel like a neighborhood.

Veterans and service providers both identified a number of supportive services as being important for the campus. For Veterans housed in PSH on campus, certain supportive services are best located in the same buildings or neighborhoods as the residences (site-based services), and other services are more appropriately accessed on campus -- in the areas designated for services/programming (campus-based services). As in the larger community, the goal is that Veterans will leave their residence and take transportation to their appointments for campus-based services.

Figure II-2: Actual VA EUL Permanent Supportive Housing Facility



Site-based or neighborhood based services may be included in the same building as the PSH units. Such services could include, but would not be limited to: case management; a medical home model assisting Veterans with activities of daily living, medication compliance, making and keeping medical and mental health appointments; making transportation arrangements; money management; conflict resolution; leisure time planning; and, wellness and recovery planning. As Veterans move toward greater independence, they will rely less on case managers for coordination of care. It should be noted that Veterans with serious and persistent mental illness may need ongoing and proactive case management to maintain and achieve their recovery goals. That is why it is important for case managers to be easily accessible in the residential neighborhoods.

It is important to note that VA does not currently have legislative authority to provide permanent supportive housing on the GLA campus. However, in support of VA's efforts to revitalize the campus and allow VA to partner with non-federal entities to provide permanent supportive housing, Senator Dianne Feinstein and Congressman Ted Lieu recently introduced a bill titled the "Los Angeles Homeless Veterans Leasing

Act of 2015.” (S. 2013 and HR 3484, respectively). If enacted, it will enable VA to enter into Veteran-focused lease agreements with housing providers, local government entities, community partners, and non-profits, to provide supportive housing and services for Veterans and their families on the GLA campus.

Veteran Family Well-Being Center

Veterans living on and visiting the campus will also need access to additional campus-based clinical services. A new service being developed by VA in partnership with UCLA is a Veteran Family Well-Being Center (Center). Recognizing that Veterans today include more Veterans with families and children who have distinctive wounds of war, as well as aging Veterans with greater need for caregivers or other social support, the Center will be a one-stop entrance for Veterans. This will enable Veterans and their families to access specialized resiliency and well-being supports and alternative healthcare services to promote healthier family functioning and community engagement.

The Center will focus on reintegration and recovery challenges, as well as a variety of proactive health services, such as nutrition, exercise, stress management, mind body activities, and other preventive strategies that promote physical and emotional well-being. The Center will also provide respite and other supportive services to assist Veterans families coping with aging and physical, emotional, and cognitive impairments, which can impact coping capabilities. The Center will have access to social workers and a Peer Specialist, and other supportive services will be available to address needs, such as crisis response, benefits assistance, financial coaching, and educational and child development services. These supports will promote healthier Veteran and family dynamics, and improved housing stability and community engagement. The Center will also collaborate with a legal clinic operated by UCLA, and a VA benefits office that connects Veterans to needed services, benefits, and discharge upgrades.

Expanded Mental Health and Addiction Services

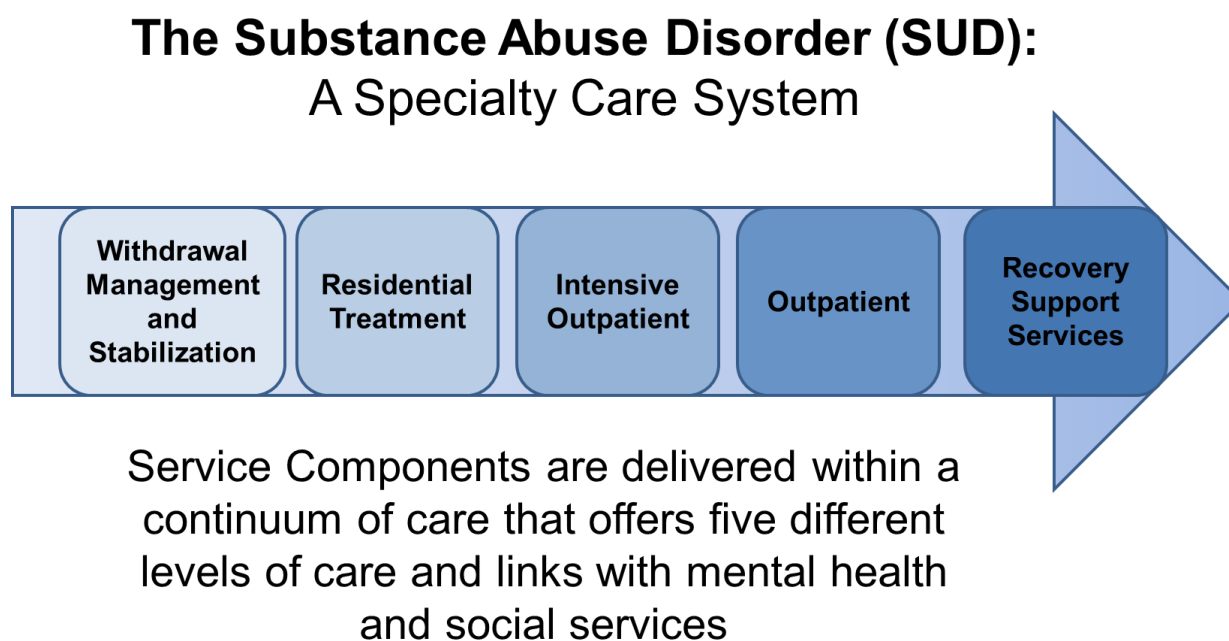
VA will also expand mental health and addiction services, with the concentration of programs focused on the psycho social problems of homeless and disadvantaged Veterans. This will include Veterans suffering from traumatic brain injury, emotional and physical trauma, PTSD, addictions and other mental health conditions that increase their risk of housing instability, and decrease their emotional, relational, and employment functioning.

The GLA Medical Center will also offer a program being developed in conjunction with the VA-UCLA partnership to provide an expanded spectrum of services for Veteran populations who suffer from addiction and/or other mental health disorders. This program will connect Veterans to healthcare, housing, employment, and other services and at the same time, focus early identification, rapid engagement, and the delivery of recovery-oriented care for Veterans who have both mental health and addiction treatment needs. The partnership will help to integrate into every aspect of the service delivery model a focus on early identification, rapid engagement, and the delivery of individualized, Veteran-focused recovery-oriented care, which promotes symptom stabilization and assists the Veteran to achieve their greatest potential in all aspects of life.

Treatment for addictions will take place within a spectrum of care that includes

screening, diagnosis, and assessment; active treatment, including stabilization, early recovery treatment, and management of comorbidities (such as mental and medical illness especially chronic pain and opioid dependence); and continuing engagement as part of a longer-term chronic care plan. Services may include: medical detox, short-term residential treatment, intensive outpatient care, and aftercare. These services will be individualized to meet the Veterans' needs, and to promote greater integration in the community. As part of this expansion, we will increase the use of peer support specialists and addiction counselors, and develop a program to provide services on the campus and in the community.

Figure II-3: Substance Abuse Disorder (SUD) Continuum of Care



Veterans' Education and Enterprise Center

Employment and job training are also critical components to the revitalization process. Once VA has the appropriate authority to add services along with housing to the campus, a priority will be the development of a Veterans' Education and Enterprise Center (Enterprise Center) focused on jobs and skills development. The Enterprise Center will bring together VA and community resources in one location on campus to optimize training and employment opportunities for Veterans. It will be designed to create a learning environment that nurtures, empowers, and inspires Veterans with serious mental illness to develop hope, validate strengths, build social supports, learn skills, enhance community integration, and access meaningful employment. It will also be a resource for younger Veterans to engage in training opportunities for meaningful employment in the trades, software and computer industry, as well as the entertainment industry. The Enterprise Center will offer the opportunity for Veterans, staff and community partners to collaborate and plan for the individual success of each Veteran. The Enterprise Center is intended to galvanize the tremendous commitment to Veterans by our local businesses, non-profits, institutions of higher education, Veteran Service Organizations, our elected state officials, County Commissioners and our Los Angeles community partners, as well as our local citizens themselves. The

goal is to ensure that every Veteran using this facility has meaningful employment and sustainment, stable housing, and healing and balance in their lives.

It is important to note that VA does not currently have legislative authority to provide permanent supportive housing on the GLA campus. However, in support of VA's efforts to revitalize the campus and allow VA to partner with non-federal entities to provide permanent supportive housing, Senator Dianne Feinstein and Congressman Ted Lieu recently introduced a bill titled the "Los Angeles Homeless Veterans Leasing Act of 2015." (S. 2013 and HR 3484, respectively). If enacted, it will enable VA to enter into Veteran-focused lease agreements with housing providers, local government entities, community partners, and non-profits, to provide supportive housing and services for Veterans and their families on the GLA campus.

Additional Service Enhancements

Healthcare services are critical to the Veteran population and GLA will need to continue to provide Veterans with Patient Aligned Care Team (PACT) and Homeless Patient Aligned Care Team (H-PACT) services to meet both primary and specialty healthcare demands. H-PACT care is the "medical home" for homeless Veterans. The program serves as a conduit for treatment engagement and involvement in VA's Homeless Program, clinical services, and supports through a "no wrong door" policy. It is designed to provide the care necessary to keep Veterans in housing and prevent a return to homelessness. The H-PACT provides homeless Veterans with medical care, mental health services, case management, housing, and social services assistance. Such supports help them obtain and stay in permanent housing, thereby reducing emergency department use and unscheduled hospitalizations, while improving chronic disease management and housing stability.

While building living spaces and expanding healthcare services for homeless Veterans is the cornerstone of the overall Draft Master Plan, getting Veterans to utilize the campus and thrive requires a sense of community. Services must also include, educational, socialization, recreational, cultural/arts and spiritual components. Leadership will need to coordinate with the larger Veteran community to ensure that the abundant recreational facilities maintained by Brentwood School, UCLA (Jackie Robinson Stadium) and the Heroes Golf Course are ready resources for activities that promote health and wellness for the Veteran community. Through these resources Veterans will have access to baseball, basketball, tennis, track, weight training and more.

In that regard, VA plans to pursue Veteran-focused activities at the site of Jackie Robinson stadium and facilities at UCLA, so Veterans can attend UCLA baseball, football, basketball, and other athletic events, participate in Veteran softball and baseball leagues free of charge, and attend outdoor concerts and movie nights at the stadium. Similar opportunities will be pursued for Barrington Park. We also plan to explore ways Veterans can take courses and gain valuable career and job training experience through strategic partnerships with entities like UCLA, other affiliates, Home Depot, the Brentwood Community, local trade schools, and community colleges. We also plan to explore ways to enhance the Veterans' garden located on the GLA campus, so Veterans can grow produce for nourishment while gaining horticulture experience in a safe, social, serene, and peaceful environment.

In addition to the need for more social and recreational facilities, feedback from the

Veteran community noted a need for more formal and systemic therapeutic use of theater and arts programs. There was a desire to reinvigorate the Wadsworth and Brentwood Theaters for movie premieres, shows, plays, and other opportunities where Veterans could utilize the arts as a means to heal and better utilize formal creative and expressive therapies. This would also be an opportunity to better engage the larger arts and entertainment community in the Veteran mission.

C. Co-Located VA Programs and Services

Columbarium

The VA National Cemetery Administration (NCA) is planning to expand the Los Angeles National Cemetery, on approximately 13 acres of land located on the GLA Medical Center. The expansion area is located along Constitution Avenue, approximately 400 feet west of the main entrance to the Los Angeles National Cemetery, in Los Angeles County, California. Sepulveda Boulevard, a four-lane urban street, and an elevated section of the San Diego Freeway (Interstate 405) separate the proposed expansion area from the existing cemetery. Due to the limited acreage available in this densely developed area of southern California, the proposed cemetery expansion will consist of a columbarium-only burial option, to allow the cemetery to reopen under the new NCA "Urban Initiative Program". Under this program, the NCA will provide a limited burial option cemetery to Veterans in high-density urban areas. Development of the initial phase will consist of columbaria inurnment sites and memorial walls expected to be sufficient for a period of 10 years. Full development of the site will occur in phases over time, in roughly 10-year increments, and is expected to provide at least 90 years of internment services.

The initial phase of the project will include the construction of approximately 10,000 columbarium niches for cremated remains, as well as several memorial walls to commemorate veterans whose remains are unavailable for burial. In addition to the proposed columbarium and memorial walls, the project will also include the demolition and relocation of existing functions at the expansion property, construction of an entrance feature, perimeter fencing, and associated infrastructure (roadways, irrigation, landscaping, etc.).

The initial phase of the Columbarium will occupy approximately 6 acres of the 13-acre site. The second phase will see the completion of an additional 10-year build of columbaria and the remaining infrastructure necessary to support all the subsequent phases of the project over the 90-year projected lifecycle. Subsequent columbaria phases are planned to occur at 10-year intervals, but will be monitored and managed by NCA to adjust those expansion plans as required during the project lifecycle to meet demand.

Figure II-4: Large Scale Map Showing Cemetery Expansion Area (Orange Outline Red Star)

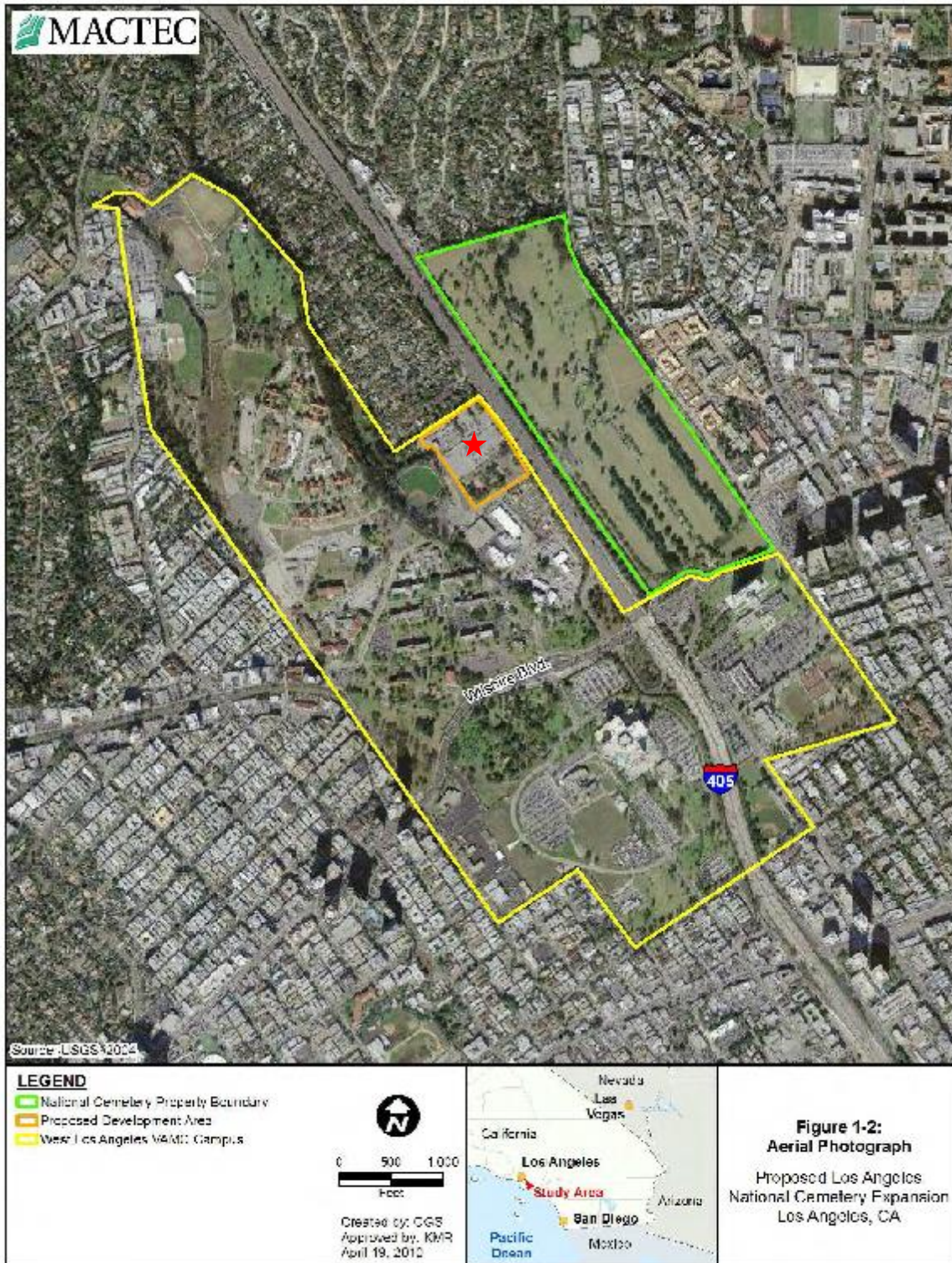
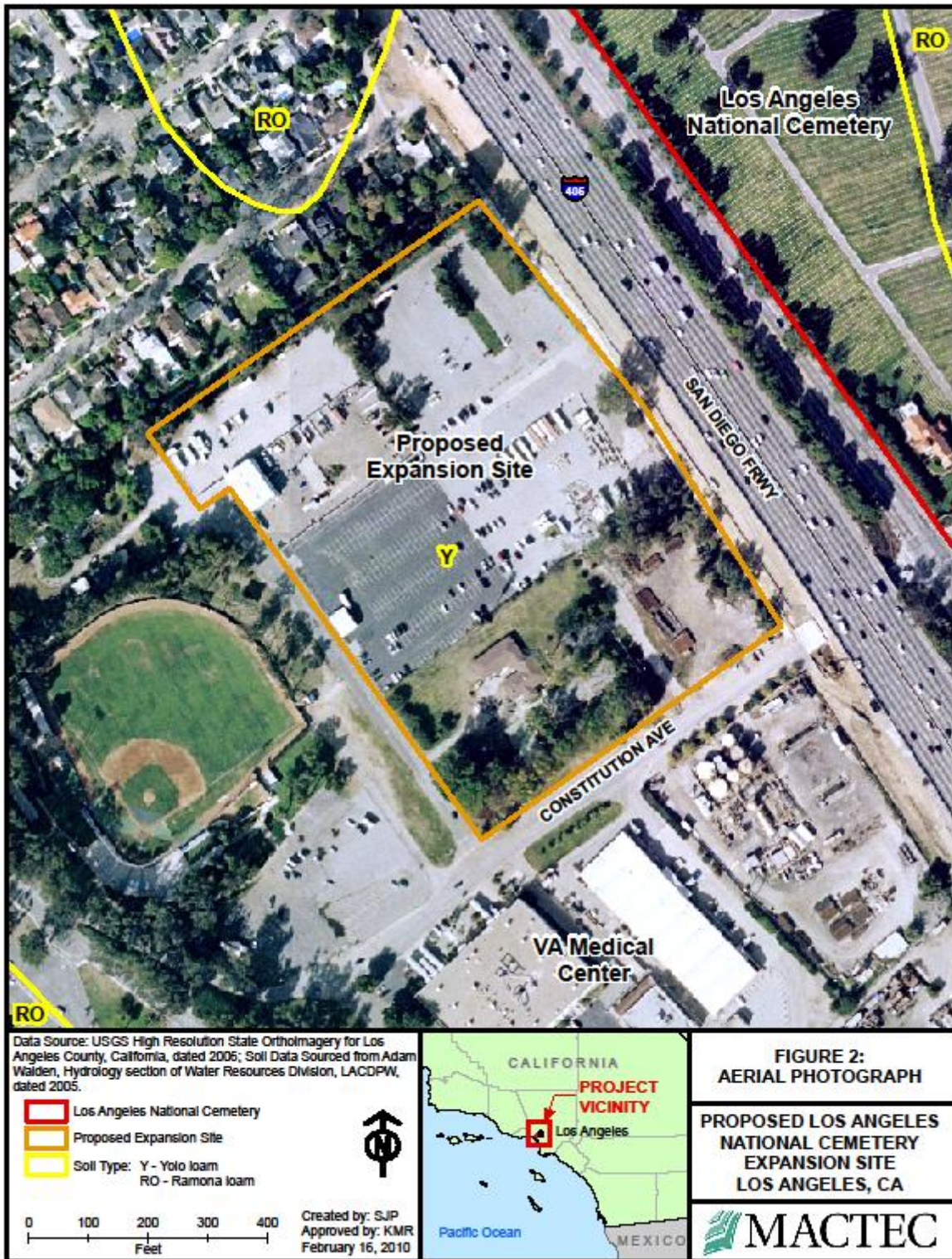


Figure II-5: Smaller Scale Map Showing Cemetery Expansion Area



Veterans Benefits Administration

The Veterans Benefit Administration (VBA), which is responsible for providing Disability Compensation, Home Loans, Vocational Rehabilitation and Education, Life Insurance, Pension Benefits and Fiduciary Services has a Regional Office in Los Angeles which provides benefits for the counties of Inyo, Kern, Los Angeles, San Bernardino, San Luis Obispo, Santa Barbara, and Ventura. This division is also responsible for determining eligibility for certain benefits and services provided by Insurance, Vocational Rehabilitation (to include Orange County), Loan Guaranty, the Veterans Health Administration, and the National Cemetery Administration.

Figure II-6: Los Angeles Regional Office Data

| | |
|---|----------------------|
| Veterans Receiving Compensation | 102,115 |
| Veterans Receiving Pension | 3,061 |
| Total | 105,176 |
| Widows/Parents/Children Receiving DIC | 1,268 |
| Widows/Children Receiving Death Pension | 907 |
| Total | 2,175 |
| Total C&P Benefits Paid Annually | \$120,078,959 |

The Regional Office is currently located in a General Services Administration (GSA) building. In an effort to provide continuity of VA services, the VBA Regional Office will re-locate to the GLA campus. This relocation will allow VBA employees who administer benefits to be where the Veterans are, and will contribute to the notion of providing Veterans with a one-stop-shop on the campus. Additionally, this relocation will facilitate greater collaboration between VBA and VHA, which ultimately improves service to our Veterans.

D. Connecting and Building the Veteran Community

Vision and Objectives of the Draft Master Plan

VA's 'Blue Print for Excellence' (http://www.va.gov/HEALTH/docs/VHA_Blueprint_for_Excellence.pdf), and VA's 'I-CARE' values (<http://www.va.gov/icare/>) are the foundation for this Draft Master Plan. Key principles and focal points of the Blue Print for Excellence and I-CARE values include VA: improving performance; promoting a positive culture of service; advancing healthcare innovation for veterans; increasing operational effectiveness and accountability; and ensuring that the Veteran is in control of how, when, and where he or she receives care and services. Veteran preference and Veteran choice regarding housing and services are essential to building the new GLA Veteran community.

These principles and values are evident in VA's unequivocal priority to operate the campus as a vibrant, welcoming, and sustainable community where all Veterans – including homeless, severely disabled, female Veterans, and elderly Veterans will feel comfortable accessing, living, interacting, recreating, and socializing with one another, their families, VA personnel, and visitors. VA's intent is to transform the GLA campus into a vibrant community where all Veterans can receive healthcare, benefits, employment, and other supportive services, which they deserve and to which they are entitled. A key purpose of the Draft Master Plan is to help VA determine (based on input from pertinent stakeholders including other federal agencies, state and local authorities, including the City of Los Angeles, and surrounding counties; legislators; Veterans and Veteran Service Organizations; the former Plaintiffs in the *Valentini v. McDonald* litigation; and the local community) how best to utilize the GLA campus in a Veteran- focused manner. That vision includes efficient and dedicated functionality whereby Veterans visiting the campus would be able to experience a "gold standard" of care, support, convenience, and customer service, from VA's health, benefits, and cemetery administrations.

The vision also includes significant and adequate levels of permanent supportive housing and transitional/bridge housing, with short-term treatment services available to provide state-of-the-art primary care, mental health, and addiction services. Such housing shall be structured based on state-of-the-art homelessness prevention and urban planning sciences, consistent with best practices and evidence-based approaches under the Housing First model. VA's objective under that model is for Veterans to have an attractive choice of whether to pursue housing on or off the GLA campus, while noting permanent housing on the GLA campus is intended for the most needy, most vulnerable Veterans. The housing will be carefully planned to help ensure a safe, dignified community environment. The housing will function effectively in its own right, and in coordination with the other care and services provided on the GLA campus and in the GLA area. As we proceed, we will continue to actively interact and build relationships with the Veteran community, including engagement with Veteran Service Organizations, government and nongovernmental organizations, the state, city, county, faith-based organizations, private sector organizations, philanthropic organizations, local neighborhoods, and many other individuals, organizations and stakeholders who advocate for Veterans. The intent is not only for the campus to be a 21st century healthcare facility and a home, but also to attract all Veterans and assist them with their reintegration into the community.

To accomplish this vision, we will reach out to Veterans through public service

announcements; positive relationships with Veteran Service Organizations, Military Service Organizations, and other organizations that can help us reach Veterans; effective use of public affairs and social media, and a close and constant dialogue with Veterans. During the last year, we have heard from Veterans about the areas in which we must improve. VA takes this feedback seriously, and we are already changing many of our practices, policies, and procedures, instituting constant introspection, assessment, revalidation, and review. VA must be held accountable for actions and must work to achieve real-time measurements for customer satisfaction, and keep all lines of communications open in order to achieve sustained, long-term success.

III. Stakeholder Engagement

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A. Methodology

Introduction

To engage the Veteran community and other stakeholders integral to ongoing master planning process, VA and partners created and developed numerous options through which stakeholders could participate. Recognizing the need to accommodate the variety of stakeholder situations and schedules, the team provided opportunities for input that included day time meetings, evening meetings, participation in Veteran community events, briefings with key stakeholders and stakeholder groups, and use of multiple online platforms to enable participation from home. There was also a 45 day public comment period, where more than 1,000 comments were provided by various stakeholders and the greater Los Angeles community. The comments in part regarded ways to transform the campus into a safe, inviting, and welcoming 21st Century VA facility, which includes supportive housing for Veterans, particularly for homeless, severely disabled, aging, and female Veterans. This objective will enable VA to help end Veteran homelessness in Greater Los Angeles, and represent a state-of-the-art facility that serves as a model for revitalizing other facilities in the VA network.

Methods of stakeholder engagement included a wide variety of strategies such as individual, small group, and large group outreach meetings in settings to ensure, support and encourage meaningful dialogue, and garner thoughtful input from participants. These strategies were implemented through face-to-face individual meetings and conversations; and small group advisory councils and stakeholder interest groups; as well as large group brainstorming, town halls, and public meetings.

Materials and information were also provided and shared through a multitude of platforms including video conferencing, telephone calls, an interactive website, fliers, printed fact sheets, document sharing and review, illustrative project boards, and presentations. During community meetings, large scale site maps on which stakeholders could write comments were employed to allow in-person brainstorming and provided an effective means to collect hand-written stakeholder input by Veterans and community members in attendance.

Goals

- Ensure as many stakeholders as possible receive information related to the master planning process
- Address myths and misinformation
- Provide documentation that demonstrates a comprehensive and thorough outreach effort
- Push information from master plan team to the public
- Receive stakeholder's concerns and ideas

Approach

- Provide multiple avenues for community participation, not just via meetings.
- Recruit stakeholders to assist in “peer-to-peer” engagement by reaching out to their stakeholders to cover the expansive stakeholder audience.
- Initiate and maintain regular and ongoing contact and collaboration with the decision-maker(s).
- Coordinate closely with the project team including client, architects, entitlement and environmental consultants, attorney, etc.
- Provide timely and proactive communication with stakeholders regarding project milestones.
- The activities, materials and tools were employed to support the goals of the Stakeholder Engagement process and to ensure broad-based participation.

B. Data Collection

User Friendly Types of Communication

In recognition of the need to offer a variety of platforms for participation, the team employed channels and content to engage with the public.

- Help House LA Vets Website - www.helphouselavets.com included the following sections:
 - o Learn More:
 - Project Overview
 - Frequently Asked Questions
 - Project Timeline
 - o Take Action:
 - Spread the Word: share page
 - Outreach Toolkit: downloadable content for sharing
 - Leaderboard: gamification of stakeholder participation, points awarded to stakeholders who engaged the most with the program.
 - o Share Your Vision: Online Comments
 - o The Latest: Blog updated with milestone announcements and news
 - o Events and Meetings: Online calendar with map and RSVP section
- Community Information Hotline - (310) 879-5773 was available for stakeholder calls responded to by the outreach team.
- Email Address - hello@helphouselavets.com was available for stakeholder emails.
- Email Campaign - 11 emails were sent
- "Are you helping? Let's Help House LA Vets"
 - o 7/31/15
 - o "#HelpHouseLAVets - Social Media Day - August 4th" - 7/31/15
 - o REMINDER: #HelpHouseLAVets - Social Media Day - August 4th - 8/3/15
 - o "Design Open Houses Every Tuesday in August" - 8/7/15
 - o "Web Stream This Week's Design Open House!" - 8/11/15
 - o Reminder: Next Week's Outreach Events" - 8/14/15
 - o "Reminder: Next Week's Outreach Events" - 8/21/15
 - o "Attend an Event and Comment Online!" - 9/4/15
 - o "We're Headed to Long Beach This Week" - 9/14/15
 - o "We want to hear from you!" - 9/18/15
 - o "Attend Master Plan Town Hall in West LA (Oct. 7)" - 9/24/15
- Community Mailing: to Stakeholder Database and Occupants within 1000 feet radius of the Campus (5,000 contacts)
- Print Advertisements:
 - o LA Weekly 8/20/15 - 8/27/15
 - o Brentwood News 8/21/15 - 9/21/15
 - o Santa Monica Mirror 8/21/15 - 9/21/15
- Public Information Materials:
 - o Fact Sheet
 - o Frequently Asked Questions
 - o PowerPoint Presentation
 - o Outreach Timeline



Avenues and Activities for Community Participation

This list includes activities from June 20, 2015 through September 24, 2015.

To accommodate the diversity of audiences that must be reached on this issue, the outreach team offered stakeholders a variety of options for participation, via day time meetings, evening meetings, participation in Veteran community events, and briefings at key stakeholder groups to online platforms to enable participation from home.

Attendance figures are provided in Appendix F.

Pop-Up Workshops (6)

Stakeholders were engaged in a visual and interactive format to weigh in on the Draft Master Plan. Large-scale boards were provided to enable participants to engage in two activities to provide feedback. A board was populated with 30 photos representing a range of activities and uses and stakeholders could place a marker next to the ones they thought should be included. To gather open-ended comments a post-it board was used to enable participants to add in their own suggestions. These were conversations starters that led to stakeholder completing a hard-copy comment form as an option. Stakeholders were informed of the pop-up workshops via e-blasts, social media posts and the website.

- 5th Annual Vietnam Veterans Celebration and Picnic (August 1, 2015)
- West Los Angeles VA's Farmers Market (August 5, 2015)
- GLA Campus Farmers Market (August 19, 2015)
- Veterans Homeless Town Hall Co-Hosted by the Honorable Hilda Solis (August 20, 2015)
- Women's Warrior Fest (September 11, 2015)
- Long Beach Homeless Veteran Town Hall (September 17, 2015)

Weekly Design Open Houses (6)

The master plan team opened its doors at the Welcome Center of the GLA Campus to the public to collaborate and gather feedback on the Preliminary Draft Master Plan. The workshops were held during evenings and weekdays on the following dates. Stakeholders were informed of the open houses via e-blasts, newspaper advertisements, social media posts, mailings, flyer distributions on the GLA Campus, outreach calls, and the website. Open houses, with VA staff in attendance, took place on the following dates:

- July 21, 2015 - 1:30 to 4 p.m.
- July 28, 2015 - 1:30 to 4 p.m.
- August 4, 2015 - 1:30 to 4 p.m.
- August 11, 2015 - 1:30 to 4 p.m. (afternoon session) 5 p.m. to 8 p.m. (evening session)
- August 18, 2015 - 1:30 to 4 p.m.
- August 25, 2015 - 1:30 to 4 p.m. (afternoon session) 5 p.m. to 8 p.m. (evening session)

Updates at the Monthly Homeless Veterans Town Hall Meetings and Neighborhood Community Meetings (12)

The master planning team provided status updates on master plan progress at five monthly gatherings organized by VA regarding its Homeless Strategy. The master planning team also presented and collected feedback as guests at seven Neighborhood Council meetings. During these meetings outreach team staff was on hand to gather contact information and comment sheets from stakeholders. The workshops were held during evenings and weekdays on the following dates. Stakeholders were informed of the updates via e-blasts, newspaper advertisements, social media posts, mailings, flyer distributions on the GLA Campus, outreach

calls and the website. Town Hall and Neighborhood Community Meetings took place on the following dates.

- Town Hall #1 at GLA Campus (June 23, 2015)
- Westwood Community Meeting (July 21, 2015)
- West Los Angeles Community Meeting (July 22, 2015)
- Town Hall #2 at Sepulveda Ambulatory Care Center (July 23, 2015)
- Pacific Palisades Community Meeting (July 23, 2015)
- Brentwood Community Meeting (July 28, 2015)
- Santa Monica Community Meeting (July 28, 2015)
- Town Hall #3 at Grace Black Auditorium, San Gabriel Valley (August 20, 2015)
- Venice Forward Community Meeting, (September 10, 2015)
- Town Hall #4 at Century Villages at Cabrillo, Long Beach (September 17, 2015)
- South Los Angeles Community Meeting (October 6, 2015)
- Town Hall #5 at GLA Campus (October 7, 2015)



Key Stakeholder Group Briefings (35+)

Stakeholder groups that represent constituencies throughout Greater Los Angeles were briefed by the master planning team.

- Office of US Senator Barbara Boxer
- Office of US Senator Diane Feinstein
- Office of US Congressman Ted Lieu
- Office of County Supervisor Sheila Kuehl
- Office of County Supervisor Don Knabe
- Office of County Supervisor Hilda Solis
- Office of Mayor Eric Garcetti, City of Los Angeles
- Office of Los Angeles City Councilmember Mike Bonin, District 11
- Office of Los Angeles City Councilmember Paul Koretz, District 5
- Office of US Congresswoman Judy Chu
- Office of State Senator Ben Allen, District 26
- Office of State Assembly, District 54 Sebastian Ridley-Thomas
- Office of State Assembly, District 50 Richard Bloom
- Office of US Congressman Xavier Becerra
- Office of Los Angeles City Councilmember David Ryu, District 4

- Office of State Senator Holly Mitchell
- Office of State Assemblymember David Hadley
- Office of State Senator Tony Cardenas
- Office of US Congressman Adam Schiff
- Office of Los Angeles City Councilmember Paul Krekorian
- Office of State Senator Ed Hernandez
- Office of US Congresswoman Karen Bass
- Office of State Assemblymember Autumn Burke
- Office of US Congresswoman Norma Torres
- Office of US Congressman Kevin McCarthy
- Office of US Congresswoman Maxine Waters
- Office of US Congressman Ed Royce
- Office of State Assemblymember Miguel Santiago
- Affordable Housing Government Stakeholder Focus Group with PHAs and HCID
- LA Veterans Collaborative Meeting USC Collaborative
- Military Veterans Advisory Council, City Hall
- VSO Coalition
- VA Homeless Programs Summit
- Impact Hub Los Angeles - Housing LA's Homeless
- VA Staff and User Group Meetings

Spreading Information through Peer-to-Peer Engagement

Stakeholders were encouraged to help spread the word by sharing master planning information with their networks.

Social Media Posts and Engagement – [facebook.com/VAWestLAMasterPlan](https://www.facebook.com/VAWestLAMasterPlan)

- Organic Reach: 15,769
- Paid Reach: 133,371
- Twitter @ VAMasterPlanLA
 - Followers: 85 total Twitter Followers to date
 - Retweets: 118 @VAMasterPlanLA tweets were reposted
 - @Mentions: The @VAMasterPlanLA Twitter feed received 19 mention
 - Favorites: 22 @VAMasterPlanLA tweets were marked as a favorite
 - Tweets posted by account: 65



Social Media Day

To raise awareness about ways Los Angeles area stakeholders can provide input on the Draft Master Plan, the outreach team placed calls to government offices and organizations to share via social media channels the helphouselavets.org website with a post encouraging stakeholders to take our online questionnaire to share their vision for the Draft Master Plan. The Social Media Day was held August 4, 2015, and engagement with stakeholders continued throughout the project via:

- Calls to 332 Veterans service organizations
- Calls to 35 elected official offices
- Calls to 98 community stakeholders who voiced an interest in getting involved

Survey Outreach

In an effort to further engage Veterans that may not have access to traditional forms of outreach, the team collaborated with partner Vets Advocacy, Inc. as well as other VSOs to distribute and collect surveys on future services and features of the GLA Campus. The team and its partners disseminated the surveys by online, print and telephone to accumulate over 1,200 responses.

The following services and features were identified by Veterans taking the surveys as priorities for the campus.

- Veterans Benefits Assistance
- Permanent Housing Options
- Employment Assistance Programs and Training
- Enhanced Mental Health Services
- Legal Services
- Gym/Fitness Center
- Computer Lab
- Child care



The entire survey results are included in Appendix F.

C. Initial Outcome in Metrics

On October 16, 2015, VA met the deadline outlined in the Principles Agreement by submitting a Preliminary Draft Master Plan to the Secretary for review. The plan was informed by the data collected from stakeholder outreach over the four month period leading up to the 16th. The following list includes outreach activities and associated metrics during the Preliminary Draft Master Plan outreach period (June 23, 2015 through October 16, 2015).

- Stakeholders were encouraged at events and via the website to provide feedback on the master planning effort. (720 comments received)
- Build and maintain website with online calendar, blog, outreach toolkit, fact sheet, presentations and other resources - 12,085 page views to date
- Build and maintain Facebook page, Twitter account, information hotline and email address
 - Followers: 1,852 total Facebook page likes to date
 - Engagement: Through our 25 wall posts and content shared, we received a total of 14,094 clicks, likes, comments, and shares on our Facebook posts.
 - Total Reach: 145,827 (the number of people who were served any activity from the Facebook page including our posts, posts to our Facebook page by other people, Facebook page like ads, mentions and check-ins)
- Calls and emails to 332 Veterans Service Organizations to provide information and encourage information sharing with their networks
- Build database with 2,165 email or mailing addresses
- Conducted briefings with 37 elected officials, neighborhood groups, and Veterans organizations
- Hosted 6 Design Open Houses, 4 Town Hall Meetings, and 6 Pop-Up Workshops
- Sent 15 email updates to database

D. Initial Recommendations

Feedback from the stakeholders meetings, surveys, and Town Halls consistently focused on the need to engage, connect, rebuild, restructure, realign, and reform. During the 120 day data gathering aspect of the Master Planning process period, Stakeholders frequently requested VA to provide more individualized care and timely access to healthcare and benefits in more modern, dignified buildings. They requested that services be reorganized in a manner where Veterans could receive like care in close proximity, and that the campus have better signs and directions to help navigate the campus, and locate where facilities and services are located. They also requested greater transparency and accountability regarding the budget and revenues being generated for the campus, third party lease agreements on the campus, oversight of non-profits providing housing and services to Veterans.

In surveys and in community meetings, Veterans consistently discussed permanent supportive housing options that serve a wide range of Veteran's needs, Veteran benefits assistance, employment assistance programs and training, improved mental health and addiction services, peer support programs, services related to traumatic brain injury, services that specifically address trauma, legal and mediation services, a gym/fitness center, computer lab, improved safety and security on campus, enhanced arts programs, cultural change that puts Veterans first, family services, an enhanced arts program, female Veteran services, restoration of the Wadsworth Chapel, greater communication from GLA medical center leadership, and better signage and accessibility as priorities for the campus.

Beyond suggesting ideas of what the campus should be, a resounding comment from Veterans was to lend input as to how the GLA campus should function, develop, and change. The idea for continued Veteran collaboration with GLA and VISN leadership stood out as a conclusive suggestion from Veterans. The stakeholders requested the continued focus on cultural and management changes to promote the Veteran's voice in decision making regarding the campus, including through more regular meetings with Veterans, Veteran Service Organizations, congressional staff, and other stakeholders. Feedback from GLA staff noted the need for VA to continue transforming the work culture, into an environment where expressing ideas, concerns, and ways to improve the operations, care, and services on campus, is truly encouraged.

E. Public Comment Period

Following the Secretary's review of the Preliminary Draft Master Plan, VA chose to provide additional opportunities for Veterans and other stakeholders to review the Preliminary Draft, follow up on initial feedback provided, and continue to participate in the planning efforts for the GLA campus. The Preliminary Draft Master Plan was published onto the Federal Register for 45 days, beginning on October 22, 2015. VA provided online links to the plan as well as hard copies at local libraries throughout the Greater Los Angeles area in an effort to encourage Veterans, members of the public and other interested parties to review and comment on the plan.

Additionally VA continued to engage the public through a series of presentations and focus groups with Veterans, elected officials and other community stakeholders.

Veteran Stakeholder Meetings during the Public Comment Period (20+)

- Brentwood Community Meeting (November 3, 2015)

- VSO Focus Group (November 5, 2015)
- Meeting with LAHSA, United Way and Mayor’s Office (November 5, 2015)
- Veteran Patient Advisory Council (November 10, 2015)
- Hawthorne Community Meeting (November 11, 2015)
- Oxnard Community Meeting (November 11, 2015)
- LA Veterans Collaborative Meeting USC Collaborative (November 11, 2015)
- Meeting with Public Housing Authorities (November 17, 2015)
- Westwood Community Meeting (November 17, 2015)
- VA Homeless Programs Summit (November 18, 2015)
- Meeting with Councilmember Bonin (November 18, 2015)
- Venice Forward Community Meeting (November 19, 2015)
- Meeting with Downtown Women’s Center (November 23, 2015)
- Elected Officials Council on Veterans (November 23, 2015)
- Vets Advocacy Family Wellness Center Focus Group (November 23, 2015)
- Ventura County Community Meeting (November 24, 2015)
- Meeting with LA County 211 (December 1, 2015)
- Meeting with LA Daily (December 1, 2015)
- Meeting with GLA Staff (December 2, 2015)
- Santa Monica Community Meeting (December 2, 2015)
- Meeting with Veterans Living in Transitional Housing on Campus (December 3, 2015)
- Meeting with Veterans in Community Living Center (December 3, 2015)
- Santa Ana Community Meeting (December 3, 2015)



Federal Register Comments

In a notice published on October 22, 2015, VA presented its Preliminary Draft Master Plan for

the GLA campus and solicited public comment on the plan for a period of 45 days. Following the completion of the 45 day public comment period on December 8, 2015, VA had received a record 1,002 comments in the Federal Register.

The majority of comments included one or more of the following topics: Arts, Recreation & Entertainment; Campus Circulation; Clinical; Connectivity; Housing & Campus Restoration; Land Use Agreements; Parking; Transparency & Accountability; and Veteran Access. Approximately 60% of the 1002 total comments fell within the scope of a master plan, while the remaining 40% addressed topics that are outside the scope of a master plan. VA addressed all comments, both within and outside the scope of a master plan, in the Federal Register Response Document.

For additional information on the Federal Register process, comment categories and responses please refer to the Federal Register Response Document.

MyVA Communities and Continued Stakeholder Engagement

To improve transparency and accountability, GLA leadership will continue to hold VSO and congressional meetings and Town Halls to provide stakeholder updates. The first such meeting will be targeted to be held within 90 days after the VA Secretary adopts the Draft Master Plan. GLA and VISN 22 leadership will also collaborate with community partners in conjunction with the MyVA Communities model. MyVA Communities are a collaborative network of Veterans, advocates, resources, and other stakeholders who organize through community Veteran Engagement Boards, to improve outcomes for Veterans, and their communities. The MyVA Communities model enables Veteran advocates, service providers, Veterans, and stakeholders to have a voice in providing input and feedback to VA, and identifying their goals and ways to engage and improve service delivery for Veterans and their families.

By adhering to the following core tenets, the GLA MyVA Community will enable Veterans and other stakeholders to easily identify and reach resources available to them, voice their opinions, and provide valuable feedback.

Inclusive

- Open to all Veterans, stakeholders, resources, advocates and existing community engagements/efforts.
- Establish a collaborative network within the community and provide the opportunity to connect with other MyVA Communities.

Accessible

- Conduct public forums to provide open lines of communication and opportunities to collaborate.
- Public forums will be held in geographically diverse locations to encourage broad participation.

Community-driven

- Focused on local issues identified by the community.
- Guided by a community Veteran engagement board that understand the issues and is actively engaged in them.

Flexible

- Chartered by communities to reflect their unique characteristics and populations.

- Allow for customization to meet local needs.

Integrated

- Connecting and leveraging local resources and capabilities to maximize impact and improve Veteran outcomes.
- VA provides an integrated presence with representation from all three administrations, with enhanced coordination with other key stakeholders including Federal, State, and local authorities, the former Plaintiffs in the *Valentini* litigation, legislators, Veteran Service Organizations, Veterans, philanthropic entities, and local community.
- Leverage outside contractor support and private sector expertise when needed for services and supplies to help carry out the master planning process or to further revitalize the campus, in accordance with applicable law and regulation, including the Federal Acquisition Regulation (48 C.F.R. Chapter 1) and the Competition in Contracting Act (41 U.S.C. §§ 3301-3312).

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IV. Existing Conditions and Site Analysis

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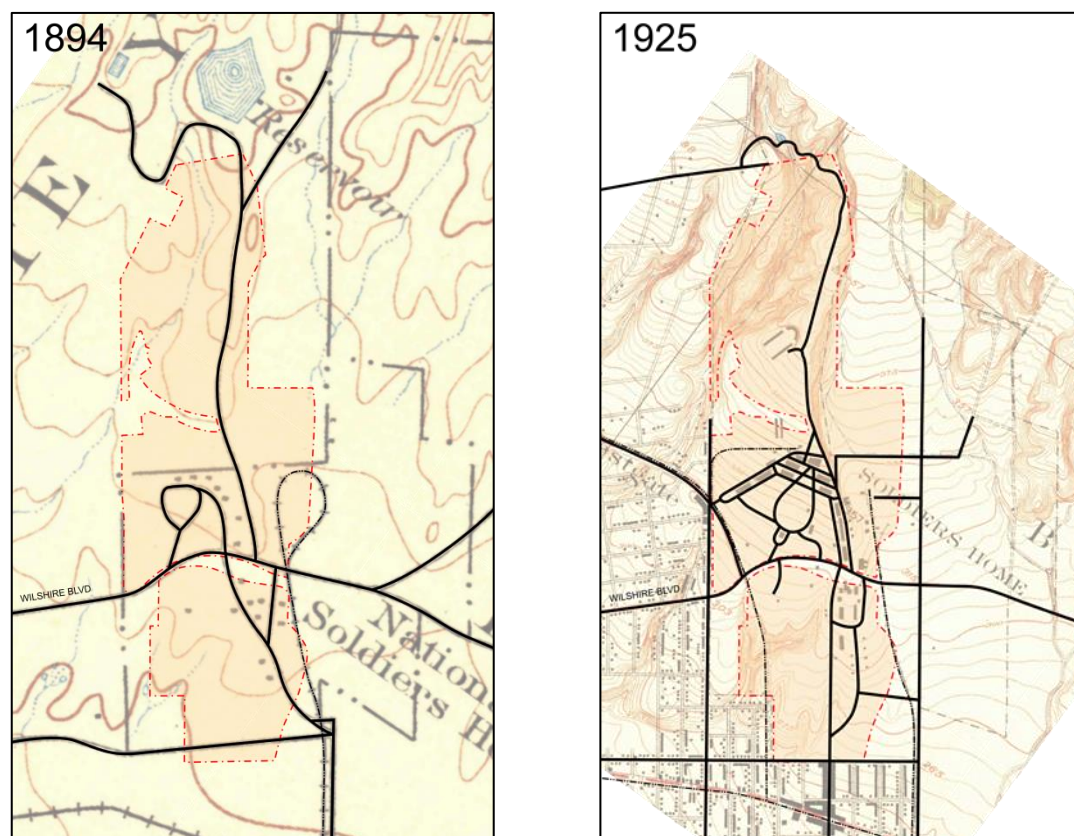
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A. Historic Growth Patterns

Maps and aerial photographs tell the story of the Soldier's Home from its inception over a century ago. Images of the campus from 1894 show minimal roads and only a few buildings. At the time, two main roads crossed through the GLA campus in 1894. Bonsall Avenue was a main route through the campus from Wilshire Boulevard extending north along the bluff to existing campus borders on the North side. A small cluster of buildings surrounded a road loop just north of Wilshire Boulevard. The road extended south to cross Wilshire Boulevard to a small collection of buildings east of what is today Wadsworth Park. There is evidence of a train rail that entered the campus from the south. The railway ended in a loop just north of Wilshire in the area that is now the 405 on-ramp.

Figure IV-1: 1894 and 1925 Historic Growth Maps



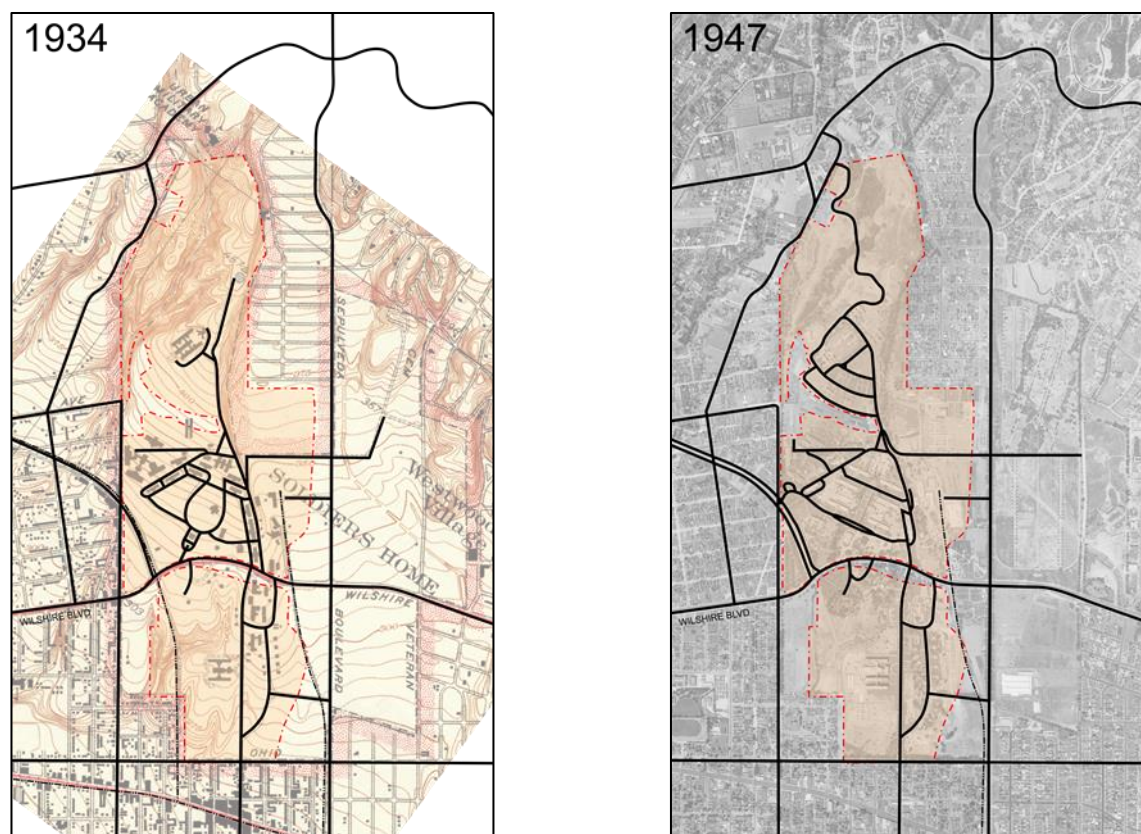
By 1925, the campus had greater access through rail. The railway serviced the south eastern side of campus. A new east-west running line was introduced south of Ohio Ave. From this rail line another line extended North through the campus, running along San Vicente Blvd. At this time, San Vicente Blvd cut through the Grand Lawn to Wilshire Boulevard. At the edge of the GLA campus, there was a short rail line that turned back into the interior of the campus and ended at the Trolley Depot that still exists on campus today.

A map from 1925 is also the last evidence of an access point at the north end of the campus. Bonsall Avenue extended through the north borders of the campus and connected to a west-bound Sunset Boulevard. Later maps show Bonsall Avenue coming to a stop within the north campus. At that time, other access points to the campus included the western access point

through Constitution Avenue.

Over the next two decades, the campus went through tremendous change, most likely due to the two World Wars. First, the campus developed in density within the existing neighborhood north of Wilshire Boulevard. By 1934, maps show many buildings that still exist today including the research buildings 115, 117, 113, and 114 as well as building 116 and the Mess Hall, Building 13. By 1947, the campus development had expanded north. A new road network was formed on the northern plateau of the campus creating more fan-like arrangement of streets. Although Bonsall Ave came to an end in this area, a new road was constructed, winding through the varying topography and extending out the northern limits of the campus and connect to what is today Barrington Avenue. More homes had been constructed along these roads including buildings 205, 208 and 209, aligned with buildings to the south and creating the quad that can be seen today.

Figure IV-2: 1934 and 1947 Historic Growth Maps

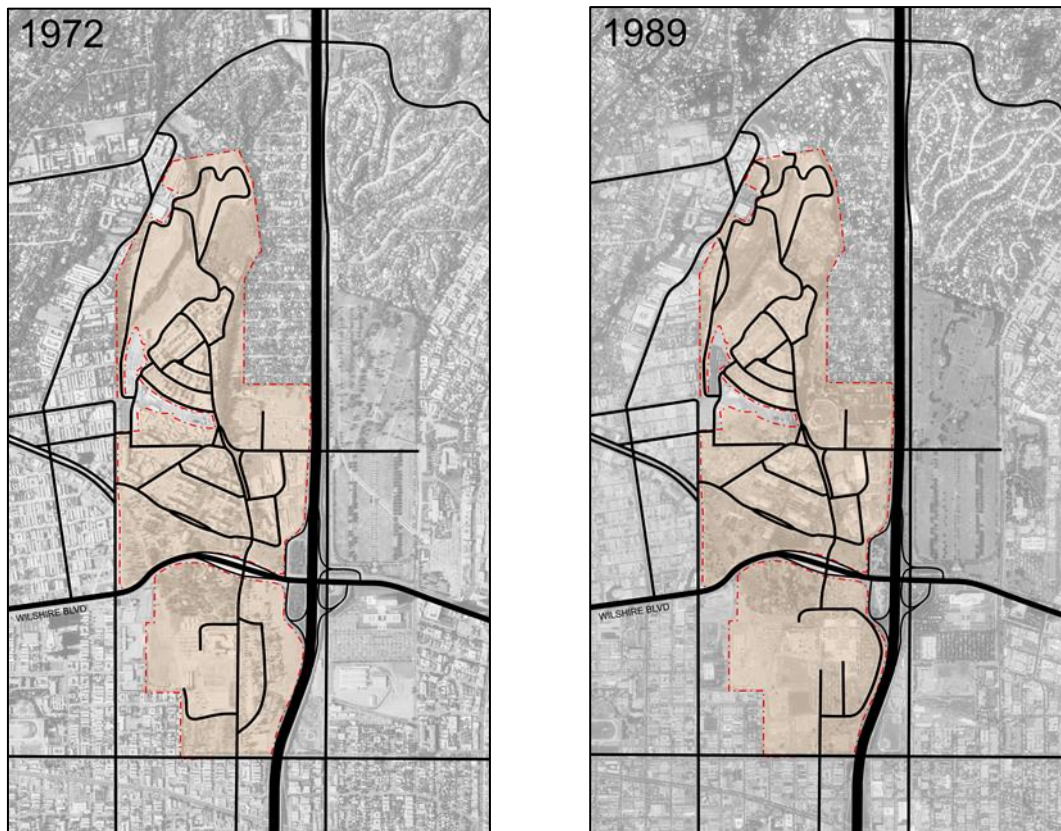


By the 1950s, all rail in or around the campus had been eliminated and the focus of transportation has turned to the car. By the early 60s, I-405 was being used as a major thoroughway just east of the GLA campus. Maps from 1964 show that Wilshire Boulevard's dramatic widening to meet the traffic demand of the area.

By 1964, there was also increased development on the north end of the campus. The northern most access point onto Barrington Place had been eliminated and the campus road system was constructed into a loop that encircled the plateau-like area west of the Golf course.

The 1972 map of the campus shows an access point added to the west side of campus and east into a central point in the campus along the bluff line. At this time, the south campus road system begins to break from the linear roads that had existed, as seen in Figure IV-3, when Bonsall Avenue had continued through the South campus to meet Ohio Avenue. By 1989, Bonsall Avenue had been interrupted and transformed into a half circle and by 2002 the road system of the South campus is how we know it today.

Figure IV-3: 1972 and 1989 Historic Growth Maps



B. Regional Context

The VA Greater Los Angeles Healthcare System (VAGLAHS) is one of the largest healthcare systems within VA. It is a key component of the VA Desert Pacific Healthcare “VISN” 22 (Veterans Integrated Service Network), offering services to Veterans residing in Southern California and Southern Nevada. VAGLAHS consists of three ambulatory care centers, a tertiary care facility, and 10 community-based outpatient clinics. VAGLAHS serves Veterans residing throughout five counties: Los Angeles, Ventura, Kern, Santa Barbara, and San Luis Obispo. There are 1.4 million Veterans in the VAGLAHS service area. VAGLAHS is affiliated with both UCLA School of Medicine and USC School of Medicine. (See Figures IV-4 and IV-5).

- Centrally located in West Los Angeles, North of Interstate 10 and West of Interstate 405
- Bus route and proposed Metro extension along Wilshire Boulevard
- Los Angeles International Airport located 10 miles south.
- UCLA Ronald Reagan Hospital less than 10 minutes away
- USC Health Sciences Campus 20 minutes away, USC Main Campus 15 minutes away

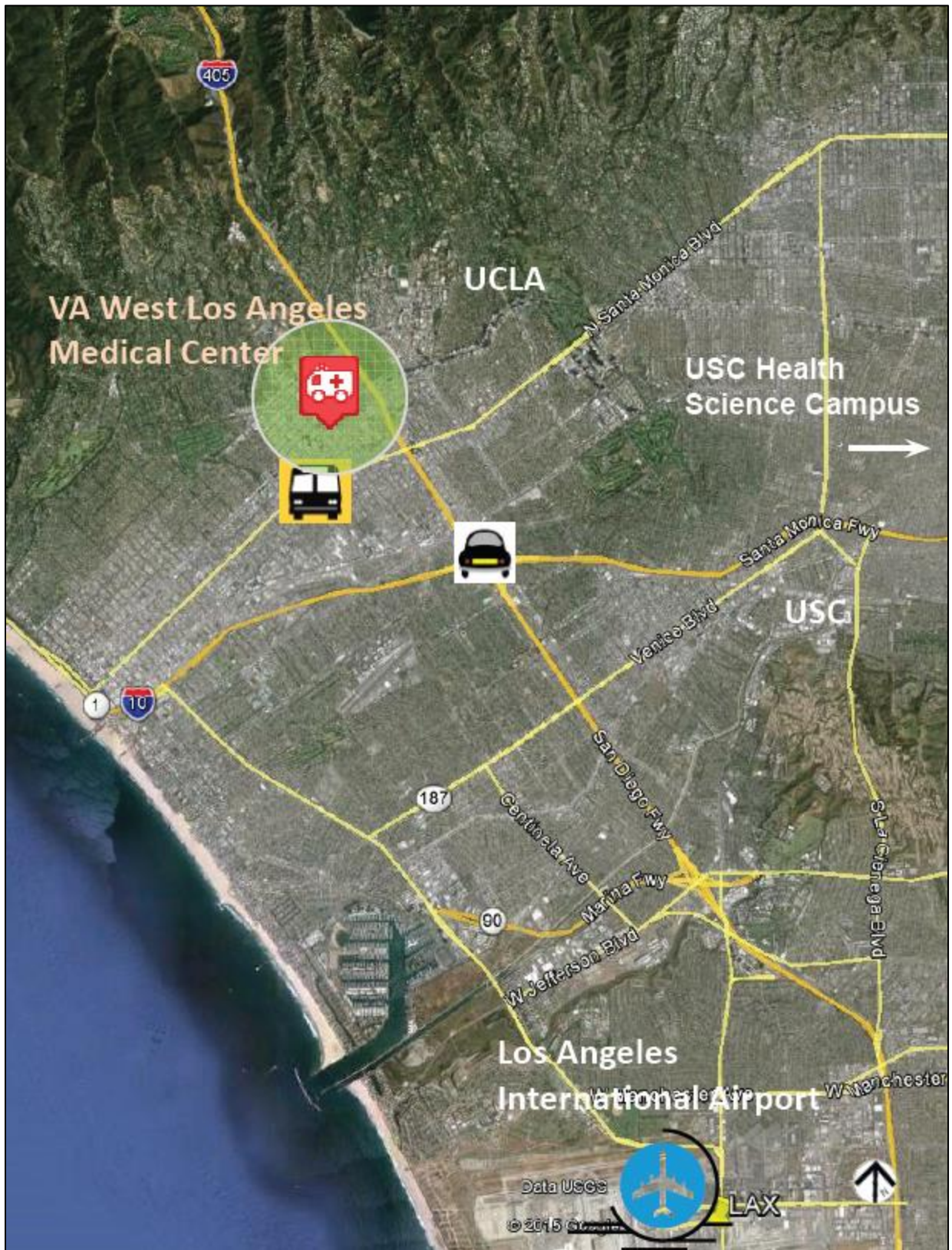
Figure IV-4: Regional Context



Connection of GLA Campus with Satellite Sites

The GLA Campus, when revitalized, will become a more meaningful, inviting, and welcoming resource to a broad range of Veterans in Southern California. It will also function more strategically with satellite sites, such as the Sepulveda Ambulatory Care Center, the LA Ambulatory Care Center, and all 10 Community-Based Outpatient Clinics as well as sites that help serve Veterans as partners in healthcare, housing and human services.

Figure IV-5: VA Greater Los Angeles Medical Center Location



Surrounding Roads & Access Points

The GLA Veterans Affairs campus is located at the major intersection of Sepulveda Boulevard, Interstate 405 (also known as the San Diego Freeway), and Wilshire Boulevard in Los Angeles, California, and is generally bounded by Barrington Avenue, Bringham Avenue, San Vicente Boulevard and Federal Avenue on the west; Ohio Avenue on the south; and Veteran Avenue on the east. Located in the densely urbanized Brentwood neighborhood, the campus encompasses approximately 388 acres and retains a strong sense of time and place from the period between 1923 to 1952, when it was used as a Second Generation Veterans Hospital.

Wilshire Boulevard begins in the City of Santa Monica and continues easterly into Downtown Los Angeles. It extends through GLA Campus and serves as its primary access. In the GLA Campus vicinity, Wilshire Boulevard is striped with three travel lanes per direction, with left-turn channelization. Generally, within the City of Los Angeles, the eastbound and westbound curb lanes are restricted to bus and right-turn-only operation during the weekday morning and afternoon peak periods. Wilshire Boulevard is grade-separated over Bonsall Avenue, with on / off-ramps accessing Bonsall Avenue. Wilshire Boulevard also has northbound and southbound ramp connections with I-405.

The I-405 / San Diego Freeway runs north-south from the northern San Fernando Valley, through Los Angeles County, and into Orange County. It is adjacent to the GLA Campus on the east and provides primary regional access to the site. It generally has four lanes, along with a high-vehicle occupancy lane, in each direction. Near the GLA Campus, I-405 runs north-south, interchanges with I-10 / Santa Monica Freeway, and has full or partial ramp connections at Sunset Boulevard, Wilshire Boulevard and Santa Monica Boulevard. According to current information on the Caltrans website, I-405 has an average daily traffic volume of 279,000 to 300,000 vehicles near Wilshire Boulevard.

Transit & Proximity

Located at 11301 Wilshire Boulevard, West Los Angeles, California, the campus is 4 miles from downtown Santa Monica and 14 miles from downtown Los Angeles. The campus shares an edge with the Brentwood neighborhood on the west and to its north, with the Westwood neighborhood and the I-405 freeway on the east, and the West Los Angeles neighborhood on the south. Santa Monica is the nearest downtown area.

Public Transportation

There is a network of existing public transportation serving the campus and surrounding area. Multiple regional and local public transportation operators include Metro, Santa Monica Big Blue Bus, Culver City Bus, Los Angeles Department of Transportation (LADOT) Commuter Express, and Antelope Valley Transit Authority. The bus lines that run along Wilshire Boulevard including the #4 San Vicente Boulevard, #3 Montana Avenue, #720 Metro Rapid Line, #2 Wilshire Boulevard, and #20 Metro Local Line. The commute into downtown Santa Monica is 16 minutes by car, 19 minutes by bus, 21 minutes by bike, and over an hour by foot.

However, there are only two lines that actually enter the GLA campus. The first is the LADOT Commuter Express line that runs down Sepulveda Blvd, and enters the low lands of the eastern side of campus to service. The second is the Santa Monica Big Blue Bus, which travels through the south campus from Wilshire Boulevard to Ohio Avenue. A map of the bus routes described above, Figure B-2 Bus Lines and Bikeways is included in Appendix B.

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Surrounding Neighborhoods and Land Uses

Zoning and Uses on the GLA Campus:

The north campus is part of the GLA Campus for the GLA Healthcare System and is zoned as Institutional / Government Owned.

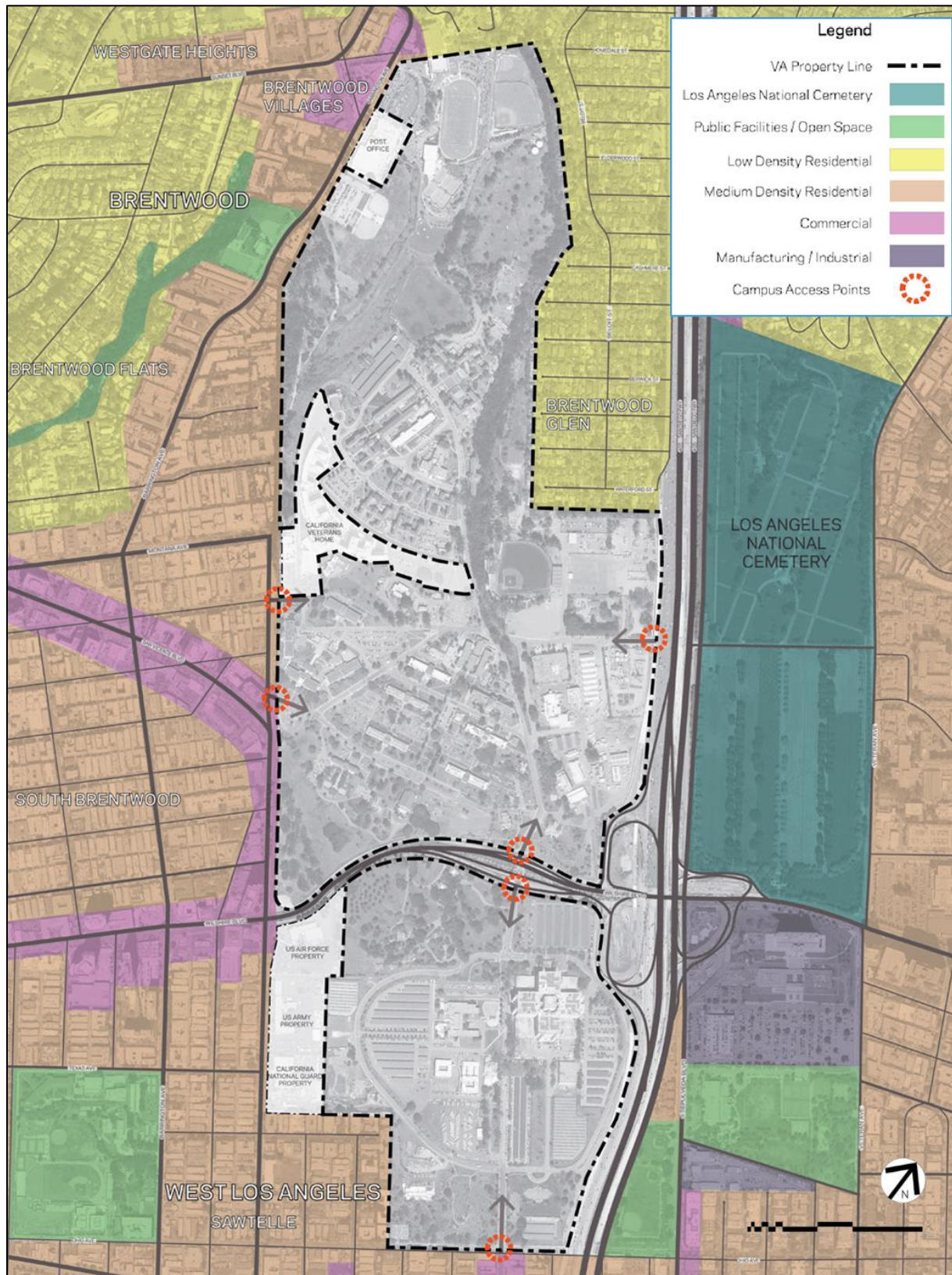
Government Owned. (See “Figure B-11 North Campus Zoning” in Appendix B).

Neighborhoods and Uses:

- The Los Angeles National Cemetery is to the east of the I-405 and is accessed via Constitution Avenue. It currently contains 85,000 casket burials of Veterans and their family members, from the Mexican War to the present.
- The north campus surrounding land use includes two multi-unit residential neighborhoods, with supporting commercial and retail buildings along the western and northern boundary.
- The northeast is bordered by single-family homes (Brentwood Glen). Brentwood Village, a small commercial district at Barrington and Sunset, has more than a dozen restaurants, and coffee shops.
- Western San Vicente Boulevard has two grocery stores and numerous other shops, restaurants and cafes within walking distance of the VA campus.
- Sawtelle unincorporated, which is now owned partially by the federal government, state of California, and a private utility company, is under the zoning control of the Los Angeles County Board of Supervisors. This unincorporated area contains the Wilshire Federal Building, the Los Angeles National Cemetery for Veterans, the Wadsworth VA Hospital / GLA Medical Center, the site of a former major Veterans home, and many smaller federal office buildings.
- Sawtelle incorporated, which borders the southern Medical Campus south of Wilshire Boulevard, is a district of Los Angeles that began when the Pacific Land company purchased land just to the south of the Veterans campus to develop a new town. Residential lots were sold based on their proximity to the “beautiful Soldier’s Home” to many Veterans and their families who were drawing services from the institution, which linked the Sawtelle community to the old Veterans home. The main street of Sawtelle Oregon Avenue, now called Santa Monica Boulevard, was served by a streetcar that connected the city to Los Angeles and had a branch that terminated on the GLA VA Campus.

The surrounding neighborhood uses described above are shown in “Figure IV-6 Neighborhood Context” on the following page.

Figure IV-6: Neighborhood Context



C. Site Analysis

Introduction

The following Site Analysis for the north campus summarizes the existing available record data information for the surrounding areas:

- Parcel data
- Environmental Context, including topography, natural areas, existing trees, native and naturalized plants, sensitive species, seismic activity, fault lines, liquefaction zones, soil conditions, flood hazards, rainfall, water tables, and aircraft flight patterns
- Open spaces and active recreational uses on campus
- Existing roadways, transit, and bicycle access on campus
- Existing parking
- Existing buildings
- Greater Los Angeles Veterans Affairs Historic District
- Existing Regulatory Requirements
- Legislative Overlay
- Pending NEPA and Historic Due Diligence
- Site Climate Information, including site responsive design strategies for this area's climate zone

This information is then summarized in the “Opportunities and Constraints” section.

The information provided for the site was based on record data provided by the VA Hospital, local agency records, and the public GIS database for the Greater Los Angeles region.

Site Definition

The 388 acre GLA campus is located just west of the Interstate 405 freeway (I-405) and both north and south of Wilshire Boulevard. The northern and western property borders Brentwood and West Los Angeles, and the east is bordered by Westwood and Century City, directly east of the I-405.

The following parcel exhibit identifies parcels on or adjacent to the campus that are not owned by VA, including the California Veterans Home, U.S. Post Office, and the US Air Force, US Army, and California National Guard Property along Federal Avenue.

Existing Infrastructure and Utilities

A full study and evaluation of the campus civil utilities can be found in Appendix B, and includes additional information regarding electrical facilities, telecommunications, gas, water, sewer and steam lines, and storm drain facilities.

Topography

The campus site is north of Wilshire Boulevard and west of Interstate 405, located on a gently sloping terrace at the foot of the Santa Monica Mountains. Topographically, the site slopes from high on the north to low to the south as well as westerly from Bonsall Avenue (center of the site) to San Vicente Boulevard/Brigham Avenue, with elevations ranging from approximately 470 feet above mean sea level (MSL) to approximately 250 feet MSL. Along the east side of Bonsall Avenue, the existing topography slopes south to Wilshire Boulevard. Steep slopes up to

approximately 30 feet in height descend from the western and northern edges of the campus, significantly impacting areas of potential development. Additional information about the topography can be found in Appendix B.

A 22-acre parcel at the northern portion of the property is currently being used by the Brentwood School, and is at an elevation of approximately 480 feet. The southern portion of the north campus is at an elevation of approximately 310 feet. The change in elevation is approximately 170 vertical feet from the Brentwood School site to Wilshire Boulevard (see “Figure IV-7”).

The northern half of the property has more variation in topography, with existing site improvements that include large flat pad areas and graded side slopes to fit the existing terrain. The area is mostly used for recreational purposes and includes the following site improvements: football and track field, baseball fields, golf course, Veteran’s Park, soccer field, tennis courts, gardens, and the Arroyo drainage area. With these amenities, the density and paved areas are less than the southern portion and primarily used for parking and access drives.

The southern half of the north campus accommodates the majority of the operating campus infrastructure. The southeast portion of the north campus has the least amount of elevation change and is primarily industrial, including laundry facilities, engineering shops, an oil lease area, and a supply warehouse.

Natural Areas

Arroyo & Bluff

The Arroyo in the northwesterly part of the campus is a designated intermittent blue line stream in the United States Geological Survey (USGS) classification of waters of the United States. This arroyo plays a role in the area’s site drainage, as conveyance for run-off from north to south, ultimately depositing into a culvert midway down the site. The tributary area and the arroyo course has been dramatically modified by natural and human means. With minimal intervention, the arroyo may be returned to a more natural form with naturalized grade and planting.

A bluff is located on the eastern side of the campus. The bluff runs in a north south direction behind buildings 210, 209, 208 and 259. The property slopes downward approximately (60 feet) to the east border of the campus by the Brentwood/Westwood neighborhoods. With the arroyo on the western edge and the bluff located on the eastern edge, the land between these features acts as a plateau. The two topographic features are natural barriers that help create a protective are for housing and community development.

Existing Trees

A tree survey was included in the design analysis to avoid negative impacts to existing tree cover. A linear grove of mature Eucalyptus trees along the southern portion of Bonsall Avenue form a buffer on the east edge of the VA Property. Located on the east of the arroyo another Eucalyptus grove forms a buffer on the west edge of the north campus. Historic Moreton Bay Fig (*Ficus microphylla*) groves are located throughout the site.

Native Plant Materials

Located at the base of the Santa Monica Mountains, the project site is in the California chaparral and woodlands ecoregion of the California Floristic Province. This ecoregion has two predominant ecosystems, one coastal and one with chaparral and California oak woodlands at

the project site. Chaparral is shaped by the Mediterranean climate, with its mild, wet winters and hot, dry summers and wildfire. The oak ecoregion includes Interior Live Oak, Tan Oak, Engelmann Oak, Canyon Live Oak, and Coast Live Oak.

These native plants are highly flammable but very drought-tolerant, which is important given the current climate. Future landscaping efforts associated with new buildings should include xeriscaping techniques and native planting appropriate for the slope conditions and proximity to residential structures.

Sensitive Species

The north campus is within the sensitive species area for the Monarch Butterfly, Silver-Haired Bat, Gertsch's Socalchemmis Spider, Mud Nama (plant), and Braunton's Milk-Vetch (plant).

Open Space

Active Recreation Spaces

The Heroes Golf Course located on the GLA campus is open from sun up to sun down, 7 days a week, and Veteran residents and inpatients receive first priority to use the course. Also existing within the campus boundaries are the athletic facilities and amenities at the Brentwood School (sports fields, track and tennis courts, and swimming pool), the Barrington Recreation Center and Park, and Jackie Robinson Stadium. (See Figure IV-8)

Community-Level Open Spaces

These larger spaces exist already on campus for larger community events.

- Formal Parade Grounds
- Memorial (Rose) Garden
- GLA Park Area
- Wadsworth Historic Park
- South Entry Lawn
- Healing Garden
- Arcadia's Garden

Neighborhood Open Spaces

These neighborhood-scale gathering and intermediate-level open spaces exist on campus currently.

- Japanese garden
- Buildings 205, 208, and 209 Quad
- Open space between Buildings 214 and 217

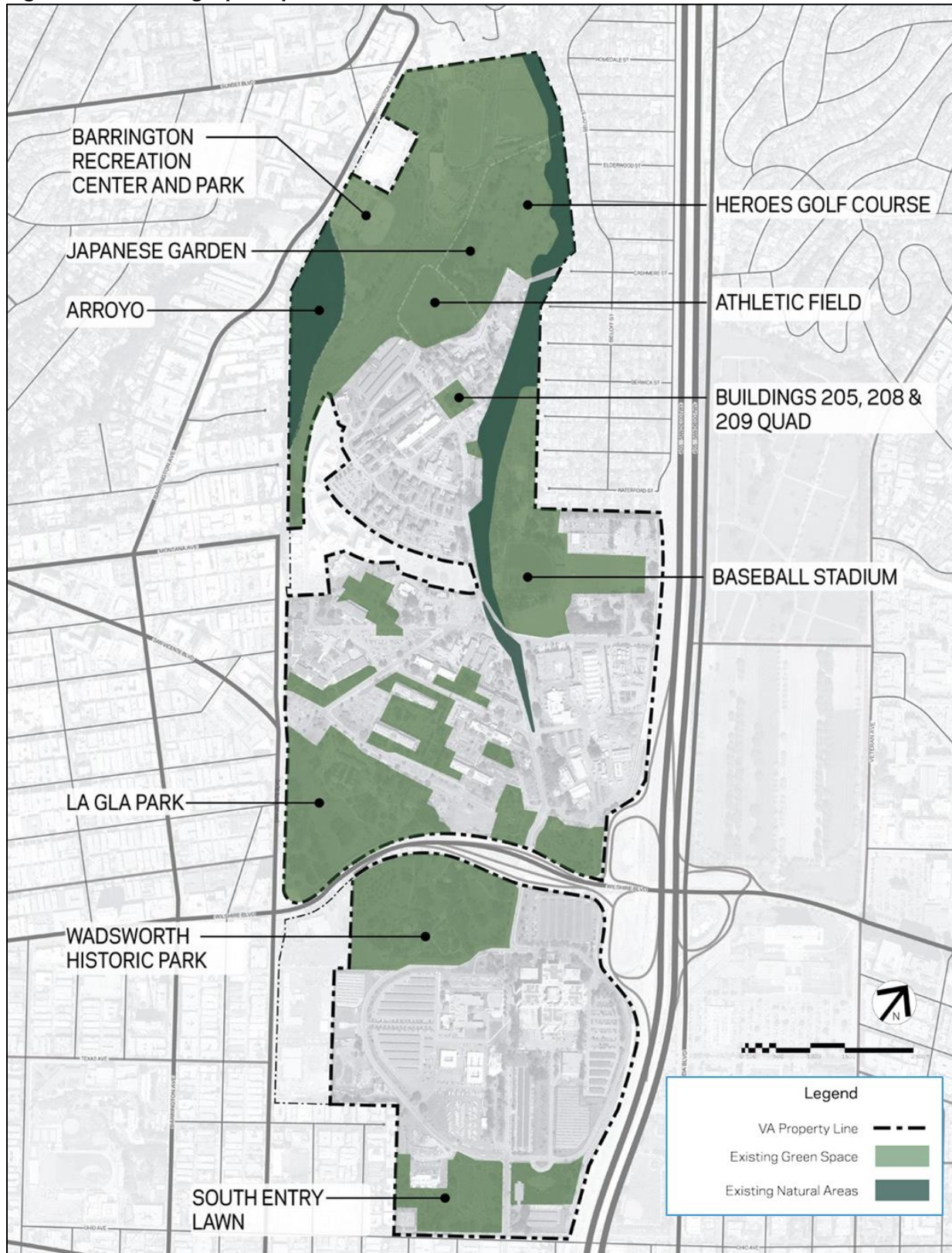
Residential Gardens

The best example of this scale of outdoor space on the existing campus is the New Directions for Veterans' side yards and front patio entry. However most of the on-campus residential-scale landscaping surrounding existing buildings currently suffer from a lack of clear design intent and outdoor spaces for Veterans to use.

Existing Open Space Concerns:

- There are very few neighborhood-scale open spaces designated on the current campus with appropriately scaled spaces and program.
- Areas surrounding residential buildings do not take advantage of the opportunities for outdoor living spaces.
- Benches and seating are placed haphazardly, and privacy from the street is not maintained.
- Outdoor areas are not linked to sidewalks and the rest of the campus pedestrian circulation system.
- Lacking comfortable spaces.
- Use of natural shade.
- Lack of separation between pedestrian and vehicular zones.

Figure IV-8: Existing Open Space



Primary Roadways

The campus is divided in two parts: a northern section and a southern hospital section, by Wilshire Boulevard. Interstate 405 separates the campus from its National VA Cemetery.

Both the northern and southern parts of campus are accessed primarily from Wilshire Boulevard in a deceleration lane that runs east and west. This deceleration lane descends to allow a tunnel underpass for Bonsall Avenue, connecting the two parts of campus.

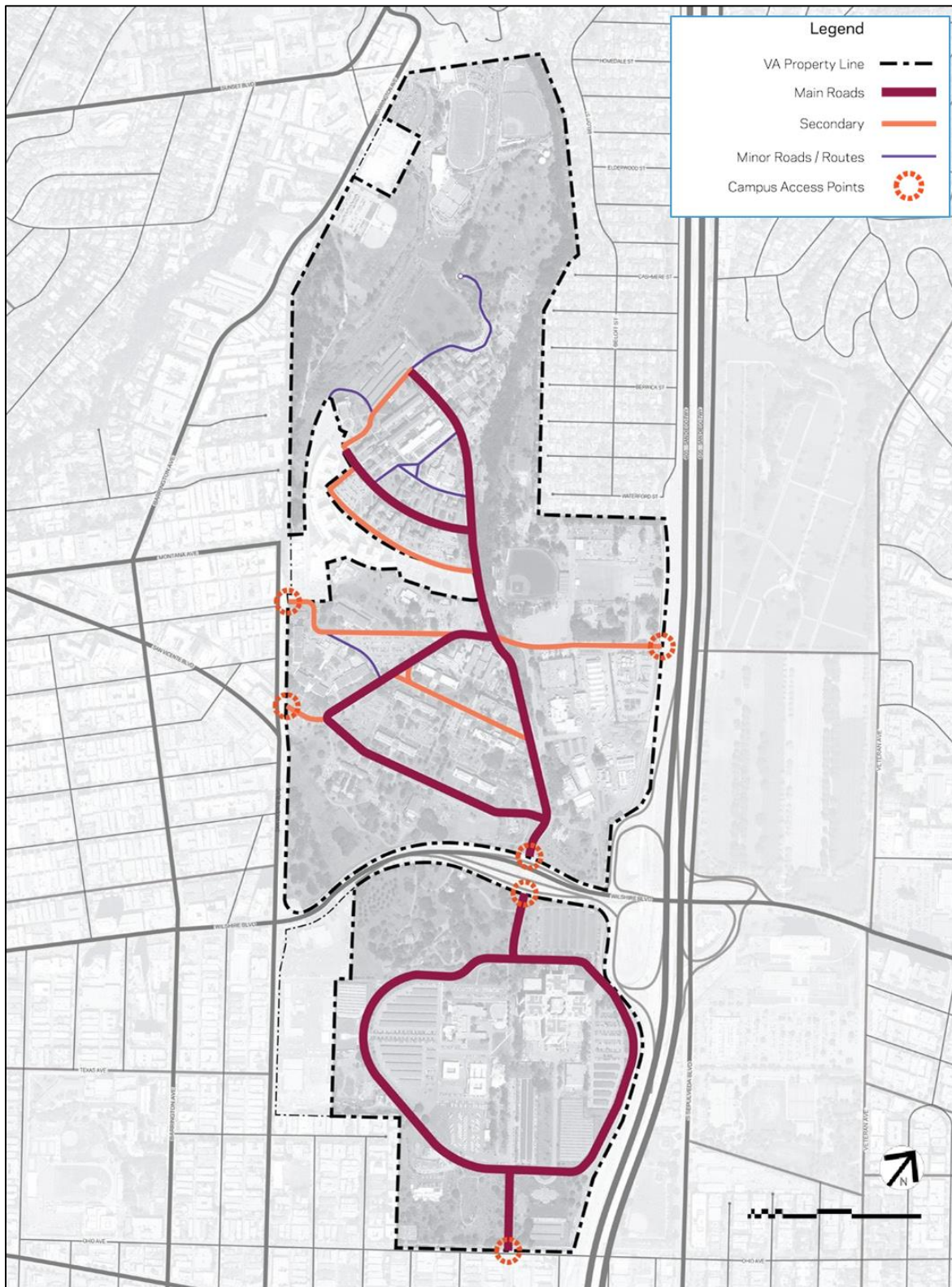
Other access points include points include:

- The intersection of Sepulveda Boulevard and Constitution Avenue provides secondary access to the GLA Campus along the east side of I-405. Sepulveda Boulevard is one of the longest, continuous arterials in Los Angeles County, extending from the northern San Fernando Valley to the South Bay. It is generally striped with two travel lanes per direction, along with left-turn channelization. Constitution Avenue crosses under I-405 for both pedestrian and vehicular access to the National Cemetery.
- The intersection of Sawtelle Boulevard and Ohio Avenue provides the primary access point for the south campus. Sawtelle Boulevard is a private street, with one through travel lane in each direction. Sawtelle Boulevard has one travel lane northbound and southbound between Ohio Avenue and Olympic Boulevard, with left-turn channelization at Olympic Boulevard. Ohio Avenue forms the southern boundary of the GLA Campus. It is striped with one travel lane per direction and a bike lane in the eastbound direction, with left-turn channelization installed at key intersections.
- Eisenhower Avenue on the Bingham/San Vicente Boulevard side of campus, which is currently closed to vehicular traffic.
- Pershing Avenue also intersects with Bingham Avenue on campus. Formerly used as a 'back' entry to the site for service functions, this entry is currently blocked off to both vehicular and pedestrian traffic.
-

In addition to Sawtelle Boulevard, on-site circulation is provided by a series of private streets. Bonsall Avenue serves as the primary north-south roadway for the GLA Campus. Bonsall Avenue extends northerly from Dowlen Drive on the South Campus, passes under Wilshire Boulevard, and continues northerly to MacArthur Avenue on the north campus. Dowlen Drive is a ring road on the South Campus, intersected by Bonsall Avenue on its northern perimeter and Sawtelle Boulevard on its southern perimeter, creating "East" and "West" segment designations. Dowlen Drive accesses all of the major parking lots and buildings on the south campus. Several streets on the north campus intersect and branch off Bonsall Avenue, including Eisenhower Avenue, Grant Avenue, Pershing Avenue and Nimitz Avenue. Generally, these private streets have two-way flow, one travel lane in each direction, and no on-street parking. All intersections on-site are stop-controlled, with most having all-way stops.

There is currently no route for vehicular traffic to traverse the entire campus from south to north. (See Figure IV-9)

Figure IV-9: Existing Roadwork



Bicycles

The campus currently contains few bicycle-friendly roads, with low traffic and gentle slopes. The City of Los Angeles adopted a Bicycle Plan as part of the transportation element of the city in 2011. The plan represents a commitment by the City of Los Angeles to complete streets as part of a move away from the auto-centric approach of the past toward a more sustainable transportation system that supports motor vehicle use, bicycling, walking, and transit.

The new Mobility Plan 2035, the city's new 20-year transportation vision, prioritizes safety and alternatives to driving and lays out hundreds of miles of new bicycle lanes. Nearest to campus, the western portions of San Vicente Boulevard are Class II bike routes (on-street marked bike lanes) while the strip that borders campus, and roads on-campus, are Class III bike routes (streets with signs denoting that it is a bicycle route, may include sharrows). The VA campus could follow the lead of the City of Los Angeles and encourage the use of cycling on-campus as an alternative mode of transportation that supports Veteran health and community access by providing bicycle parking facilities, shared roadways, signage, protection, and campus access to do so.

Issues with existing circulation and access:

- Lack of way-finding and navigational signage.
- Primary roadways are not designed to be main thoroughfares for pedestrians, bicycles or shuttles. They are not visually emphasized with identity-forming landscaping.
- There are several areas on and around the campus where conflicts with vehicles are a safety hazard for pedestrians and cyclists. Some areas of concern are Eisenhower Avenue and Dewey Avenue, Dewey Avenue and Bonsall Avenue, crossing under Wilshire Boulevard to the south campus Medical Center, and crossing Barrington Ave to San Vicente Boulevard.
- Pedestrian access is largely blocked at Pershing Avenue, and vehicular access is entirely blocked, which is the closest campus entry point for those who live in the CalVet building.
- Accessibility is compromised due to topography challenges, lack of curb cuts, sidewalk conditions and width, safety lighting, traffic calming, and signage.
- Current bike lanes do not connect through the campus. Nor is there a Veteran-centric program to encourage bike share and cycling as a means to transverse the very long campus. The lack of clear, on-campus bike routes leads to potential confusion and conflicts.

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Onsite Parking

Currently, most of the parking occurs in surface-level lots. (See Figure IV-10)

In August 2015, VA conducted a parking inventory and parking utilization survey for the existing parking resources available on the North Campus. There are currently 1,882 parking spaces on the North Campus, excluding spaces for motorcycle parking and spaces leased to private entities. The survey found the peak parking utilization on the North Campus to be 1,212 spaces, leaving a surplus of 670 spaces.

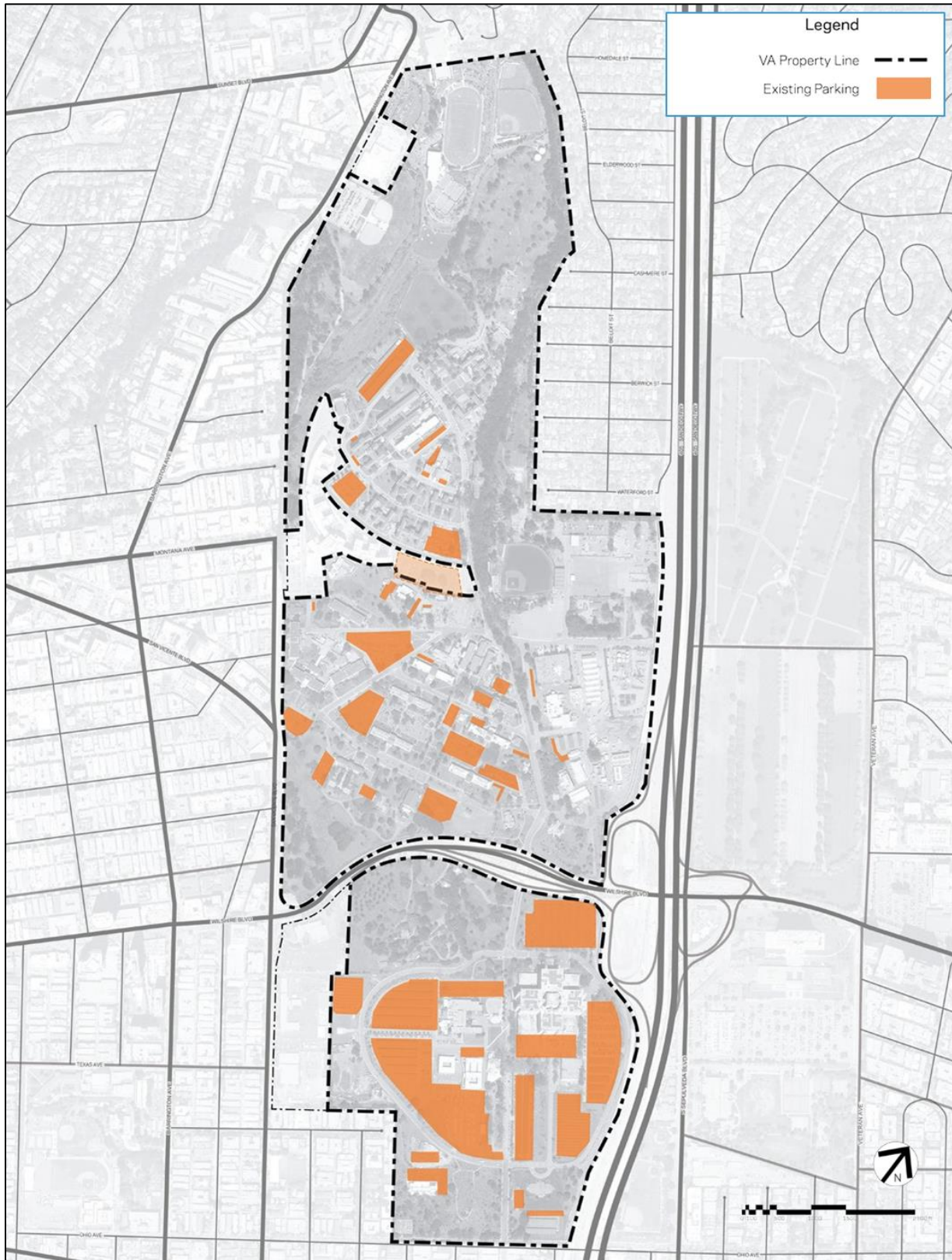
As part of the analysis of the proposed Bed Care Tower project, the parking supply on the South Campus was also inventoried. This inventory, conducted in October 2013, arrived at a parking supply of 2,023 spaces, excluding motorcycle and leased parking spaces. The study discovered “over capacity” conditions on the South Campus parking supply estimated the existing peak parking utilization to be approximately 2,225 spaces, i.e., approximately 10 percent more than the supply.

The existing shuttle service is offered to patients and includes internal circulation as well as off campus sites such as the Sepulveda neighborhoods, a VA clinic in Downtown Los Angeles and the cities of Bakersfield, Santa Maria and Simi Valley. Long distance shuttle rides must be arranged in advance and is provided approximately one a day. For more information on the existing VA shuttle schedule see Appendix G.

Issues with existing parking:

- Too many surface parking lots scattered throughout the site, with no hierarchy.
- Areas of asphalt visually dominate the campus experience.
- Due to overabundance of surface parking substituting for secondary roadways, the campus circulation system is not clear.
- Roads and parking should be secondary to pedestrian routes on campus.
- Uneven distribution of parking creating parking congestion in some zones while other areas are unused.

Figure IV-10: Existing Parking



Existing Building Inventory

An inventory of the existing buildings was made and can be found in the Appendix A. The inventory gives the facility types, building ages, building conditions and historic value of each built structure on campus.

Aside from the Governor's Mansion, the South campus is the more modern area of the campus. There, the two main medical facilities are less than 60 years old, surrounding buildings are even younger in age. Still, the hospital is in poor condition. Some of the mental health facilities on the South campus are in good condition. There are two buildings that are noted for lodging on the South campus that are also in good condition. The Ambulatory building, although aged, is in moderate condition.

The North campus has a wide range of facility types represented on the North campus including administrative, mental health facilities, residential lodging with and without mental services, community living centers, research facilities, support and logistics, shared spaces and six vacant buildings are this time. Most of the structures on the North campus are more than 60 years old and are in poor condition.

Current programmatic uses have been identified and categorized into eleven varying facility types that are presently distributed throughout the campus as a whole. While some buildings may be primarily dominated by a singular facility type, the majority of the existing occupied building inventory is comprised of multiple types. For ease of understanding, buildings are currently identified by their dominant facility type, but the square footage numbers provided are specific to only the area occupied by the facility type. It should be noted that the square footages also exclude areas designated as common spaces.

The facility types are as listed below:

- Administrative
- Hospital
- Ambulatory
- Mental Health
- Residential Mental Health
- Residential Lodging
- Community Living Center
- Research
- Support and Logistics
- Vacant
- Shared

In this section facility types are more specifically defined with a breakdown of the programs and services that make up each of the facilities, as well as the square footages associated. Additionally, the dispersement of these facility types throughout the campus has been defined by the building locations, with buildings being specified when the facility category is the

primary designation.

Each building is identified by number on the map found in Figure IV-11.

Administrative

Departments and services breakdown:

1. Acquisition and Material Management Warehouse Administration (3,434 ft²)
 - a. Chaplain (5,094 ft²)
 - b. Director's Suite (17,033 ft²)
 - c. Education (9,806 ft²)
 - d. Fiscal (8,539 ft²)
 - e. Human Resources (17,974 ft²)
 - f. Library (1,901 ft²)
 - g. Medical Administration (38,437 ft²)
 - h. Medical Media (4,091 ft²)
 - i. Medical Services Administration (31,448 ft²)
 - j. Nursing Services Administration (10,497 ft²)

- k. Psychiatry Administration (4,462 ft²)
- l. Social Work (2,154 ft²)
- m. Voluntary Service (1,951 ft²)
- n. VSO/Veteran Administration (6,337 ft²)

Square footage total – 163,158 ft²

Location

- 1. Building 205
- 2. Building 218
- 3. Building 220
- 4. Building 258
- 5. Building 301 (primary designation)
- 6. Building 319
- 7. Building 401
- 8. Building 500

Hospital

Departments and services breakdown:

- 1. Units – 23 Hour Observation (10,597 ft²)
- 2. Units – CCU (7,000 ft²)
- 3. Units – Intermediate (11,931 ft²)
- 4. Units – Medical (57,604 ft²)
- 5. Units – MH/Behavioral Medicine (48,726 ft²)
- 6. Units – MICU (6,325 ft²)
- 7. Units – Rehab (18,802 ft²)
- 8. Units – SICU (6,325 ft²)
- 9. Units – Surgical (15,665 ft²)
- 10. Pharmacy (7,013 ft²)
- 11. Surgical (54,140 ft²)

Square footage total – 244,128 ft²

Location

- 1. Building 304
- 2. Building 500 (primary designation)

Ambulatory

Departments and services breakdown:

- 1. ACS – Primary Care (32,575 ft²)
- 2. ACS – Secondary Care (47,675 ft²)
- 3. Audiology (14,010 ft²)
- 4. Cardiology (15,482 ft²)
- 5. Dental (30,591 ft²)
- 6. Dialysis (16,981 ft²)
- 7. Digestive/Endoscopy (14,875 ft²)
- 8. EEG/Neurology (3,878 ft²)

- 9. Eye Clinic (16,545 ft²)
- 10. Geriatrics (6,802 ft²)
- 11. Home Based Healthcare (1,455 ft²)
- 12. Nuclear Medicine (9,780 ft²)
- 13. Pathology (30,046 ft²)
- 14. Pharmacy (4,016 ft²)
- 15. Prosthetics (10,300 ft²)
- 16. Pulmonary/Respiratory Care (6,797 ft²)
- 17. Radiation Therapy (11,455 ft²)
- 18. Radiology (19,971 ft²)
- 19. Rehab Medicine (17,740 ft²)

Square footage total – 310,974 ft²

Location

- 1. Building 213
- 2. Building 220 (primary designation)
- 3. Building 304 (primary designation)
- 4. Building 345 (primary designation)
- 5. Building 401
- 6. Building 500
- 7. Building 507 (primary designation)

Mental Health

Departments and services breakdown:

- 1. Adult Day Care (4,478 ft²)
- 2. Day Hospital (2,188 ft²)
- 3. Day Treatment Center (9,599 ft²)
- 4. Mental Health Clinic (106,874 ft²)
- 5. Psychology (13,414 ft²)
- 6. Recreational Therapy (16,080 ft²)
- 7. Rehab Medicine (19,780 ft²)
- 8. Substance Abuse Clinic (13,666 ft²)

Square footage total – 1586,079 ft²

Location

- 1. Building 205
- 2. Building 206 (primary designation)
- 3. Building 208 (primary designation)
- 4. Building 210
- 5. Building 213
- 6. Building 249 (primary designation)
- 7. Building 256 (primary designation)
- 8. Building 257
- 9. Building 258 (primary designation)
- 10. Building 259 (primary designation)
- 11. Building 325 (primary designation)
- 12. Building 326 (primary designation)
- 13. Building 327 (primary designation)
- 14. Building 329 (primary designation)

15. Building 332 (primary designation)
16. Building 333 (primary designation)
17. Building 334 (primary designation)
18. Building 401 (primary designation)
19. Building 402 (primary designation)
20. Building 512 (primary designation)
21. Building 515 (primary designation)
22. Building 518 (primary designation)
23. Building 521 (primary designation)

Residential Mental Health

Departments and services breakdown:

1. Units – Domiciliary (142,032 ft²)
 - a. Domiciliary (DOM)
 - b. PTSD Residential Rehabilitation Treatment Program (PRRP)
 - c. Psychosocial residential rehabilitation treatment program (PRRTP)
 - d. Substance Abuse Residential Rehabilitation treatment Program (SARRTP)
 - e. Homeless Chronically Mentally Ill (HCMI)

Square footage total – 142,032 ft²

Location

1. Building 209 (primary designation)
2. Building 214 (primary designation)
3. Building 217 (primary designation)

Lodging

Departments and services breakdown:

1. Residential Quarters (28,847 ft²)

Square footage total – 28,847 ft²

Location

1. Building 523 (primary designation)
2. Building 535 (primary designation)

Community Living Center (CLC)

Departments and services breakdown:

1. Units – CLC (NHCU) (69,869 ft²)

Square footage total – 69,869 ft²

Location

1. Building 213 (primary designation)
2. Building 215 (primary designation)

Research

Departments and services breakdown:

1. Medical Research/Development (262,705 ft²)

Square footage total – 262,705 ft²

Location

1. Building 113 (primary designation)
2. Building 114 (primary designation)
3. Building 115 (primary designation)
4. Building 117 (primary designation)
5. Building 208
6. Building 210 (primary designation)
7. Building 212
8. Building 220
9. Building 256
10. Building 258
11. Building 304
12. Building 337 (primary designation)
13. Building 340 (primary designation)
14. Building 342 (primary designation)
15. Building 346 (primary designation)
16. Building 500

Support/Logistics

Departments and services breakdown:

1. Acquisition and Material Management Warehouse (37,262 ft²)
2. Canteen Service (29,880 ft²)
3. Engineering (104,703 ft²)
4. Environmental Management (26,268 ft²)
5. Information Resource Management (22,797 ft²)
6. Linen Service (1,840 ft²)
7. Nutrition/Food (48,382 ft²)
8. On-Site Laundry (49,584 ft²)
9. Pharmacy (10,362 ft²)
10. Police/Security (6,108 ft²)
11. Residential Quarters (19,578 ft²)
12. Social Work (116 ft²)
13. Sterile Process and Distribution Service (21,092 ft²)

Square footage totals – 377,972 ft²

Location

1. Building 012 (primary designation)
2. Building 014 (primary designation)

3. Building 023 (primary designation)
4. Building 033 (primary designation)
5. Building 044 (primary designation)
6. Building 046 (primary designation)
7. Building 063 (primary designation)
8. Building 090 (primary designation)
9. Building 091 (primary designation)
10. Building 113
11. Building 158
12. Building 199
13. Building 215G (primary designation)
14. Building 218
15. Building 222 (primary designation)
16. Building 231 (primary designation)
17. Building 233 (primary designation)
18. Building 236 (primary designation)
19. Building 256
20. Building 292 (primary designation)
21. Building 296 (primary designation)
22. Building 297 (primary designation)
23. Building 299 (primary designation)
24. Building 300 (primary designation)
25. Building 304
26. Building 305 (primary designation)
27. Building 306 (primary designation)
28. Building 307 (primary designation)
29. Building 308 (primary designation)
30. Building 309 (primary designation)
31. Building 310 (primary designation)
32. Building 311 (primary designation)
33. Building 312 (primary designation)
34. Building 315 (primary designation)
35. Building 318 (primary designation)
36. Building 319 (primary designation)
37. Building 500
38. Building 501 (primary designation)
39. Building 505 (primary designation)
40. Building 508 (primary designation)
41. Building 509 (primary designation)
42. Building 510 (primary designation)
43. Building 511 (primary designation)
44. Building 514 (primary designation)
45. Building 517 (primary designation)
46. Building 519 (primary designation)
47. Building 522 (primary designation)
48. T-83 (primary designation)
49. T-84 (primary designation)

Vacant

These are buildings that are primarily unoccupied for various reasons.

Square footage total – 176,304,386 ft²

Location

1. Building 013 (primary designation)
2. Building 020 (primary designation)
3. Building 066 (primary designation)
4. Building 111 (primary designation)
5. Building 156 (primary designation)
6. Building 157 (primary designation)
7. Building 158 (primary designation)
8. Building 199 (primary designation)
9. Building 205 (primary designation)
10. Building 208
11. Building 212
12. Building 258
13. Building 264 (primary designation)

Shared

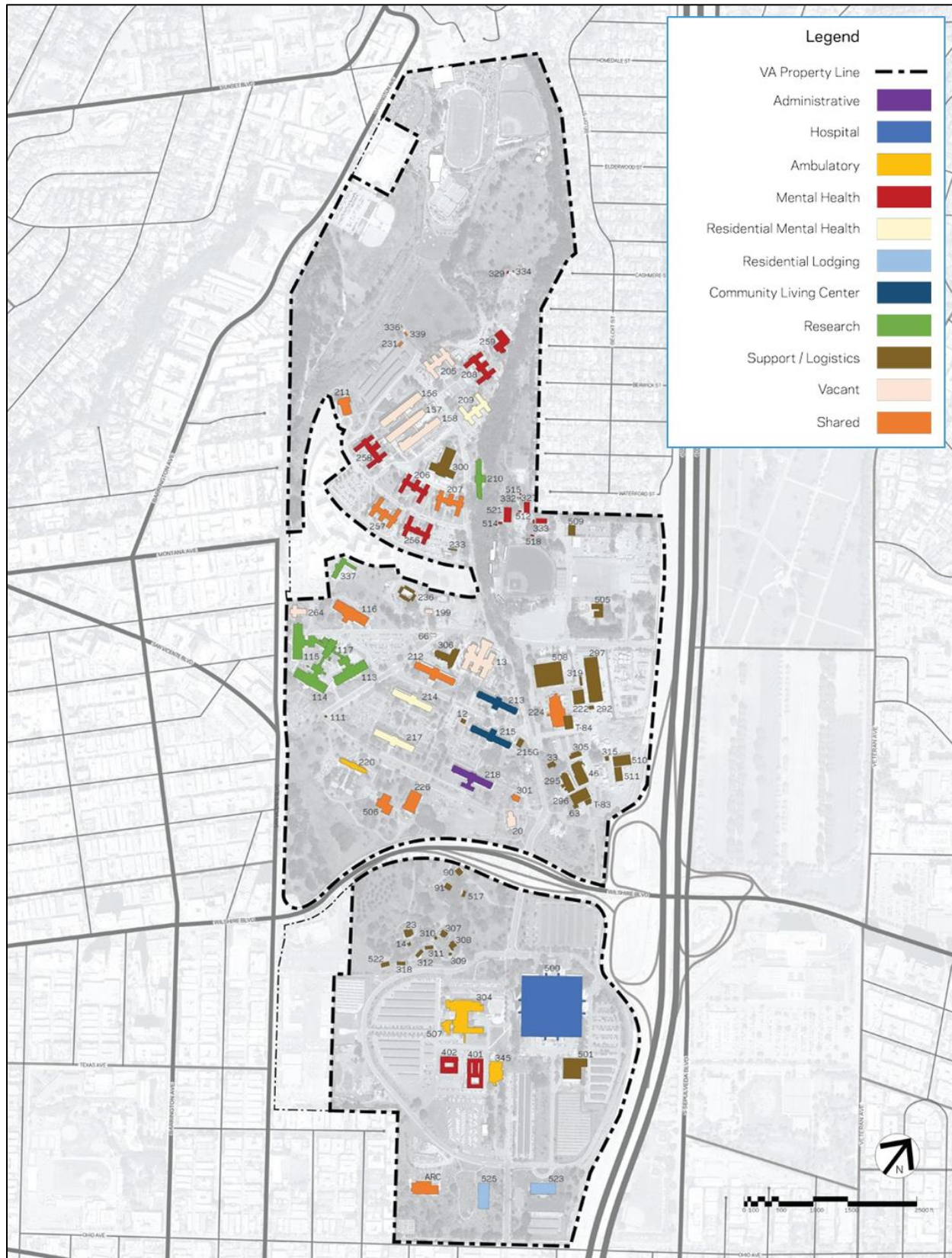
These are buildings that are primarily utilized by program elements that belong to entities outside of the VA system, usually through a sharing agreement. However, the Master Plan is based on direction from the VA to assume that the campus will not be encumbered by any existing land use agreements.

Square footage total – 250,216 ft²

Location

1. Building 114
2. Building 116 (primary designation)
3. Building 207 (primary designation)
4. Building 211 (primary designation)
5. Building 212 (primary designation)
6. Building 220
7. Building 224 (primary designation)
8. Building 226 (primary designation)
9. Building 257 (primary designation)
10. Building 258
11. Building 264
12. Building 301 (primary designation)
13. Building 306
14. Building 336 (primary designation)
15. Building 339 (primary designation)
16. Building 506 (primary designation)
17. American Red Cross (primary designation)

Figure IV-11: Existing Buildings



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Greater Los Angeles Veterans Affairs Historic District

In operation on the site since 1888, the Greater Los Angeles VA campus reflects the stories, service, and sacrifices of many generations of Veterans of the United States Armed Forces. In honor and recognition of this history, the National Park Service included the Greater Los Angeles VA Historic District on the National Register of Historic Places (NRHP) for its contribution to the “development of a national policy for Veteran healthcare” and as a “tangible manifestation of the federal government’s commitment to the healthcare of Veterans of World War I, which resulted in the nation’s largest network of hospitals.” The district has a cohesive grouping of Mission/Colonial Revival Style architecture and includes significant buildings and features that reflect the earliest era identified in the historic context statement for VA facilities nationwide, the National Home for Disabled Volunteer Soldiers.

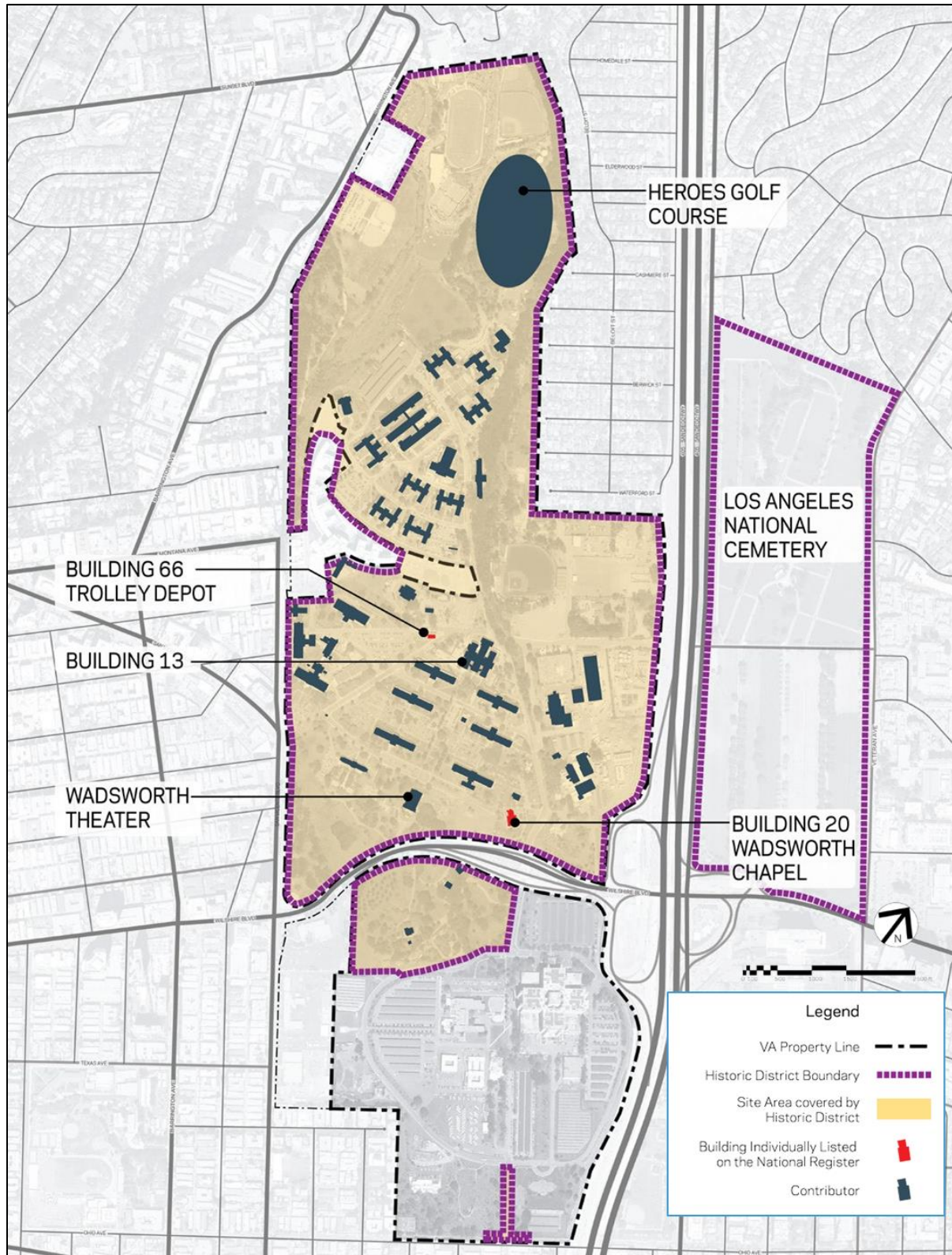
Spanning nearly 400 acres, the designated Greater Los Angeles VA Historic District includes 66 contributing buildings and structures, as well as a unified site plan, landscape features, circulation paths and roads, and streetscapes, extending over four non-contiguous areas of the campus constructed in multiple phases. The 66 contributing (National Register-listed) features, include 55 buildings, 3 sites, 1 structure and 7 objects across the VA campus. In addition, within the boundaries of the historic district are another 44 noncontributing (ineligible) features, including 37 buildings, 1 site and 6 structures. The campus also has 2 resources individually listed on the National Register: Building 20 (Wadsworth Chapel) and Building 66 (Trolley Depot). (See Figure IV-12)

Additional information about the Historic District can be found in Appendix D.

Existing Regulatory Requirements

Existing conditions include requirements for compliance with regulations aimed at protecting historic resources. In accordance with the National Historic Preservation Act of 1966 (NHPA), as amended, VA must consider the reuse and preservation, where feasible, of historic properties, defined as properties included in or eligible for the National Register for Historic Places (NRHP). The NHPA also calls upon VA to consider the potential effects of any federally funded projects on historic properties. Pursuant to the National Environmental Policy Act (NEPA), Section 106 of the NHPA, and applicable VA policy, undertakings likely to result in an adverse effect to a historic property must be studied and efforts made to avoid, reduce, or mitigate adverse effects. Changes to the VA campus are subject to the Section 106 review process. This process can be greatly streamlined by building into the project design the avoidance and/or reduction of adverse effects through conformance with the Secretary of the Interior’s (SOI) Standards for the Treatment of Historic Properties. As codified in 36 CFR Chapter I, Part 68, following the SOI Standards generally allows a project to avoid adverse effects to historic properties. The SOI Standards offer guidelines and approaches for preserving, maintaining, repairing, and replacing historical materials and features, as well as designing additions or making alterations. Guidance is also provided for new construction adjacent to historic properties, to avoid diminution of integrity through a change in setting.

Figure IV-12: Greater Los Angeles VA National Register Historic District



NEPA and NHPA Due Diligence

As a Federal agency, VA is required by the National Environmental Policy Act (NEPA) and the National Historic Preservation Act (NHPA) to identify and consider the potential impacts of its actions and decisions on the environment and historic properties, while providing for public consideration and input. VA plans to continue complying with NEPA and Section 106 of the NHPA following adoption of the Draft Master Plan. Input from external stakeholders, including the public, as part of the NEPA and Section 106 process will further contribute to the master planning process and the development of the Final Master Plan. This process and the requirements of the NHPA are discussed in more detail in Appendix D. Concurrent with the master planning process, VA began assessing its strategy for compliance with NEPA and the NHPA to ensure the greatest level of transparency and public involvement.

Inactive Waste Burial Site

During the 1950s to approximately 1968, a medical waste burial site was operated within the VAGLAHS campus. During this period, medical waste resulting from historic medical research and facility operations was buried in distinct burial pits in the Arroyo area. Additionally, incinerator ash, presumably from medical sources, as well as miscellaneous medical debris, was buried in and north of the Arroyo.

The site has been inspected and assessed on numerous occasions over the last 35 years. Due to the presence of low-level medical radiological waste, VAGLAHS notified the Nuclear Regulatory Commission (NRC) of the site in September, 1996, and complied with applicable regulatory requirements. Determinations have been made by State and Federal agencies that the site presents no public harm.

In response to questions and concerns from the public regarding the site, VA completed a Phase I and Phase II Study of the area. The Phase I Study was completed in February, 2007. Results were released to the public and showed no levels of radiation that could be considered dangerous to the public. The Phase II Study was completed in December 2010. Once again, results were released to the public. The Phase II Study concluded that contaminants and radionuclides found in the soil and water did not exceed Preliminary Remediation Goals established for soil and tap water by the U.S. Environmental Protection Agency Region IX (USEPA Region IX). Additionally, contaminant and radionuclide concentrations in groundwater did not exceed Maximum Contaminant Levels established for drinking water by the California Department of Public Health. (The Phase II report can be found at <http://www.losangeles.va.gov/LOSANGELES/features/GLA-Phase-II-Study.asp>)

To date, VAGLAHS has fully complied with all applicable laws and regulations related to this inactive medical waste burial site and, after thorough investigation, has not identified any potential health risks associated with the site. VAGLAHS is required to obtain NRC approval for any change in status of this site. As VAGLAHS proceeds in the master planning process, VAGLAHS will further consider potential impacts associated with the draft master plan and the waste burial site in its National Environmental Policy Act (NEPA) analysis.

Responsive Site Design & Climate Analysis

Responsive site design takes into consideration the path of the sun, the rush of the wind, and the flow of water across the campus. The following factors were taken into consideration during the climate analysis of the site.

Dry Bulb Temperatures

The campus is located in the warm-marine climate zone characterized by mild temperatures, including warm summers, cool winters, and lack of precipitation. The Pacific Ocean is relatively warm and keeps the climate very mild. Average temperatures are in the low 60s Fahrenheit. (See Figure IV-15)

Degree Days

Degree days are designed to reflect the demand for energy needed to heat or cool a building. It is derived from a measurement of the outside temperature, per hour, which is subtracted from a mean temperature of 65 degrees Fahrenheit. The resulting positive or negative number reflects the number of heating or cooling days a building requires. West Los Angeles has significantly more cooling degree days (4,390) than heating degree days (1,527). As a result, buildings require cooling more often than heating. (See Figure IV-15)

Solar Orientation

Optimum site orientation provides maximum winter solar collection as well as maximum summer solar protection, which helps to extend the typically moderate temperatures further into the day. The optimum solar orientation is 10.5 degrees from north toward the east. (See Figure IV-13)

Wind

Summers are pleasantly cooled by ocean winds. Though these offshore winds bring high humidity, comfort is maintained because of the relatively low temperatures. During the winter, the wind reverses and brings hot, dry desert air known as Santa Ana winds. Ocean breezes are typically strongest later in the evening, and in the winter, winds from the Santa Ana mountain range may bring unwanted heat and dust. (See Figure IV-16)

Precipitation

Most rain falls during warm, mild winters. West Los Angeles receives little rainfall, and most of it occurs in January, February, and March. The summer months receive almost no rainfall, which can be particularly problematic during periods of drought. (See Figure IV-16)

Figure IV-13: GLA Optimal Solar Orientation

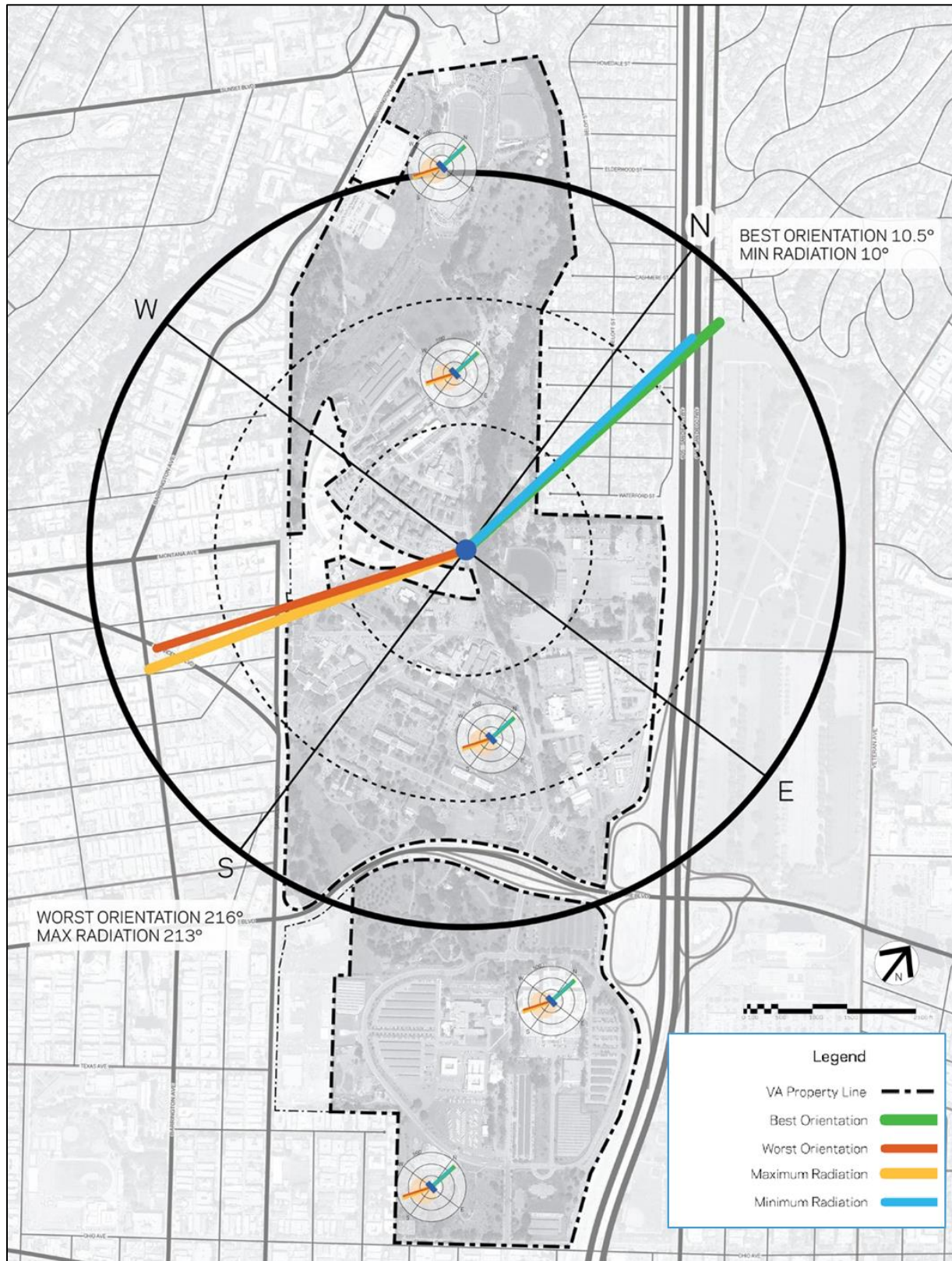


Figure IV-14: GLA Natural Ventilation (NV) Potential Wind Rose

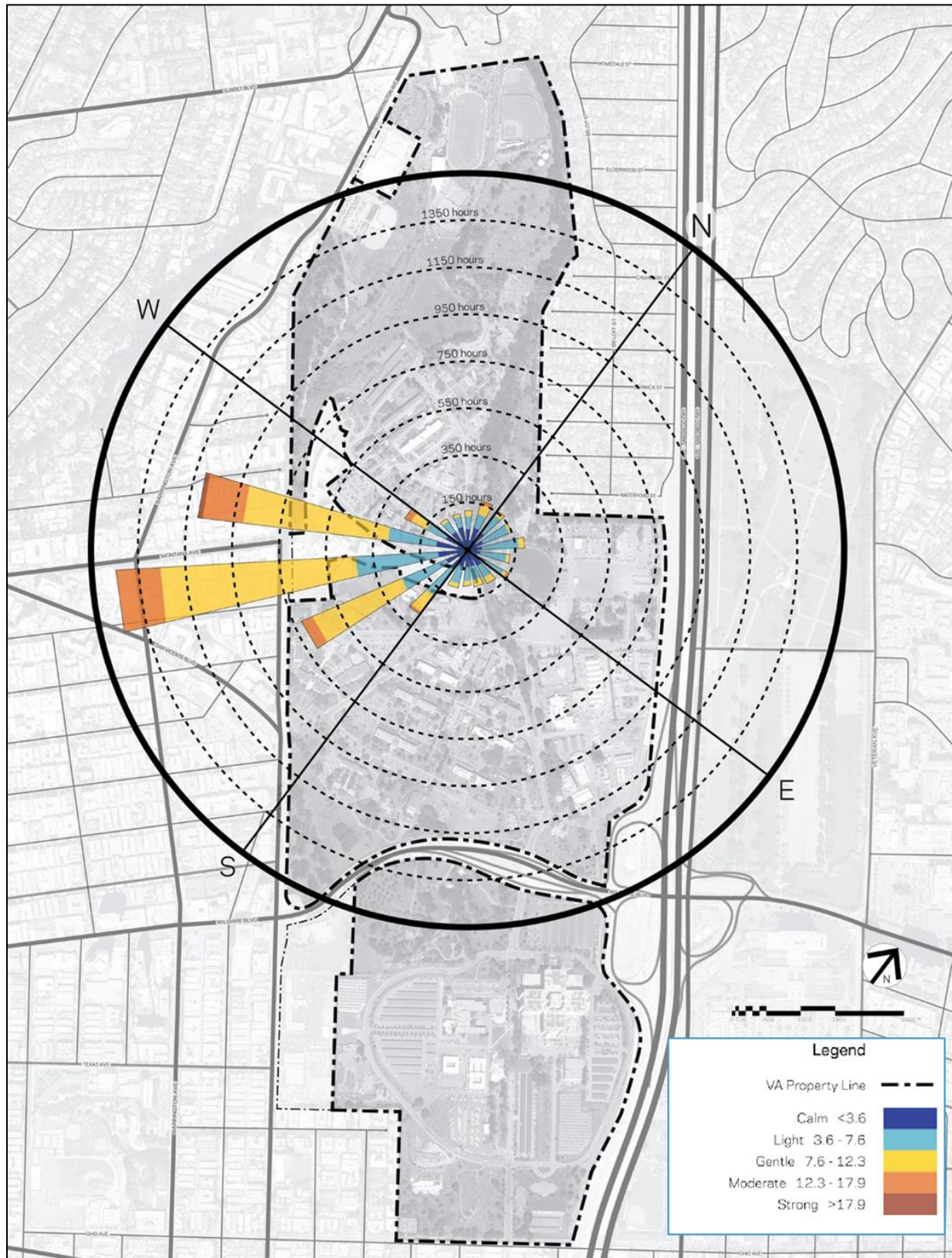


Figure IV-15: Dry Bulb Temperature and Degree Days

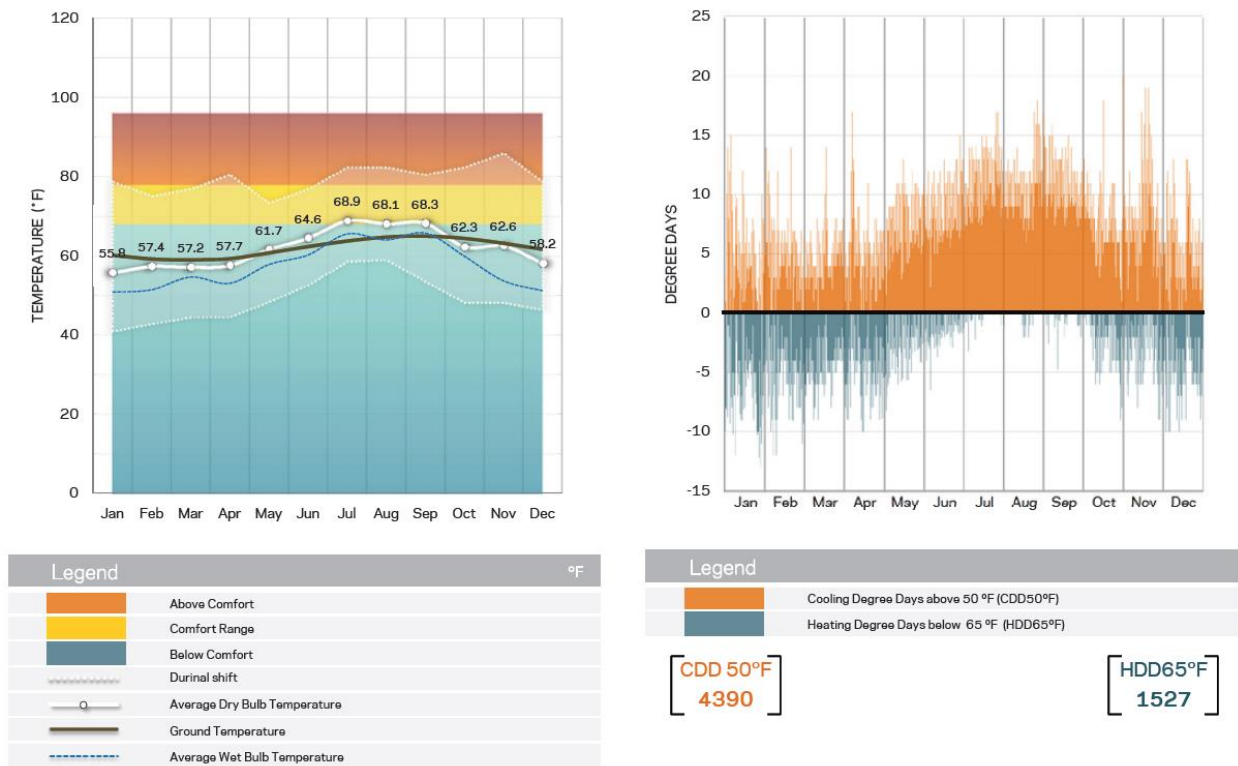
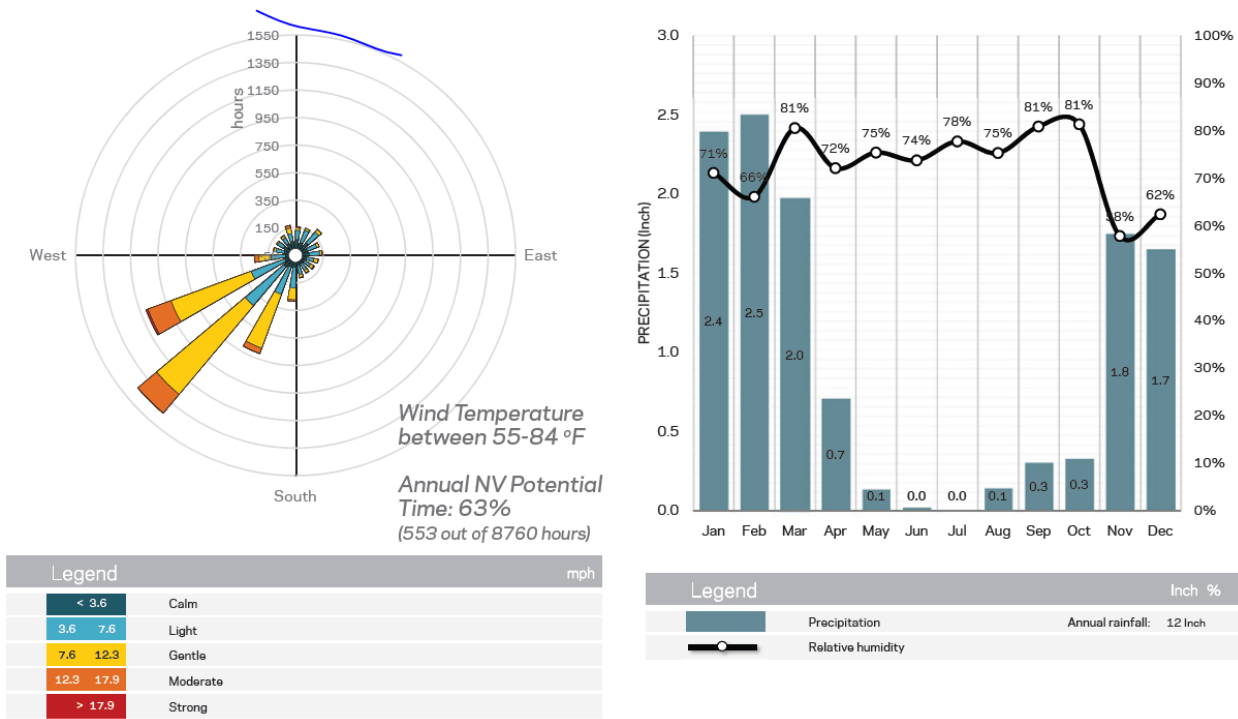


Figure IV-16: Natural Ventilation (NV) Potential Wind Rose and Precipitation / Relative Humidity



Site-Responsive Strategies for this Climate Zone

Overall, this climate zone is very comfortable and requires the least energy of any region in the state to achieve thermal comfort levels. The climatic design priorities that emerge from this analysis include three climate-responsive strategies at the site, building, and landscape scale for the campus.

Site-Responsive Design

On a site scale, these climate conditions support a combination of well-landscaped open spaces, enclosed spaces within buildings (central courtyards), and a clustered layout of smaller forms with areas of shared shade over southern and western facades to maximize daytime ventilation. In this mild and temperate climate, the campus can take advantage of full-exposure northern courtyards and vegetation that allows for solar gain near northern facades. External, open-access corridors between buildings and programmatic functions should be oriented to take advantage of prevailing winds. (See Figure IV-17)

- Compress campus to minimize outdoor walking distances during the hottest time of the day.
- Shaded walkways and canopies over paved surfaces and courtyards will help filter light and heat throughout campus.
- Use street orientation and building massing to enhance the natural cooling breezes of the campus.
- Connect slender clusters of buildings with archways for maximum solar exposure and cross-ventilation opportunities.

Building Design

To minimize the amount of energy required for heating and cooling, the angle of the sun should be considered. With a low to moderate altitude in West Los Angeles for most of the year and the solar radiation on south and west facing walls significantly higher than north and east facing walls, wide awnings should be used to protect openings from solar gain on these sides.

Maximizing volume-to-surface ratio optimizes natural light, solar heat gain, and natural ventilation. Wintertime strategies include building insulation, reducing air infiltration, and passive solar heating. Summertime priorities include shade, allowing for natural ventilation and distributing thermal mass.

Landscape Design

- The benefits of the existing landscape aid in creating a more comfortable environment. Parks act as heat sinks through transpiration and as wind modifiers that will filter out the dust, reducing pollution.
- Xeriscaping should be used to minimize the amount of water drawn for landscape use. Additionally climate appropriate plant material typically requires less maintenance input over their lifetime. This includes plantings in courtyards and roof terraces.
- The urban heat island effect of surface parking can be reduced through shade trees and high albedo (reflectivity) paving materials.

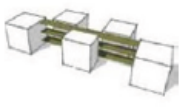
Figure IV-17: Load Reduction (Daylight and Solar Considerations)

Self-Shading & Solar Exposure

Mild temperatures with excessive humidity

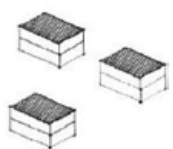
- 1-Maximize cross ventilation
- 2-Full exposure for natural daylight
- 3-Allow for solar gain if needed

Combined Open/Enclosed Spaces



Combine exterior and interior functional spaces to promote cross ventilation.

Scattered Smaller Masses



Scattering smaller masses on the site allows for permeable organization and external circulation.

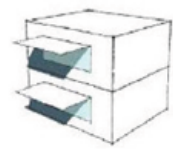
External Shading

Consider passive solar heating design during colder seasons

Consider external shading for general radiation control year-round

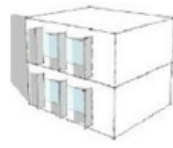
Consider internal shades (blinds / frit) for localized glare control

South Façade



Consider horizontal shades with enough depth to cover glazing for sun facing exposure (partial shading).

East and west façade



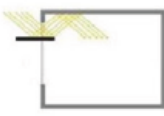
Consider external vertical fins for eastern and western exposures (partial shading).

Internal Shading

Radiation intensity during operational hours (8Am- 6Pm)


| | | |
|--------|------------|---------------|
| Low 9% | Medium 16% | Intensive 75% |
|--------|------------|---------------|

Lightshelf



Consider light shelves to increase daylight penetration.

Horizontal louvers



Consider internal shading devices to control glare while taking the advantage of solar heat gain.

D. Opportunities and Constraints

The GLA campus exists in a natural and built environment that offers both opportunities and constraints to development. The site's natural features (topography, plant materials, microclimate) and built features (historic districts, historic buildings and landscapes, existing roads) all influence the design decisions that are intended to enhance human comfort and conserve energy and resources while providing housing and services for Veterans.

The Draft Master Plan aims to revitalize the campus by integrating the GLA Campus into its context, breaking down the institutional qualities, and making the campus a part of the larger community. The campus will support recovery while improving connections to the broader community of Veterans and non-Veterans.

Assets

Historical Significance

- The historic setting helps build a character for the North campus.
- Preserving the site's historic structures and using them as building blocks for a new community and to establish the appropriate scale of new development, can enhance Veteran pride of ownership, anchor the campus in its prominent place in VA history, and bridge the needs of Veterans and the community at large.

Existing Space/Infrastructure/Buildings

- Mature landscape providing established stable landscape character.
- Topography provides excellent views and a vista from which to view downtown Los Angeles.
- A natural topography that can help define neighborhoods.
- There are a number of active recreation facilities already built on campus, primed for Veteran use.
- The climate conditions permit for year round use of outdoor space.

Campus Circulation

- Accessible by a number of public transportation routes and proximate to a major downtown.
- The climate conditions permit for year round use of bicycle and pedestrian transportation.

Surrounding Neighborhoods and Connectivity

- Urban proximity to neighboring retail, educational opportunities, and work training provides a high level of opportunities for residents as they bridge and reintegrate into civilian life as well as make the campus a good permanent home.
- Neighboring context is walkable - West Los Angeles is both very walkable and bikeable, with efficient transit access. Most errands can be accomplished on foot.

Challenges

Historical Significance

- Campus has a very low building density, some of which can be attributed to historic development patterns. Many of the buildings are currently underutilized or even vacant.
- Cost of restoration / renovation could be more expensive than new construction.

Existing Space/Infrastructure/Buildings

- Lack of high-quality and well-designed outdoor spaces

- Though the campus has an abundance of open space, it has not been designed in a way that is usable as space for relaxation, socializing, or recreation
- The combination of functions on campus is ambiguous and more reflective of the medical center's history and growth patterns than a cohesive set of program relationships
- Due to topography and limited access points the campus is isolated from the rest of Los Angeles

Campus Circulation

- On-campus wayfinding is complicated by a lack of a clear signage system and well-landscaped gateways, leading to confusion with navigation for visitors and Veterans alike.
- Topography of the campus slopes downward from north to south. While the downward slope is generally gentle to the south (only about 200 feet), at the north end of campus the elevation drops considerably and falls off to the east and west; this needs to be considered particularly for pedestrian circulation as well as bicycle and vehicular circulation.
- A large average "block" size on campus results in an inefficient transportation system for pedestrians, transit users, and vehicle drivers.
- The large amount of paved parking areas contributes to an unpleasant walking experience, a lack of mobility, an emphasis on personal vehicles over other methods of transportation, and isolates parts of campus from one another.
- The considerable distance between buildings contributes to perceptions of poor walkability and concern for personal safety, as expressed by many of the staff and residents. The need to drive to multiple destinations and the resulting parking requirements result in an overabundance of parking and isolated buildings that do not support a cohesive neighborhood feeling.
- The current scattered and auto-dependent nature of the campus does not support Veteran health, wellness, healing, and recovery.
- Contributing site plans, axis and building to open space may come in conflict with a plan for high density building to facilitate non-vehicular transportation and neighborhood activities.

Surrounding Neighborhoods and Connectivity

- Local and regional vehicular traffic may use Dewey Avenue and Eisenhower Avenue as cut-throughs to avoid the often heavily trafficked intersection of Wilshire Boulevard and San Vicente Boulevard.
- Los Angeles's "Westside" is known to have a high cost of living.

Opportunities

Property Size

- The campus is a 388 acre property located within a vibrant urban context, which provides an opportunity to become a regional hub for veteran services.

Existing Connectivity

- The "West side" has existing networks of public transportation including Santa Monica's Big Blue Bus, one of the most inclusive and efficient networks in the region.
- The campus has the opportunity to work with the existing Metro systems to establish productive and efficient transportation to and around the campus for campus residents, visitors and staff.

Purple Line Extension

- The Purple Line extension is planned to terminate at the Westwood/VA Hospital Metro Station.
- The Metro line would be a direct route from Downtown Los Angeles’s Union Station to the GLA campus, enhancing campus connectivity to the rest of Los Angeles and beyond.
- The master planning should account for and take advantage of the increased accessibility and traffic as well as anticipate neighboring developments due to the line extension.

Greenbelt and Open Spaces

- Much of the campus is already encompassed by a green belt.
- This belt of open space acts as a permeable barrier and symbol of the campus.
- The existing open spaces offer enough land for the campus development to be integrated and open spaces to be enhanced in order for Veterans to make the best of the campus open space.

Public Interface Opportunities

- The stakeholder engagement process demonstrated the desire from Veterans and the local community to integrate the campus into the surrounding communities.
- The surrounding urban context can be an asset in reintegration of veterans into civilian life.

Roads

- The existing roads on campus have no clear plan or direction; however, the groundwork for former roads and road systems allow for flexibility in designing a new road system.
- Maps, from as recently as 1925, show that the North and South campuses were once connected by a North/South aligned road that ran from the northernmost point to the southernmost point of the campus.

Registered Historic Buildings

- The two registered historic buildings on the GLA campus can serve as distinguished symbols, orienting markers and utilized spaces for the campus.
- Following restoration, the structures can be used to tell the history of the campus.

South Campus Redevelopment Opportunity Area

- The South campus has a significant amount of under-utilized land.
- It is the center of the medical services for the campus and has potential to become a “one-stop shop” for veteran’s medical needs and a world-class medical facility and treatment center.

Industrial District Redevelopment Opportunity Area

- The Industrial neighborhood of the property is at a lower grade than the rest of the North side campus.
- This area also has direct access from Constitution Ave off of Sepulveda.
- Furthermore, with the development of Purple Line station, its natural separation from the residential areas of campus and its direct access make the area prime for public interface.

Various Infill Opportunity Areas

- Today, the central area of the campus is the most used and densely built part of the campus.
- This area has a number of historically contributing areas that give the campus character as

well as beautiful and useful open spaces.

- However, it is possible to densify the area and add coordinated care program and services while maintaining important historical contributions.

Building Restoration Opportunity Area

- In addition, in the central campus area, there are numerous older, historically contributing buildings in poor condition.
- The area has potential to recall the spirit of the Soldier's Home through the restoration of these buildings.

Recreation and Independent Housing Opportunity Areas

- The northern area of the campus is already full of recreation and open space.
- It is home to the Japanese Garden, the Golf Course, soccer fields and the Brentwood School recreational facilities.
- This area boasts expansive lawns, matured and some historically relevant trees and great views of the ocean, Century City and Downtown Los Angeles.
- There is great opportunity to use this open space to serve the therapeutic, recreational and outdoor needs of the veteran community.
- The northern boundary of the campus borders a small village center as well as residential neighborhoods.
- It is important to consider green space but also to consider the potential expanding need for housing and more diverse types of housing including Veteran supportive housing.

Conclusion

Revitalizing the campus through the rehabilitation of existing structures, the addition of new housing, medical services, and amenities could provide an opportunity to use this land to its highest potential in supporting Veterans, leveraging Veteran stewardship, and honoring the legacy of ownership while increasing the opportunities for collaboration between the campus and its neighbors. Achieving these objectives will realize the Veterans community's compelling shared vision to frame the larger opportunity for Veteran reintegration through coordinated collaborative action.

V. Master Plan Development

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A. Master Plan Development Summary

Master Plan Methodologies

The Draft Master Plan is a guiding framework for future development, accommodating both current facility needs and the site's capacity for potential facility expansion in the future. These two methodologies are commonly referred to as 'need-based' and 'capacity-based'. Both methodologies contribute to the success of a master plan. The capacity-based methodology establishes the long-term development possibilities for the campus, illustrating potential future facility locations, neighborhoods, access, services, and supporting infrastructure. Within this larger, capacity-based plan are the need-based facilities representing the more immediate structures envisioned for the GLA Campus. Together, the capacity-based and need-based methodologies provide a vision for the campus, accommodating current needs, and guiding future potential development.

Need-Based Master Plan Methodology

Need-based methodology, based on the demand analysis described in Section II, identifies immediate demand to provide housing, and services to those Veterans in most need, those who are chronically homeless, severely disabled, female Veterans, and elderly. Addressing the short-term needs analysis is the first step in providing realistic, targeted solutions for implementation. Doing so would result in a welcoming, vibrant, and sustainable community where all Veterans identified as the need-base cohort are the first group to benefit from and feel comfortable accessing, living, interacting, recreating, and socializing with one another, their families, VA personnel, and visitors in the new environment created through the recommendations of the Draft Master Plan. Initial phase implementation strategies have been developed around the need-based methodology.

Capacity-Based Master Plan Methodology

The capacity-based methodology establishes a guiding framework for the long-term development of the campus. The facility capacity for the Draft Master Plan is established through analysis of governing planning controls, environmental impacts, physical site features, existing infrastructure, historic and cultural assets, and the surrounding context.

B. Master Plan Framework

Framework Plan

The Draft Master Plan is one of a series of steps toward revitalization of the GLA Campus for Veterans' use, and represents a commitment to restore and improve the site to play the role for which it was historically established. It states the guidelines and principles for development, and regeneration, offers in broad concepts recommendations for improvement and advancement, and identifies a variety of projects contemplated for implementation.

The Draft Master Plan recommends alternative uses for several areas of the GLA Campus. Throughout the implementation process, there will also need to be due diligence and planning for various elements of the campus, and for specific site areas within it. As each individual project is undertaken, there will need for further due diligence, such as for example, more detailed site plans, refined development strategies, architectural designs, and utility, environmental, and historic preservation due diligence.

The road to a revitalized GLA Campus takes true shape with the Draft Master Plan presented here. It is grounded in the Veterans' housing and services requirements presented in Section II,

supplemented here with consideration of the site and its characteristics, context, and capacities. The basic rules of land management, roads and circulation, land use, and sustainability are established within the Draft Master Plan. It also presents a recommended approach for phasing.

Figure V-1: Aerial View of Existing Campus



Open Space Armature

Natural Setting

Open space is a key component of the campus Draft Master Plan to frame the beauty of the campus and have a positive impact on quality of life and Veterans' health and well-being. The site's relatively low-density development yields an abundance of open space throughout the campus today. It is the Draft Master Plan's intent in developing the site to conserve the existing open space and to enhance it in a concentrated and meaningful way. Outdoor space can be preserved to accommodate outdoor activities, recreation, walking paths, and gardens and to contribute to the overall beauty and natural tranquility of the site. It would also conserve the site's existing natural features to maintain and call attention to their role in environmental quality management. The general vision for the campus landscape is to relieve the site of its institution-like structure. The site has great natural features that can be restored and maintained, to capitalize on the varying topography and mature trees throughout the site. This would help create a softer setting for the Veteran community.

Open Space Connectivity

The Draft Master Plan defines a belt of green space that borders the majority of the campus. The Grand Lawn is connected to the northern recreational open space and the Golf Course through a landscape buffer that runs along the western edge of the campus and includes the Arroyo. This band is repeated on the eastern Bluff and separates the more secure areas of the north campus from the more public areas of the campus. The ring of open space can feature restored natural landscape as well as walking and bike paths that can be used for leisure as well as ways of circulating through the campus. Inside the loop of open space will be the thriving heart of the campus.

While the landscape buffer does not act as a literal barrier around the campus, it differentiates the GLA Campus from its surrounding urban context. The landscaped outer ring acts as a marker that tells community members, Veterans, and passersby that the campus is a distinctive space. As the majority of open space defines the campus edge, it is the area where public interface is most visible and effective. Veterans Park, (formerly known as Barrington Park), the Japanese Garden, the northern recreational facilities, the Golf Course, the Grand Lawn, and Wadsworth Park would serve the recreational and park needs of Veterans and can have controlled access for Veteran residents of the surrounding community.

Legacy Open Space Features

There are a number of historical landscape features that were considered in the development of the Draft Master Plan. The plan accommodates many of the mature trees on campus, particularly eucalyptus groves located in the Grand Lawn, along the western arroyo and lining Bonsall Avenue along the eastern bluff. There are many mature Moreton Bay Fig trees located in the recreational space on the north side of campus as well. These trees can be preserved in the development of recreational areas.

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Roads, Circulation, and Access

Connecting Segments

This historic road network that survives on the campus reflects the site's incremental development over time and presents at least eight different "grids" or systems of traffic circulation. Each of these different grids helps to define the neighborhood of buildings that it serves, but presents significant issues of connectivity among the neighborhoods, and contributes to difficult wayfinding within the campus. Rather than introduce yet another circulation element into this system, the Draft Master Plan proposes shorter segment connections between them, filling in the missing links within the circulation system and forming a more systematic network throughout. Importantly, the proposed road concept (Figure V-2) builds upon the existing roadway infrastructure, adding segments for purposes of connection as the need for those connections arises. This process would improve some existing segments for character and capacity, and allow for removal or de-commissioning of some segments, to promote and improve internal neighborhood pedestrian circulation.

Porosity and Redundancy

A major issue in the improvement of the road network is that of through-circulation. Historically, there have been several points of access to the campus from the surrounding public streets. In recent years, these access points have been closed due to security considerations, and concerns among Veterans that these access points would encourage the community at large to use the site as a short-cut or pass-through. As a result, circulation within the site has been severely constrained by the lack of points of egress, and by concentrating site access to one primary point at the crossing of Bonsall Avenue and Wilshire Boulevard. The existing road system thereby lacks options for movement and the sort of network redundancy that allows for a more level distribution of traffic within the site. The plan recommends a more porous approach to traffic distribution and access to the site, with more points of entry and more choices for egress. This is established by re-instating existing connections to the public road network. These connections are proposed on the west side at Bringham Avenue between Wilshire and Montana, at two locations on Barrington Avenue (one a low-volume driveway at Barrington Place, the other a road outlet immediately south of the existing Barrington Park parking lot). South of Wilshire, the Draft Master Plan recommends two new connecting roads from Federal Avenue into the site, and two new connecting roads from Ohio Avenue. These latter connections would help to distribute incoming and outgoing traffic for the medical center to multiple points, providing some relief to the Wilshire/Bonsall intersection. On the Ohio Avenue end, one extension of the roadway at the far easterly side of the site would allow for a direct egress connection to Beloit Avenue, which extends south to become an on-ramp to the southbound I-405.

Figure V-2: Existing and Proposed Roads



Access and Control

The Draft Master Plan recognizes that the GLA Campus must be leveraged as an opportunity to draw in members of the Veteran community and provide them with efficient and user-friendly access to a range of resources using a customer-service oriented approach. The Draft Master Plan proposes a welcome/information center at each portal as well as a concierge-type service to facilitate navigation of the campus is suggested.

At the same time, the Draft Master Plan recognizes that there will be times when civilian access via from the public roads may need to be controlled for reasons of security, convenience or otherwise. Public connections should be made to allow operable gates, bollards, or manned control points be put in place when circumstances dictate.

Area Definition

Finally, besides serving the circulation requirements for movement through and within the campus, the road system serves as the framework through which neighborhoods are defined and development parcels delineated. The parcel delineation implications are discussed at greater length in the land use section below. At present, Bonsall Avenue runs through it, dead-ending at the extension of Vandergrift Avenue. The Draft Master Plan proposes that Bonsall Avenue be restored to its original alignment along the top of the easterly bluff, behind Buildings 208 and 209. This would allow for the segment of Bonsall Avenue that passes through the secured area currently to be reduced in scale (and possibly gated), permitting traffic to by-pass the secured housing area.

LA County Metropolitan Transportation Authority Purple Line Subway Project

LA County is pursuing a 9 mile Metro Purple Line extension project to run from the intersection of Wilshire Boulevard/Western Avenue to Westwood (West LA). The County has proposed locating a station stop at the GLA Campus. Further discussions between VA and the County are anticipated to discuss a station stop contemplated to provide Veterans, their families, VA personnel, and visitors with convenient access to and from the campus, complimentary to VA's ongoing mission and operations. The Draft Master Plan contemplates, subject to further analyses and reviews with LA County, three passenger portals at the GLA campus station: one serving the hospital to the south, one supporting bus connections on Wilshire Boulevard, and one serving the Veteran employment opportunities and vocational enterprises north of Wilshire. Pertinent environmental and historic preservation due diligence would need to be factored in and conducted as appropriate, prior to and during this project on the campus.

Land Use Concepts

To establish a true community for resident and non-resident Veterans alike requires that the GLA Campus embody the elements of a healthy community as understood through today's best practices in community design. Consideration of community urban design elements applies equally well to communities such as the GLA Campus or, for example, college campuses, although the college population is transitory by definition. In each case, interaction among residents and access to common services and resources is critical to the health and well-being of the campus. A well-planned and vibrant community setting is all the more important for both Veterans in transition from military to civilian life and students in transition from youth to adulthood, as both populations become oriented to the patterns of everyday life in contemporary society.

All healthy communities embody these common principles of community development and urban design:

- *Development.* To maintain a 24/7 vibrancy, good communities have a balance of housing, shops and services, employment opportunities and cultural amenity. Focused density assures convenience of access without automobile dependency.
- *Walkable districts.* Focused density and small block development shorten distances between uses and populate the streets with activity.
- *Pedestrian scale.* Streets and paths are defined by active uses that can be viewed by pedestrians and make their movement functional and interesting. Buildings are pedestrian-friendly in scale and non-institutional in character.
- *Street character.* Streets are multi-use in character, with enhanced sidewalks, bike facilities, parking, seating and other amenities, and pleasant landscape.
- *Vibrant public places.* Streets, plazas and parks form a network of public space connected to civic nodes, cultural centers and events.
- *Transit first districts.* Connectivity within the community and connections to other destinations are built on the public transit network and development is organized and designed to optimize transit's function.
- *Architectural excellence.* Buildings have high design interest, some as framing background buildings and others as landmarks.
- *Sustainable development.* Compact development and eco-friendly systems respect the environment.

Planning for the GLA Campus is based on these principles of community design, as a home for Veterans composed of diverse but well-defined mixed-use neighborhoods to form, in the broadest sense, a therapeutic community setting for Veterans to live and reintegrate into civilian society.

Zones of Development

The Draft Master Plan builds on existing natural features of the site and integrates new and re-purposed development with existing built resources. The plan uses natural features including the two arroyos and the sloped plateau they form running north to south along the center of the GLA Campus. The plan acknowledges and connects the major open space resources that frame the site, primarily north of Wilshire but extending as well into the Wadsworth Park area of the site. With these elements as guidance, the campus plan can be considered to include five distinct areas, or “zones.”

View of the GLA Campus looking north in 1928 shows the natural landforms of the site



The descriptions of the zones below are conceptual, and the boundaries of each zone are not absolute. In many cases certain characteristics of one zone apply to multiple zones.

Zone 1: Health Care

This zone includes the main hospital buildings, acute care, ambulatory outpatient care and clinics, research facilities, hospitality for visitors and patients, housing for aging Veterans or Veterans with specialized needs, and other uses that support or are compatible with the health care programs as a newly organized health care neighborhood. Zone 1 would include a 450,000 gross sq. ft. New Bed Care Tower (Replacement Hospital) tentatively scheduled for completion in 2020, with 200 inpatient beds, diagnostic and treatment facilities, clinical support and services in a modern state-of-the-art healing environment. Additional building improvements to Zone 1 should focus on providing a collaborative integration of healthcare, food service, comprehensive translational research in support of Veterans, and meeting VA and California seismic mandates for medical center operations.

Zone 2: Care Coordination

This zone should contain an array of services and facilities that streamline access to benefits and services. This zone should contain a welcome and orientation hub for the campus to help direct Veterans to appropriate resources on site as well as in the community at large. It should include needs assessment services and facilities for placement in temporary housing. It should also house a central facility for the Veterans Benefits Administration, as well as offices for overall campus administration. Other resources should include specialized services for homeless and disadvantaged Veterans that focus on trauma, mental health, traumatic brain injury, and the full array of addiction services. As one example, a Veteran Family Wellbeing Center in this zone should act as a center where Veterans, especially female Veterans and families, can access preventative care alternative healthcare services, case management, care coordination and peer services as well as assistance with legal matters, employment, educational needs, and family resilience programs that provide family, child, and caregiver support.

Zone 3: Veteran Housing

This zone includes primarily permanent supportive housing consistent with VA's Housing First strategy. Such housing conceptually can consist of studios, one, and two bedroom apartments for Veterans, some tailored for families with children. The housing should be organized into smaller neighborhoods, each with its own points of access that provide various levels of seclusion or privacy. Such levels should range from an exclusive neighborhood of housing and services for the more vulnerable Veteran groups on the "high ground" of the site, to others that provide more open and independent living conditions. All should be supported by basic and specialized services for their respective resident base.

Zone 4: Town Center

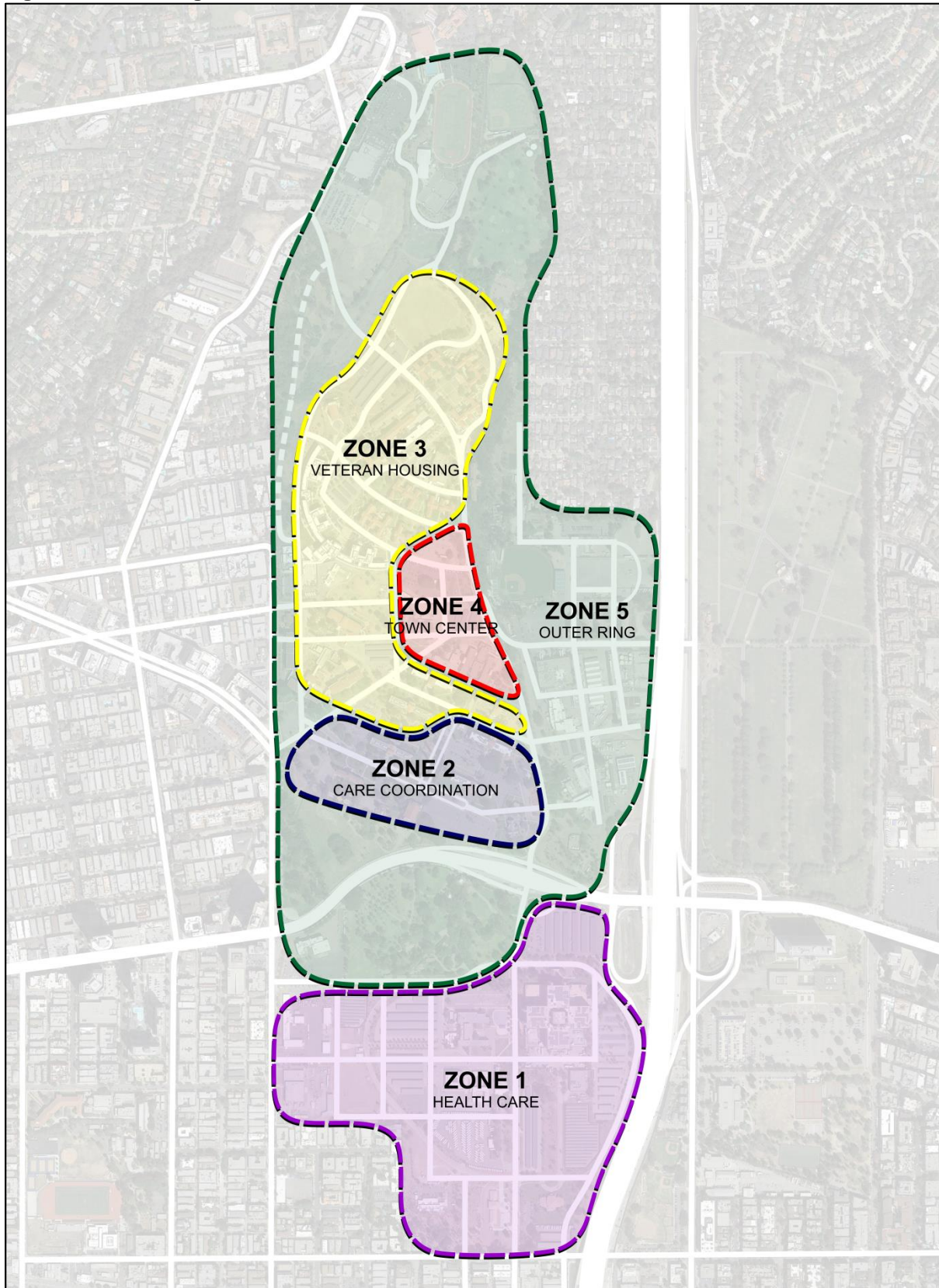
This zone, at the center of the north campus, is an area of focus for resident and non-resident Veterans from across the campus and the region. It connects with each of the principal neighborhoods and functions as a "downtown" for the site, where, for example, Veterans can socialize at a fitness center or café, participate in events in a public square, attend outdoor concerts, coordinate a volunteer effort, develop employment opportunities, visit a library, grab a bike to ride around the property or make plans for going to a movie at one of the campus theaters.

Zone 5: Outer Ring

Surrounding most of the site, this zone is the most permeable area of the campus, where Veterans have direct access to the surrounding community, and where re-integration becomes manifest in Veteran employment opportunities. A Veterans Vocational Enterprise and Cultural

Center occupies the lower-lying land at the southeast corner of the north campus, accessed from Sepulveda Boulevard. Zone 5 also encompasses the major open spaces of the campus, including the Grand Lawn, Wadsworth Park, all three arroyos, and open recreation fields to the north. The outer ring connects the chapel to other peaceful spaces and outdoor environments for reflection, relaxation, and appropriate Veteran focused events.

Figure V-3: Planning Zones



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Plan Concept

The framework for development of the GLA Campus envisions a long-term build-out that focuses use of the site on housing and services for Veterans, restores and enhances the site's historic legacy, conserves and repairs its natural setting and facilitates, and encourages and promotes reintegration of Veterans into civilian life. The plan in Figure V-5 illustrates this long term build-out vision. Key features of the plan, further detailed in Figure V-4, include the following:

Veteran Housing

Housing neighborhoods are distributed throughout the site, each with its own character and typology to establish it as a livable place. Central to the campus is the most secure and protected neighborhood of permanent supportive housing on the "high ground" of the developed area of the campus, with its own neighborhood services. This area is defined by roads that surround it, thereby limiting vehicular access to local traffic only and providing a nurturing network of paths, gardens, outdoor recreation, and amenities. Permanent supportive housing in this area could consist of new construction in a non-institutional configuration of townhouses and stacked-unit apartments.

South of the "high ground" neighborhood are the more open and permeable residential groupings combined with general supportive services as well as social Veteran activities. The housing mix in this area could cover a range of types, from temporary housing in bridge facilities, to residential treatment programs, to permanent supportive housing.

Other residential neighborhoods with different character are located throughout the GLA Campus. The residential neighborhoods do not exist in isolation, but are linked through their proximity to common services and facilities throughout the site. These areas and their features are described below.

Town Center

Veterans have been vocal in their desire for the GLA Campus to have a central place where resident and non-resident Veterans can meet and interact in a lively public forum. The Draft Master Plan locates the Town Center roughly in the geographic center of the campus north of Wilshire, touching on each of the primary Veteran residential neighborhoods as a place of common contact. At its heart, the Town Center has an open Town Square and green space, around which are located an array of services, opportunities, and amenities for Veterans, including their social facilities such as an amphitheater. The Draft Master Plan recommends relocating the historic Hoover Barracks into the Square to be used as a Veteran owned and operated coffee house and an activity or resource center. Surrounding the Square would be a Town Hall for Veteran organizations to use as meeting facilities for reviewing campus activities, events, and decisions. Other surrounding uses include a fitness center, a library/media center, a command and control headquarters that hosts the campus police, and a variety of Veterans services facilities. The historic Trolley Depot could be restored as a bus/shuttle shelter, it and may include displays of historic photographs chronicling the site's history.

Neighborhood Centers

There are five planned "neighborhood centers" located throughout the Draft Master Plan, including the Town Center that serves the entire site. The most secluded of these is the center serving the "high ground," providing focused supportive services and amenities that are limited to use of the residents of that neighborhood. The Town Center itself is common ground for all Veterans on the site, both resident and non-resident. A third neighborhood center is located in

the Medical District south of Wilshire, serving both resident Veterans and visitors to the medical facilities with small eating facilities and services. A fourth is located in the Reintegration Zone (see below), and has a more public outlook. Here Veterans can use the property to engage in various activities together and with the public in Veteran owned and operated convenience shops, entertainment venues, art galleries, restaurants, and cinemas. The fifth neighborhood center, the most public, is located at the far north end of the campus on Barrington Place adjacent to the current surface parking lot. This center would replace the existing surface parking with a parking structure, the ground floor of which could provide Veteran employment opportunities and vocational enterprises, while retaining public access to parking.

Reintegration Zone

This neighborhood is located on low-lying land between Sepulveda Boulevard and the bluff that defines the easterly edge of the main developed area of the site north of Wilshire, in the current “industrial district” of the GLA Campus. It is a neighborhood focused on Veteran reintegration, with ready public access from Sepulveda, and it provides adequate separation from the more private parts of the campus to the west and north. Veterans have also been vocal in their interest for the campus to offer opportunities for education and employment training, workshop and gallery space for the arts, and incubator space for nurturing Veteran-initiated start-ups. This area can serve as a Veteran Vocational Enterprise and Cultural Center.

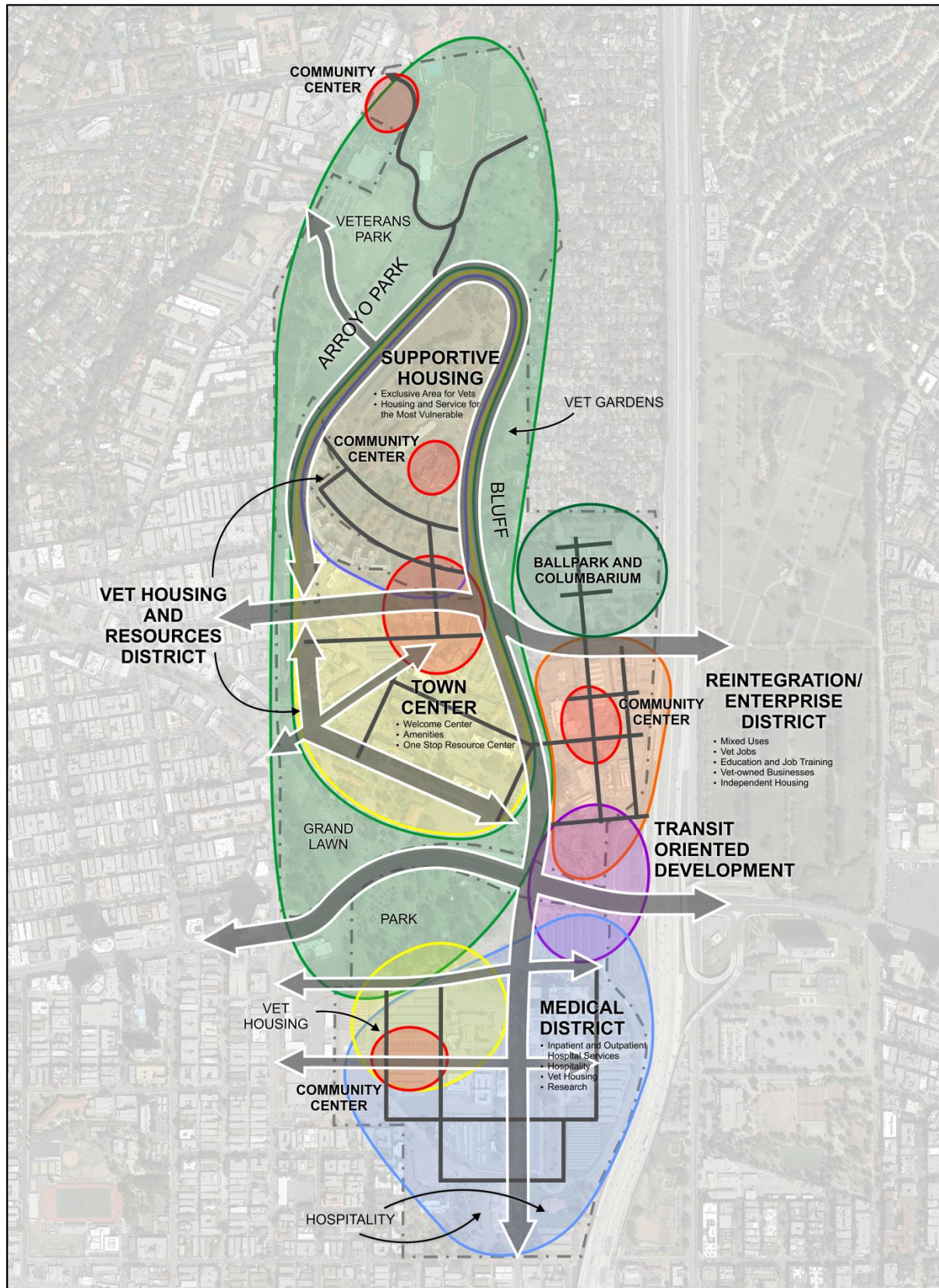
Medical District

South of Wilshire, the re-purposed existing hospital and the new Bed Tower anchor the Medical District, with an array of in-patient and out-patient care facilities. A variety of hospitality facilities, currently onsite, can remain to serve hospital visitors and their families. This area also offers additional supportive housing options.

Accessible and Programmed Open Space

Throughout the campus, open space is actively programmed to provide recreation and contemplation space for resident Veterans. It also helps to connect the campus to its surrounding neighborhoods. The Grand Lawn remains a landscape centerpiece of the site, with restoration of its historic landscape fabric as an outdoor space that would be the site for a Veteran memorial commemorating the varied branches of military service and service eras. Wadsworth Park could include children’s play areas, and the historic Governor’s Mansion could serve as a destination restaurant for Veterans or as a Veteran event facility. A parcourse/jogging trail rings the developed area of the campus north of Wilshire. The historic Superintendent’s House (Building 33) could be converted into a Veteran-focused information center. The residential area can be laced with a network of paths and small-scale activity areas with activities like chess, bocce ball, basketball courts, and Frisbee. Along the easterly edge of the campus, below the bluff, gardens and community farming can be operated by Veterans and accessible to the public for commercial sales. On the westerly edge of the campus, along Barrington Avenue, the current neighborhood park can be re-branded as Veterans Park, operated for the direct benefit of Veterans.

Figure V-4: Vision Plan



Land Use Plan

Generalized Land Use Plan

The proposed land use plan for the campus conforms to the use characterizations for each of the five planning zones on the site. Figure V-3 illustrates the distribution of generalized uses across the GLA Campus, which contain the specific features described above.

Figure V-5: Illustrated Vision, Aerial View



Development Parcels

The proposed road network, combined with the existing built fabric of the site, defines development parcels that each have their own current, preferred, and alternate uses, and that facilitate the definition of development projects that can be implemented incrementally over time.

Land Uses

Figure V-7 indicates the current land use, the preferred land use, and, where applicable, alternate land uses for each parcel. The preferred land use in each case represents the primary recommendation of the Draft Master Plan, subject to adjustment if a broader Veteran focused alternative can be achieved. Figure V-6 is provided for reference to allow for easier understanding of Figure V-7.

Use Definitions

- *Arts and Culture.* Theaters, arts and technology studios, galleries, spiritual centers, performance space.
- *Columbarium / cemetery expansion.* Columbarium vaults and/or burial grounds for expansion of National Cemetery.
- *Education and Training.* Classrooms, workshops, training facilities, industrial job training centers, meeting facilities.
- *Green Space / Recreation.* Environmental conservation areas, active and passive recreation, parks, recreation facilities.
- *Health Care.* In-patient acute care and treatment. Outpatient and ambulatory care facilities.
- *Hospitality.* Veteran and family short-term lodging. Guest house for visiting Veterans.
- *Parking.* Surface or structured parking.
- *Research.* Biomedical research facilities for developing Veteran-related therapies and treatments.
- *Supportive Housing.* Permanent supportive housing, short-term or limited-stay housing (transitional and bridge), community living centers, women and family housing, progressive care residential facilities, and other housing for Veterans.
- *Supportive Services – General.* Facilities serving the entire campus community, both resident and non-resident. Welcome centers, transition centers, information centers, peer-support centers and legal clinics. Administrative offices and service facilities for Veterans Benefits and Human Resources.
- *Town Center.* Central services and amenities for all (resident and non-resident) Veterans. Café, shops with Veteran employment opportunities, a “multipurpose union (library/media center, fitness center, "Town Hall" for Veteran organization meeting space.), museum, legal services, job counseling.
- *Veteran Employment Opportunities / Vocational Enterprises.* Employment and training opportunities for Veterans.

Figure V-6: Parcel Plan



Figure V-7: Land Use Table by Parcel

| PERMITTED LAND USES | | | |
|---------------------|---|---|---|
| <i>Parcel No.</i> | <i>Current Use</i> | <i>Preferred Use</i> | <i>Alternate Use(s)</i> |
| 1 | Barrington Village Parking Lot | Veterans' Employment Opportunities / Parking | |
| 2 ¹ | U.S. Postal Service | U.S. Postal Service | |
| 3 | Green Space / Recreation (Barrington Park) | Green Space / Recreation ("Veterans Park") | |
| 4 ² | Green Space / Recreation (Brentwood School Athletic Facilities) | Green Space / Recreation / Athletic Complex on GLA campus | Housing or Remains VA Athletic Complex on GLA campus if determined to be Veteran focused. |
| 5 ² | Brentwood School Athletic Facilities | Green Space / Recreation / Athletic Facilities | Supportive Housing / Columbarium / cemetery expansion |
| 6 | Green Space / Recreation (Golf Course) | Green Space / Recreation (Golf Course) | Supportive Housing / Columbarium / cemetery expansion |
| 7 | Green Space / Recreation (Arroyo) | Green Space / Recreation (Arroyo) | |
| 8 | Green Space / Recreation (Arroyo) | Green Space / Recreation (Arroyo) | |
| 9 | Green Space / Recreation (Arroyo) | Green Space / Recreation (Arroyo) | |
| 10 | Green Space / Recreation (MacArthur Field) | Supportive Housing | |
| 11 | Green Space / Recreation (Bluff) | Green Space / Recreation (Bluff) | |
| 12 | Transitional Housing / Vacant | Supportive Housing | |
| 13 | Administration | Supportive Housing / Neighborhood Center / Administration | |
| 14 | Parking | Parking | Supportive Housing |
| 15 | Parking | Parking | |
| 16 | Arts and Culture (Brentwood Theater) | Arts and Culture (Brentwood Theater) | |
| 17 | Mental Health Services | Supportive Housing | Welcome Center / Mental Health Services / Parking |

¹ Parcel 2 was transferred to the U.S. Postal Service and is included here for purposes of context.

² Properties may continue to operate with their existing uses providing that determination is made that those uses are Veteran-serving and Veteran-focused.

| PERMITTED LAND USES | | | |
|---------------------|--|--|---|
| <i>Parcel No.</i> | <i>Current Use</i> | <i>Preferred Use</i> | <i>Alternate Use(s)</i> |
| 18 | Transitional Housing (Salvation Army) | Supportive Housing | Mental Health Services / Transitional Housing |
| 19 | Research | Supportive Housing | Supportive Housing |
| 20 | Parking | Town Center (Homeless Welcome / Counseling Center) | |
| 21 ³ | Parking (Veterans Home of California) | Town Center (Legal services) | |
| 22 ³ | Parking (Veterans Home of California) | Town Center | |
| 23 | Parking | Police Station | Parking |
| 24 ³ | State Veterans Home of California) | VA Nursing Home | State Veterans Home of California) |
| 25 | Vacant | Green Space / Recreation | Supportive Services |
| 26 | Transitional / Bridge Housing (New Directions) | Transitional / Bridge Housing (New Directions) | Supportive Housing |
| 27 | Parking / Hoover Barracks (vacant) | Town Center (Town Hall / Amenities) | |
| 28 ⁴ | Parking | Town Center (Square / Café / Amphitheater) | |
| 29 | Trolley Depot / Parking | Town Center (Trolley Depot / Museum) | |
| 30 | Research | Research | Supportive Housing |
| 31 | Parking | Supportive Services – General (Information Gate) | |
| 32 | Research | Research | Green Space / Recreation |
| 33 | Cafeteria / Vacant | Town Center (Veteran Multipurpose Union) | Cafeteria |
| 34 | Transitional / Bridge Housing (Salvation Army) | Transitional / Bridge Housing | Supportive Housing |
| 35 | Green Space / Recreation | Green Space / Recreation | |
| 36 ⁵ | Community Living Center | Community Living Center | Supportive Housing |

³ Portions of these parcels (21, 22 and 24) were sold to the State of California for use as a Veterans Home and are currently used for parking for that facility. The Plan recommends negotiating use of these areas by VA in exchange for the State facility using an equivalent land area in Parcel 23 to replace that parking.

⁴ Relocated and re-purposed Hoover Barracks.

⁵ The realization of the alternate uses for these parcels is dependent on the Veterans Home of California absorbing the Community Living Center beds currently housed on these parcels

| PERMITTED LAND USES | | | |
|---------------------|--|--|-------------------------------------|
| <i>Parcel No.</i> | <i>Current Use</i> | <i>Preferred Use</i> | <i>Alternate Use(s)</i> |
| 37 | Parking | Green Space / Recreation | Supportive Housing |
| 38 ⁵ | Community Living Center | Community Living Center | Supportive Housing |
| 39 | Parking | Supportive Housing | Parking |
| 40 | Green Space | Supportive Housing | |
| 41 | Domiciliary | Domiciliary | |
| 42 | Parking | Supportive Housing | Parking |
| 43 | Parking | Parking | |
| 44 | Domiciliary | Domiciliary | |
| 45 | Green Space | Supportive Housing | |
| 46 | Green Space | Supportive Housing | |
| 47 | Administration | Administration | |
| 48 | Parking / Office (AFGE Union) | Parking / Office (AFGE Union) | |
| 49 | Green Space (Grand Lawn) | Green Space / Memorial Space / Parking (Grand Lawn) | |
| 50 | Administration / Arts & Culture (Rose Garden, Wadsworth Theater) | Family Wellbeing Center / Administration / Arts & Culture (Rose Garden, Wadsworth Theater) | Major Welcome Center |
| 51 | (Wadsworth Chapel) | (Wadsworth Chapel) | |
| 52 | Green Space / Recreation | Green Space / Recreation | |
| 53 | Green Space / Recreation | Metro Transit / Transit-oriented Development | |
| 54 | Green Space / Vacant (Superintendent's House B33) | Supportive Services - General (Visitor Information Center) | |
| 55 | Site Services & Utilities / Parking | Veteran Employment Opportunities / Vocational Enterprises | Parking / Site Services & Utilities |
| 56A ⁶ | Green Space / Recreation | Utility | |
| 56B | Site Services & Utilities / Parking | Veteran Employment Opportunities / Vocational Enterprises | Site Services & Utilities |

⁶ Parcel 53A has been leased by the Department of the Interior for mineral extraction as an oil drill site for Breitburn Energy.

| PERMITTED LAND USES | | | |
|---------------------|--|---|---|
| <i>Parcel No.</i> | <i>Current Use</i> | <i>Preferred Use</i> | <i>Alternate Use(s)</i> |
| 57 | Parking / Utility (Oil Drill Site) | Parking / Utility (Oil Drill Site) | |
| 58 | Site Services & Utilities / Parking | Veteran Employment Opportunities / Vocational Enterprises | Site Services & Utilities |
| 59 | Site Services & Utilities / Parking | Veteran Employment Opportunities / Vocational Enterprises | Site Services & Utilities |
| 60 | Green Space / Recreation | Green Space / Recreation | |
| 61 | Site Services & Utilities / Parking (Laundry) | Veteran Employment Opportunities / Vocational Enterprises | Site Services & Utilities |
| 62 | Site Services & Utilities / Parking | Neighborhood Center (Welcome Center / Education & Training) | Site Services & Utilities |
| 63 ⁷ | Parking | Columbarium / cemetery expansion | Veteran Employment Opportunities / Vocational Enterprises |
| 64 ⁷ | Parking | Columbarium / cemetery expansion | Veteran Employment Opportunities / Vocational Enterprises |
| 65 ⁸ | Green Space/ Recreation (Jackie Robinson Stadium) | Green Space / Recreation / Parking (Jackie Robinson Baseball Stadium) | Supportive Housing / Education and Training |
| 66 ⁸ | Green Space / Recreation (Jackie Robinson Stadium) | Green Space / Recreation (Jackie Robinson Baseball Stadium) | Supportive Housing / Education and Training |
| 67 ⁸ | Green Space / Recreation (Jackie Robinson Stadium) | Green Space / Recreation (Jackie Robinson Stadium) | Supportive Housing / Education and Training |
| 68 ⁹ | Parking | Columbarium / cemetery expansion | Veteran Employment Opportunities / Vocational Enterprises |
| 69 ⁹ | Parking | Columbarium / cemetery expansion | Veteran Employment Opportunities / Vocational Enterprises |
| 70 ⁹ | Parking | Columbarium / cemetery expansion | Veteran Employment Opportunities / Vocational Enterprises |
| 71 | Parking | Columbarium / cemetery expansion / Supportive Housing | Parking |

⁷ Parcels 63, 64, 68, 69 and 70 have been transferred to the National Cemetery Administration for development of a columbarium as an expansion of the National Cemetery.

⁸ Properties may continue to operate with their existing uses providing that determination is made that those uses are Veteran-serving and Veteran-focused.

⁹ Parcels 63, 64, 68, 69 and 70 have been transferred to the National Cemetery Administration for development of a columbarium as an expansion of the National Cemetery.

| PERMITTED LAND USES | | | |
|------------------------|--|--|---|
| <i>Parcel No.</i> | <i>Current Use</i> | <i>Preferred Use</i> | <i>Alternate Use(s)</i> |
| 72 | Green Space / Recreation (Veteran gardens; bird sanctuary) | Green Space / Recreation (Veterans' Gardens) | Supportive Housing |
| 73 | Parking | Parking | Metro Transit |
| 74 | Parking | Parking | |
| 75 | Green Space | Green Space | Metro Transit / Green Space |
| 76A | Wadsworth Park / Staff Housing | Green Space / Recreation (Wadsworth Park) | Green Space / Recreation |
| 76B | Wadsworth Park / Staff Housing | Green Space / Recreation (Wadsworth Park / Child Care) | Supportive Housing / Green Space / Recreation |
| 77¹⁰ | U.S. Army Reserve Center | Supportive Services – General (Transition Center) | |
| 78¹⁰ | U.S. Army Reserve Center | Outparcel | Supportive Housing |
| 79 | Solar Field | Supportive Housing | |
| 80 | Parking / Circulation | Supportive Housing / Neighborhood Center | |
| 81 | Medical Clinics | Supportive Housing / Health Care (Medical Clinics) | Health Care (Medical Clinics) |
| 82 | Hospital | Health Care / Clinics / Research | |
| 83 | Parking | Parking | |
| 84 | Parking / Solar Field | Health Care (New Hospital Bed Tower) | |
| 85 | Health Care (Medical Clinics) | Health Care (Medical Clinics) | |
| 86 | Parking / Circulation | Research | Parking |
| 87 | Green Space / Circulation | Research | Parking |

¹⁰ Parcels 77, 78 and 88 were transferred to the Department of Defense. In the case of Parcel 77, the Plan recommends coordinating with DOD to add a Transition Center to the property to aid Veterans in their transition from military service to civilian status, and that the fence between the properties be removed and the area landscaped to present an image of continuity along Wilshire Boulevard. Uses for Parcels 78 and 88 are recommended as preferred uses should these properties be vacated by DOD in the future and returned to VA ownership.

| PERMITTED LAND USES | | | |
|---------------------|--------------------------------------|--|--------------------------|
| <i>Parcel No.</i> | <i>Current Use</i> | <i>Preferred Use</i> | <i>Alternate Use(s)</i> |
| 88 ¹¹ | Army National Guard Recruiter | Outparcel | Housing |
| 89 | Green Space / Circulation | Supportive Housing | Green Space / Recreation |
| 90 | Green Space / Circulation / Parking | Parking / Supportive Housing | |
| 91 | American Red Cross | Transition Center / American Red Cross | |
| 92 | Utility (Electric Power Sub-station) | Utility (Electric Power Sub-station) | |
| 93 | Patriot House | Patriot House | |
| 94 | Fisher House | Fisher House | |
| 95 | Green Space | Green Space / Recreation | |

¹¹ Parcels 77, 78 and 88 were transferred to the Department of Defense. In the case of Parcel 77, the Plan recommends coordinating with DOD to add a Transition Center to the property to aid Veterans in their transition from military service to civilian status, and that the fence between the properties be removed and the area landscaped to present an image of continuity along Wilshire Boulevard. Uses for Parcels 78 and 88 are recommended as preferred uses should these properties be vacated by DOD in the future and returned to VA ownership.

Supportive Housing on the Campus

The Draft Master Plan provides for significant supportive housing on the campus. This includes not only new permanent supportive housing, but also the existing short-term or limited stay housing that includes Bridge Housing, Community Living Care, Domiciliary, and Transitional Housing. The Draft Master Plan for the campus accommodates 739 beds for short-term or limited stay housing as well as the 1,200 units of permanent supportive housing based on the need identified in Section II. Moreover, the plan can accommodate an additional 900 supportive housing units should the need be identified. Finally, the Draft Master Plan provides optional alternative supportive housing uses for multiple parcels, which would provide a total of more than 3,500 supportive housing units.

The table below summarizes the housing on the site, and Figure V-8 beginning on the following page shows the proposed housing on a parcel-by-parcel basis. Additional details about the phasing can be found in Section VI.

| | |
|--|-------------|
| Short-Term or Limited Stay Housing | 739 Beds |
| Permanent Supportive Housing (Initial-Phase Development) | 490 Units |
| Permanent Supportive Housing (Mid-Term Development) | 280 Units |
| Permanent Supportive Housing (Future Development) | 430 Units |
| Permanent Supportive Housing (Additional Capacity)* | 903 Units |
| Permanent Supportive Housing (Optional Alternative Uses) | 1,437 Units |

* Note that parcels with an approximate total of 600 units have been identified in order to maintain flexibility in the type and location of units based on need and demand.

Figure V-8: GLA Campus Housing

| <i>Parcel No.</i> | <i>Existing Beds*</i> | <i>Initial Phase Development</i> | <i>Mid-Term Development</i> | <i>Future Development</i> | <i>Additional Capacity</i> | <i>Optional Alternative Uses</i> |
|---|-----------------------|----------------------------------|-----------------------------|---------------------------|----------------------------|----------------------------------|
| 4 | | | | | | 259 |
| 5 | | | | 90 | | |
| 6 | | | | | | 290 |
| 10 | | 150 | | | | |
| 12 | | 180 | | | | |
| 13 | | 160 | | | | |
| 14 | | | | | | 20 |
| 17 | | | 120 | | | |
| 18 | | | 120 | | | |
| 19 | | | 40 | | | 0 |
| 26 | 102 | | | 60 | | 60 |
| 30 | | | | 90 | | 189 |
| 34 | 175 | | | | | 84 |
| 36 | 52 | | | 84 | | |
| 37 | | | | | | 40 |
| 38 | 114 | | | 70 | | |
| 39 | | | | 19 | | |
| 40 | | | | 19 | | |
| 41 | 144 | | | | | |
| 42 | | | | 27 | | |
| 44 | 152 | | | | | |
| 45 | | | | 16 | | |
| 46 | | | | 16 | | |
| 53 | | | | | 127 | |
| 66 | | | | | 40 | |
| 67 | | | | | 70 | |
| 71 | | | | | 25 | |
| 72 | | | | | | 65 |
| 76B | | | | | | 150 |
| 78 | | | | | | 151 |
| 79 | | | | 106 | | |
| 80 | | | | | 109 | |
| 81 | | | | | 227 | |
| 88 | | | | | | 129 |
| 89 | | | | | 38 | |
| 90 | | | | | 100 | |
| Total | 739 | 490 | 280 | 597 | 736 | 1,437 |
| <p>*Includes short-term or limited stay housing such as Bridge, Community Living Center (CLC), Domiciliary, and Transitional Housing currently on GLA campus **Permanent Supportive Housing (PSH) is long-term, community-based housing with supportive services for people experiencing or at risk of homelessness, including those with disabilities</p> | | | | | | |

Campus Mobility Plan

Interface with Transit

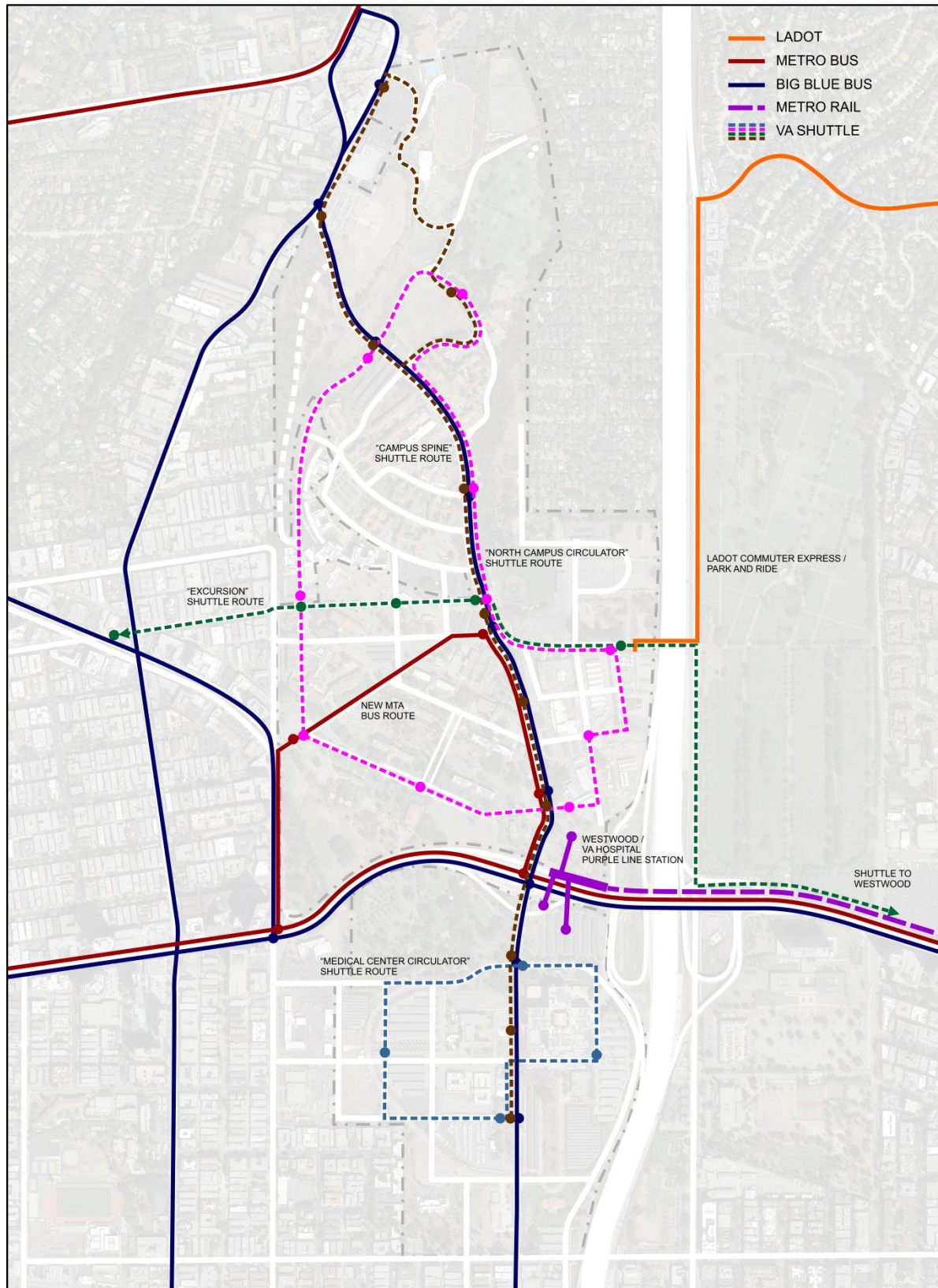
The Draft Master Plan proposes the integration of public transportation routes onto the campus. The Draft Master Plan aims to work with public transit, including Metro Bus, Big Blue Bus, Metro Rail and LADOT, to create accessible and efficient public transportation. Success in this area serves to better connect Veterans and VA personnel to the greater Southern California community. The plan encourages these transit services to utilize the primary routes on campus to serve key areas such as the community and town centers. These locations can also have stops for an internal shuttle to ensure there is a convenient method of transportation throughout the entire campus. Doing so would provide convenient ways to circulate the campus and reach the local community, for Veterans needing options besides personal vehicles.

Internal Shuttle

The internal shuttle would be an extremely important part of the campus circulation system. The shuttle alignments are located to reduce vehicle traffic inside the campus, bring Veterans into the campus and provide a convenient, efficient and safe way for Veterans to move throughout the campus to reach the entirety of services available to them. There are four shuttle lines planned for the campus; three of these can run through the Town Center.

- *“Campus Spine” Shuttle Route.* This shuttle runs in the north/south direction of the campus. There are ten stops along this route extending from a loop within the northern recreation and open space area that includes stops at the Golf Course, the intersection of Bonsall and Barrington Avenues and the proposed mixed use and Veteran-owned business area. The line connects this area to the rest of the campus, allowing for stops at the Town Center, the Chapel and extending onto the South Campus.
- *“Excursion” Shuttle Route.* The Excursion Route is meant to act as a connector to surrounding areas and resources as well as provide an east/west artery for the campus. This shuttle connects the campus to the Brentwood and Westgate areas to the west and Westwood to the east. Inside the campus, the shuttle makes three stops: one at the western entrance to the campus, one at the Town Center and one within the Veteran Vocational Enterprise & Cultural Center.
- *“North Campus Circulator” Shuttle Route.* With nine stops, this route completes a circle through the North campus’s key areas including residential neighborhoods, administrative and resources sites, and the Veteran Vocational Enterprise & Cultural Center.
- *“Medical Center Circulator” Shuttle Route.* This shuttle completes a circle around the south campus.

Figure V-9: Transit



Perimeter Parking

The Draft Master Plan is accommodating to and encourages the use of public transportation and the campus shuttle service but is mindful of the demand for parking in Los Angeles. The plan carefully designated various types of parking to strategically meet demand and manage cost and function, dispersed throughout the campus.

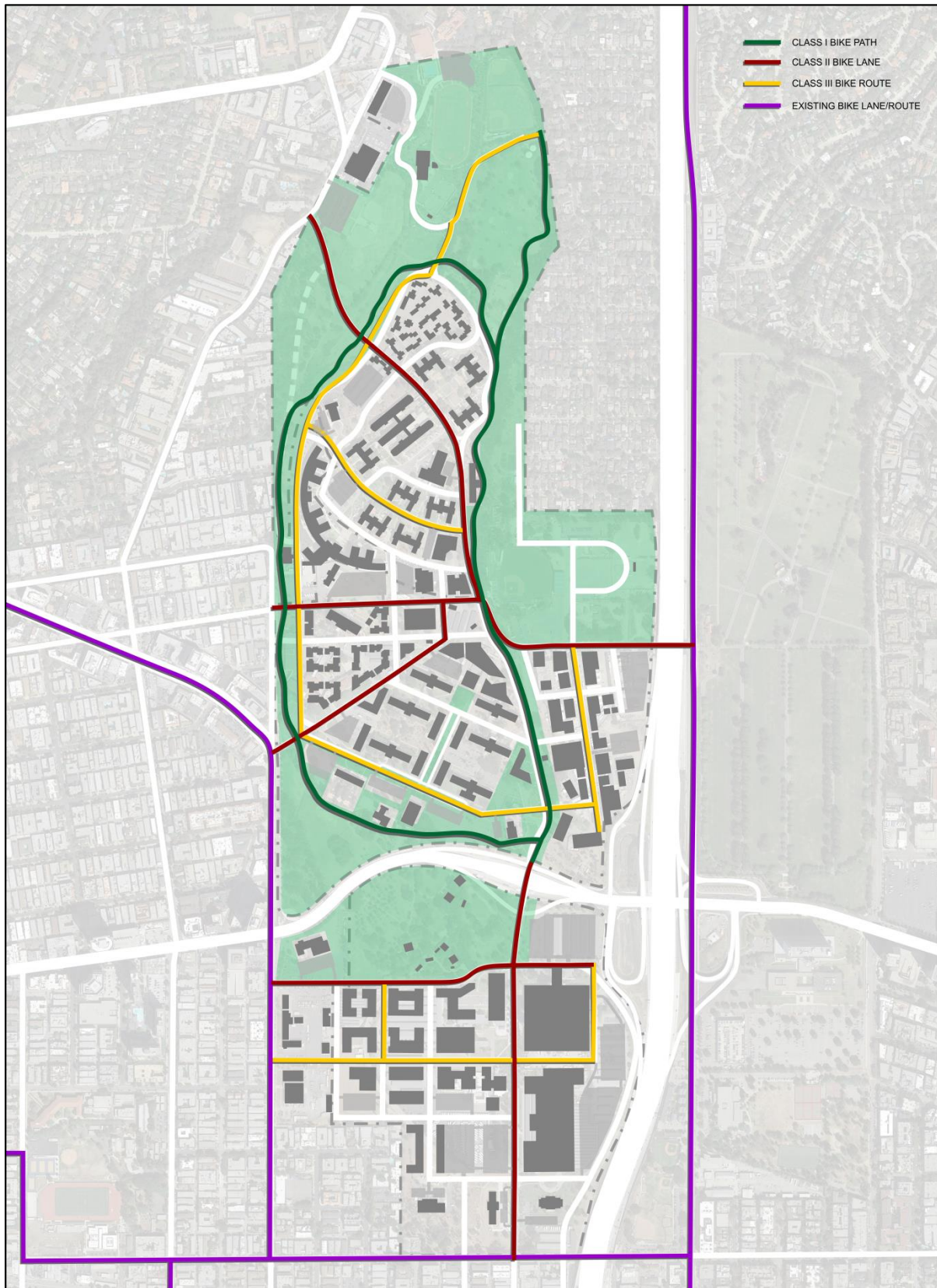
- *“Park Once.”* The plan proposes a series of relatively high-volume parking facilities around the perimeter of the campus. Closely aligned with stops on the shuttle system, these would allow visitors to the campus to park once upon entry to the site and then have alternate modes available to circulate through the site to all destinations.
- *Mix of parking methods.* The plan can utilize surface parking, parking structures, underground parking in a few instances, and street parking designed into the newly connected road system. This mix of various parking types should help to relieve the construction costs, particularly the high cost of underground parking, of campus parking.
- *Dispersed Parking.* The parking plan accounts for a number of parking available throughout the campus. Some parking would be particularly designated for different services, functions and building structures. The South campus is served by three large parcels designated for parking. Zone 2 can have five areas for parking. The Industrial District can have two options for parking. Two new parking structures and surface parking are included on the North side of campus to service the new residential neighborhoods as well as existing and future Veteran businesses in Barrington Village.

Bicycle Circulation

The Draft Master Plan also prioritizes bicycle transportation throughout the GLA Campus. In total the plan proposes 7.5 miles of bike routes throughout the site. Approximately 2.5 miles of this can be Class 1 Bike Paths (routes that accommodate bicycle or pedestrian circulation exclusively). The majority of this Class 1 Bike Path would be located within the Outer Ring of the north campus. This bike path can be a route for transportation throughout the north campus and also act as a route for recreation or leisurely bike riding.

The proposed bike routes would also connect to existing routes in the surrounding areas. A Class 2 Bike Lane (routes that integrate bike traffic with vehicular traffic) can connect from the Town Center, through the western side of the North campus and on to the existing bike route along San Vicente Boulevard and Federal Avenue. In the eastern direction, this bike lane also connects through Constitution Avenue to a bike route along Sepulveda Boulevard. From the south campus, there are two routes that connect to neighboring bike routes, including a route from the Medical District west to Federal Avenue as well as a north/south route that connects Wilshire Boulevard through the south campus to a bike lane on Ohio Avenue.

Figure V-11: Bicycle Plan

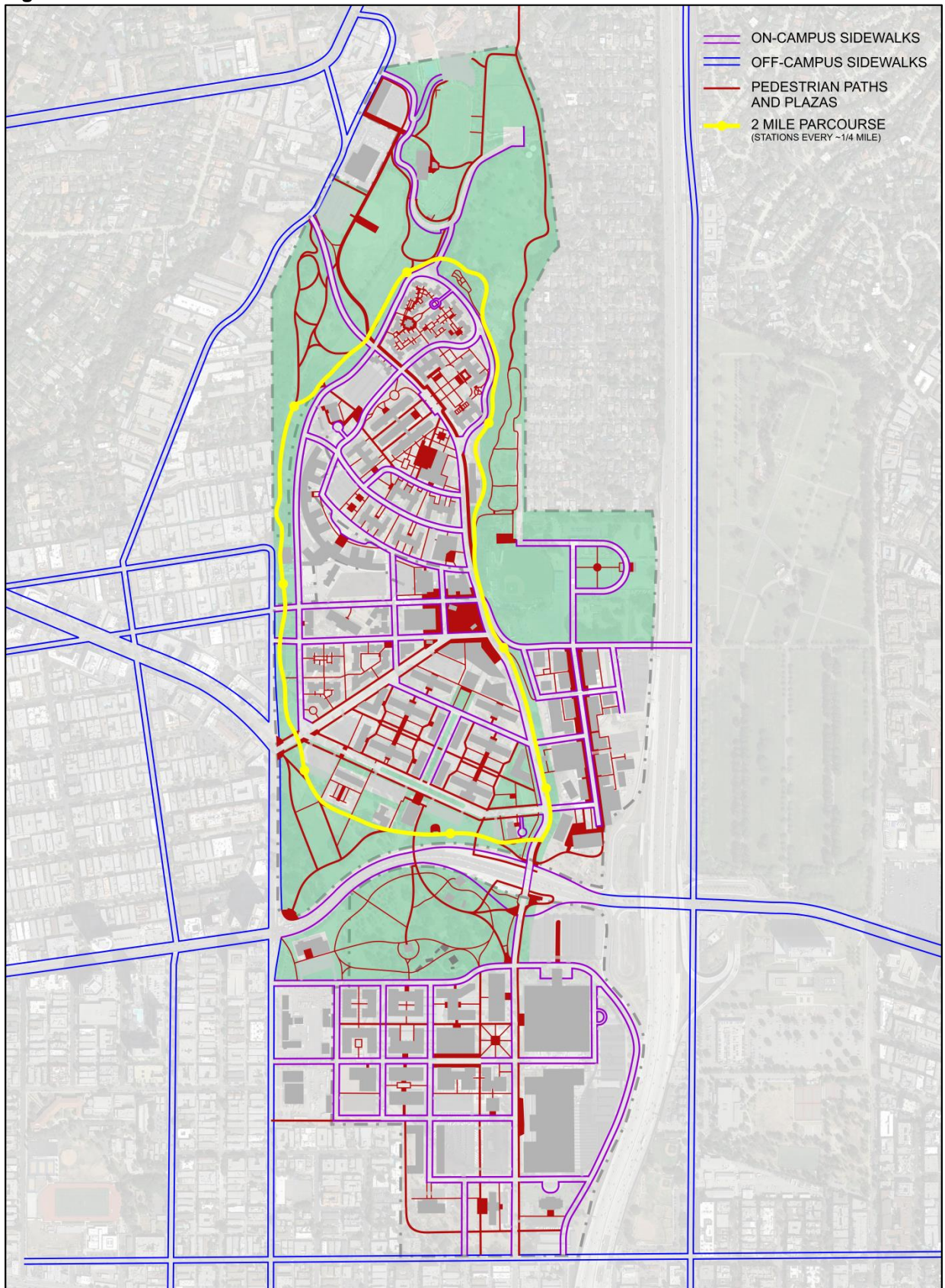


Pedestrian Circulation

Pedestrian circulation is a priority in the Draft Master Plan's recommendations, with a system that includes a variety of pedestrian routes that are handicap accessible. Pedestrian routes need to offer a convenient and functional option for Veterans to access the various areas of the site, connecting key points of interest and focusing clearly on meaningful destinations. They also need to be pleasant and comfortable, passing through activity areas of interest and bounded by beautiful landscape.

- *Hierarchy of pedestrian pathways.* The pathways throughout the campus create a transportation system. This system should serve Veterans and visitors to the campus in an efficient and accommodating manner.
- *Direct and accessible paths.* It is important to make primary thoroughfares that allow for direct Veteran foot traffic throughout the campus. The pedestrian "Spine" of the campus located along Bonsall Avenue is an important part of the plan that would allow for pedestrians to circulate efficiently in the north/south direction on campus. Many of the campus resources are located along this thoroughfare, including residential areas, the Town Center, the Chapel and the medical facilities, and can be a convenient route for residents and visiting Veterans alike.
- *Pathways for exercise, circulation and promenade.* The plan has considered the various needs that walking paths can meet on the GLA Campus. The two mile parcourse is a way to incorporate recreational resources into the site and provide more private, activity-oriented, and contemplative spaces for Veteran.

Figure V-12: Pedestrian Circulation



Landscape Improvement Concepts

Landscape Strategy

The importance of landscape in the Draft Master Plan is to breathe life back into the campus with a landscape strategy to override the current institutional feel of the campus and contribute to developing sense of home. High quality, well-maintained landscape can help create a therapeutic, supportive environment. Reworking the land and maintaining it in pristine condition would offer numerous training opportunities for Veterans.

- *Structurally diverse landscaping.* The general vision is to relieve the campus of its institutional image. A blend of restored and enhanced natural space with some more structured areas of landscape improvements would soften the campus image and provide opportunities for outdoor activities throughout.
- *Diverse landscape features.* Landscape improvements on campus would need to accommodate the very different uses for the space. For example, the campus would need to provide areas for people to be alone as well as spaces that encourage and facilitate interaction or group meetings. This can be achieved through different types of seating and tables, shaded and non-shaded areas, small protected and sheltered spaces and large expansive outdoor spaces.
- *Preserve healthy landscape.* The site has a substantial number of existing mature trees and landscape features, many of which are part of the site's historic legacy. After a thorough analysis of the existing natural areas of the site, the plan recommends a detailed assessment and inventory of existing trees and incorporation of those existing trees and landscape features in the more detailed design. The Draft Master Plan includes this approach at a high concept level.
- *Ring of open space.* The Draft Master Plan proposes that wide buffer of green space encircle the north campus as well as the west and south edges of the South campus. This open space buffer would distinguish the campus from the surrounding urban context, acting as an informal barrier and setting the tone for the distinct and tranquil environment within it. The green space also gives the campus the opportunity to have a two mile long walking and biking course that runs around the Veteran services on the north campus.
- *Sustainable design.* It is important that the campus is a sustainable model both environmentally and financially. The maintenance needs and cost of all campus installments would be considered in the design of the campus landscape. Drought tolerant and climate appropriate plants would also be utilized throughout the campus.

Orientation and Wayfinding

A key component of the landscape plan is to create a sense of place through specialized landscaping and notable landscape landmarks in combination with a peer-concierge service as needed. Signs and maps are important for wayfinding but an important goal of the landscape is that it can allow for the campus and its circulation to become clearer, over and above improved signage. To accomplish this, the landscape plan includes methods to make landmarks and to sprinkle the campus with distinctive open spaces. These areas can be focused around key points of circulation including the primary campus entrances, Visitor's Center, residential courtyards, the Chapel and the five proposed community and town centers throughout the campus. The landscape can include outdoor features, and planting clusters organized seasonally, by height, by pattern or canopy, by regional origin and by color. These changes in plant life and landscape structure would create subtle but emotionally distinctive spaces throughout the campus to assist in pedestrian wayfinding.

Green Sustainability

VA has a mature, integrated, agency-wide sustainability program in place. This includes energy and water conservation, recycling, vehicle fleet optimization, greenhouse gas reduction, and other related programs. The sustainability program does, and will continue to work towards achieving all legal and executive order mandates and requirements. For example, for over a decade VA has been prioritizing opportunities to install solar photo-voltaic panels and other renewably fueled projects where cost effective. Greenhouse gas emissions have been reduced, recycling programs are widespread, and our vehicle fleet consists of numerous electric, hybrid, and alternatively fueled vehicles. VA also seeks cost effective opportunities that contribute to improving sustainability, reducing the VA environmental footprint, and most importantly, serving the mission of caring for our Nation's Veterans and their families.

VA is very cognizant of the water challenges in southern California and elsewhere in the desert Southwest. Since 2007, VA has achieved a 28 percent reduction in potable water use per square foot, and removed 27 acres of turf in collaboration with the LA Department of Water and Power (LADWP). The turf was replaced with drought-tolerant vegetation.

The GLA Campus does have a waste minimization and recycling program in place. When possible, VA makes excess food available to appropriate non-governmental organizations. And food waste is often composted where possible, but this must be done recognizing the challenges of operating in a healthcare environment, where disease and infection control are key considerations.

VA has also established a goal of reducing greenhouse gas emissions 24 percent by 2025 compared to the 2008. This is particularly challenging for VA as by some measure the mission has grown more than 50 percent since then. Additionally, VA is in the initial phases of exploring the potential of micro-grid technology, and how it may fit into our primary mission of serving Veterans and their families.

VA has a very robust program to reduce greenhouse gas emissions from vehicles. Since 2005, VA has kept petroleum use from vehicles to 9%. This is in spite of major mission growth and the taking health care to Veterans homes in appropriate circumstances. VA also has an aggressive program to have as many vehicles as practical that are all-electric, electric hybrid, or alternatively fueled. VA has over 40 electric vehicles on the GLA Campus.

Going forward VA will continue to be a leader in sustainability and green management efforts. VA will be constantly measuring and be a leader integrating GBCI LEED Energy and Environmental Building Sustainability Design Standards in all Building Design and Construction, Interior Design and Tenant Improvement Construction, Building Operations and Maintenance; meet EPA Energy star standard for VA Residential programs; and integrate smart growth, urbanism and green building sustainability standards into the new masterplan neighborhood design (including but not limited to site utility configuration, usage and operation conservation, construction methods and building materials) for all future renovation and new construction projects at the VA.

Solar Panels

VA has implemented three of the aforementioned prioritized solar PV projects at the GLA Campus since 2009. The first two projects were completed for a total combined cost of \$29 million, installing solar PV panels on the roof of the GLA VAMC hospital building, Building 500, and on the top of each sheltered parking structure surrounding Building 500 on the south

campus. The third project placed solar PV panels throughout the north campus on the top of its sheltered parking structures and on the roofs of Buildings 213 and 218.

The solar PV panels installed during these projects are monitored via a web-based system that allows for performance tracking. In the 2015, the tracking system showed that the solar PV panels on the GLA Campus produced a total of 6,280 million kWh, about 13% of the facility's total electricity usage. As some of the paneling did not come on-line until late 2015, total annual energy production is expected to increase to over 20% of the GLA Campus annual usage in 2016.

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VI. Phasing and Next Steps

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A. Supportive Housing Phasing

Introduction

The Draft Master Plan illustrates a framework Veteran housing on the GLA campus to address the current need for 1,200 new, supportive housing units, as further described in Section II. Additionally, the Draft Master Plan provides additional capacity for approximately 840 supportive housing units, should demand call for additional units, allowing for a total capacity of up to 2,100 units.

The phasing timeline begins when legislation, as described below, is passed to allow for the Veteran-focused development of supportive housing units on the GLA Campus. Upon passage of legislation, the process of incorporating supportive housing on the GLA Campus—with the required infrastructure, parking, and community amenities—would become part of the GLA Campus plan over an extended timeline.

Legislative Overlay

Section 224 of Public Law 110-161 (enacted in December 2007) prohibits VA from taking any action to exchange, trade, auction, transfer, or otherwise dispose of, or reduce the acreage of the 388 acre GLA Campus. In support of VA's efforts to revitalize the GLA Campus and make it more Veteran-focused, Senator Dianne Feinstein and Congressman Ted Lieu recently introduced a bill titled the "Los Angeles Homeless Veterans Leasing Act of 2015." If enacted, it will enable VA to enter into certain Veteran-focused lease agreements with housing providers, local governments, community partners, and non-profits, to provide additional supportive housing and services for Veterans and their families. Notable emphasis will be on providing such housing and services for homeless, severely disabled, aging, and female Veterans, and homeless Veterans. The bill would not authorize VA to permanently dispose or transfer parcels on the GLA Campus to third party entities. It also contains specific protections to ensure that any such VA leases are Veteran-focused, and comply with applicable law.

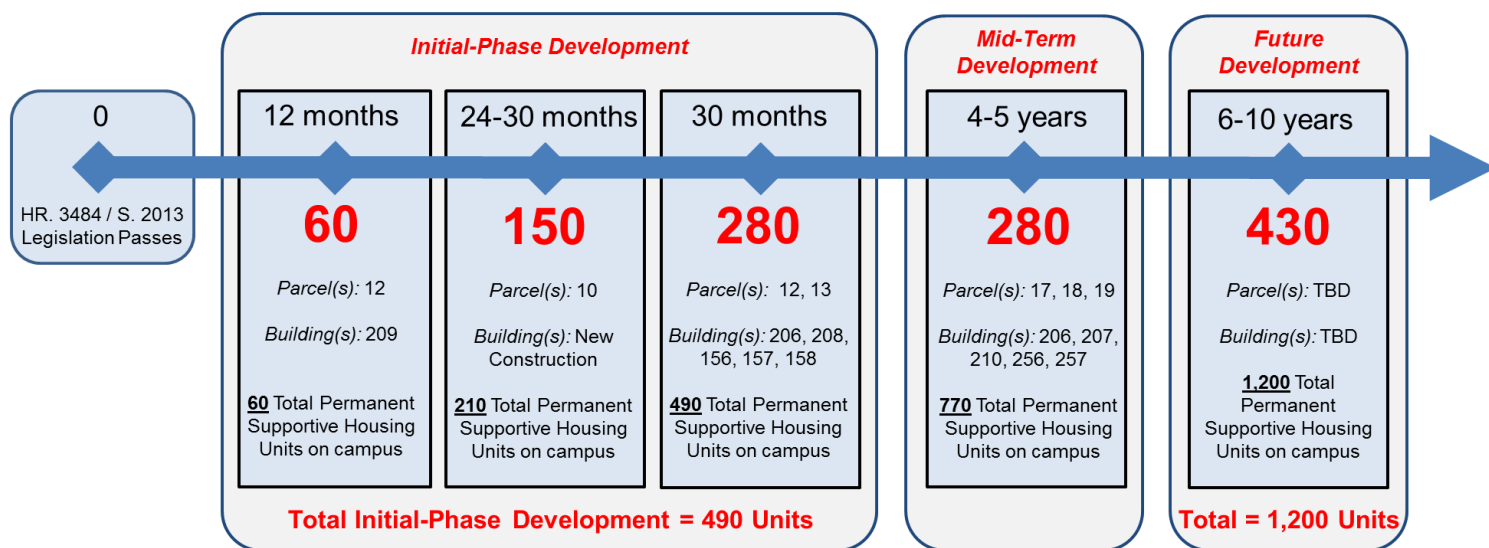
A key authority that will be pertinent to VA providing the supportive housing on the campus will be VA's Enhanced-Use Lease Authority, contained at 38 U.S.C. 8161-8169. Established in 1991, the authority allows VA to outlease selected sites under VA's jurisdiction and control to selected Developers, to finance, develop, operate, and maintain "supportive housing" as defined in 38 U.S.C. § 8161(3). Such housing includes transitional housing, single-room occupancy, permanent housing, congregate living housing, independent living housing, assisted living housing, and other modalities of housing.

Supportive Housing Phasing Timeline

Below is a preliminary timeline for implementation of new supportive housing on the GLA Campus. The timeline is conceptual, and it will be periodically updated and evaluated based on future analyses of housing demand. The primary components of the timeline are as follows:

- Develop solicitation and developer selection: approximately 6 months
- Developer prepares a proposed structural development and obtains capital and operating financing: approximately 12-18 months
- Construction and/or renovation of project: approximately 12 months

Figure VI-1: Potential Phasing Timeline



Note that the above proposed timeline will involve pertinent future due diligence to address utility infrastructure issues, environmental and historic preservation analysis, and involve timing issues regarding the selected housing developers to obtain non-VA monetary capital needs from various housing-related funding sources (e.g., equity, construction & conventional loans, tax credits, grants, operational subsidies like HUD-VASH vouchers, etc.), and local zoning & permit processes

Methodology

The methodology guiding the proposed phasing timeline includes the following:

Initial Phase Development (490 Units)

Initial phase for supportive housing will be located in the central portion of the north campus in Parcels 10, 12, and 13, with a projected capacity of 490 housing units. Of these, approximately 150 units are proposed to be new construction in Parcel 10, and an additional 340 units through the renovation of Buildings 156, 157, 158, 205, and 208. Recently renovated units in Building 209 will be converted from Compensated Work therapy – Therapeutic Residential housing to supportive housing.

These parcels and buildings were chosen for the first phase of development as the phasing will leverage existing buildings that require neither substantial relocation of existing services nor demolition; the vacant buildings (156, 157, 158, 205, and 208) can be renovated into supportive housing, and new construction of 150 units can be constructed on currently undeveloped land.

Mid-Term Development (280 Units)

The mid-term supportive housing will require the relocation of existing services and functions, and the process for developing supportive housing on these parcels will begin upon the completion of the relocation requirements. Once all relocation requirements have been met, the process to develop supportive housing through the renovation of Buildings 206, 207, 210, 256, and 257 will begin.

Future Development (430 Units)

The balance of the projected demand for 1,200 units of supportive housing are located in a

combination of renovated buildings and new construction, located in Parcels throughout the GLA Campus. Specific timing, location, and residential typology will be based on periodic updates of demand. Note that parcels with an approximate total of 600 units have been identified in order to maintain flexibility in the type and location of units based on need and demand.

Additional Capacity (740)

As noted previously, the Draft Master Plan provides for additional capacity beyond the projected need of approximately 1,200 units, with capacity for up to 2,100 units. This capacity can absorb future demand based on need as local and regional demand analyses are updated through the 3- to 5-year reviews of the Draft Master Plan.

Figure VI-2 displays a map of the campus divided into 95 parcels. Figure VI-3 summarizes the methodology and housing capacity for each of the parcels for which housing is either a preferred or alternate use.

Figure VI-2: Parcel Plan

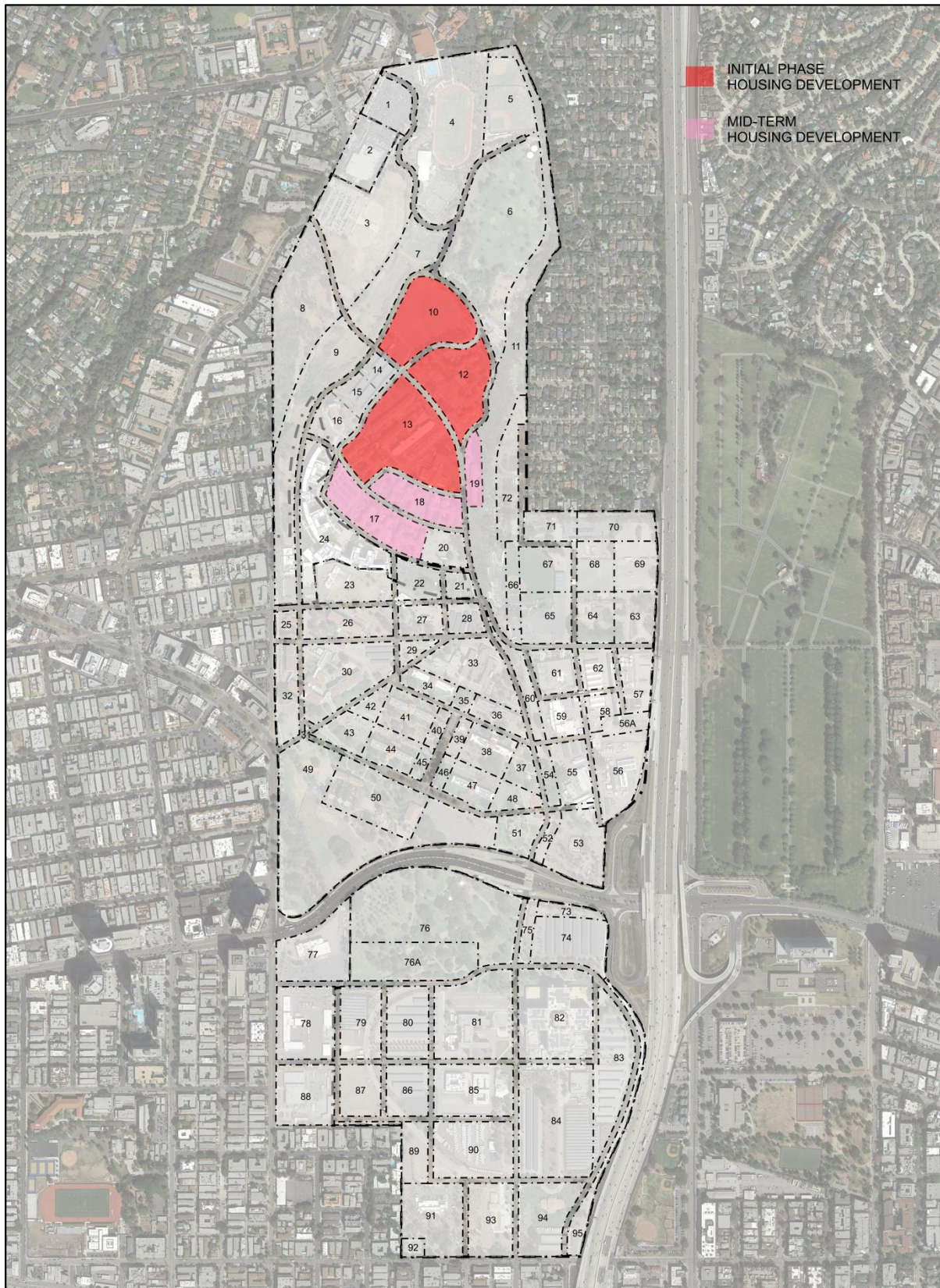


Figure VI-3: Parcel Plan Table

| <i>Parcel No.</i> | <i>Initial Phase Development</i> | <i>Mid-Term Development</i> | <i>Future Development</i> | <i>Additional Capacity</i> |
|-------------------|----------------------------------|-----------------------------|---------------------------|----------------------------|
| 5 | | | 90 | |
| 10 | 150 | | | |
| 12 | 180 | | | |
| 13 | 160 | | | |
| 17 | | 120 | | |
| 18 | | 120 | | |
| 19 | | 40 | | |
| 26 | | | 60 | |
| 30 | | | 90 | |
| 36 | | | 84 | |
| 38 | | | 70 | |
| 39 | | | 19 | |
| 40 | | | 19 | |
| 42 | | | 27 | |
| 45 | | | 16 | |
| 46 | | | 16 | |
| 53 | | | | 127 |
| 66 | | | | 40 |
| 67 | | | | 70 |
| 71 | | | | 25 |
| 79 | | | 106 | |
| 80 | | | | 109 |
| 81 | | | | 227 |
| 89 | | | | 38 |
| 90 | | | | 100 |
| Total | 490 | 280 | 597 | 736 |

B. Draft Master Plan Next Steps

While the Draft Master Plan is a guiding framework for the revitalization of the GLA campus, there are next steps that VA will undertake to realize and implements this plan. The following next steps will help to ensure that the GLA campus becomes a Veteran home and a 21st century healthcare facility, which can be a model for other VA facilities.

- Continue analysis on traffic study roads and utility capacity.
- Further environmental, historical preservation, and other due diligence.
- Establish MyVA Community Veteran Engagement Board to improve coordination, collaboration and partnership with Veteran community.
- Advance clinical and service enhancements, especially those for traumatic brain injury, addictions, mental health, legal services, family wellbeing, and Veteran peer service inclusive of customer service concierge approach to navigate the GLA campus.
- Continue to work with Congress regarding legislation needed support the master planning effort, and to implement the contemplated new / additional supportive housing and services on the GLA campus.
- Advance the co-location of VA services by consolidating VHA, VBA, and cemetery services on the GLA campus.
- Include the objectives and goals of the master planning process into VA's annual Strategic Capital Investment Plan (SCIP) 10 year planning process. This process includes a financial analysis of each project to ensure the most cost effective delivery.
- Continue to grow partnership with UCLA, other academic affiliates, and community partners to be more Veteran-focused.
- Continue to pursue exit strategies for agreements that do not meet VA's criteria for Veteran-focused land uses.
- Pursue the restoration of the chapel and other historic buildings through partnership with the 1887 Fund community philanthropy.
- Begin process for beautification of the campus.
- Coordinate with VA's Office of Asset Enterprise Management regarding the planned supportive housing Enhanced-Use Lease projects for the GLA campus, relative to key congressional legislation pending enactment (S. 2013, HR 3484, S. 2422, and HR 4334).
- Fully Implement new GLA administrative organizational structure to improve transparency and accountability for services, administrative and fiscal matters

C. Draft Master Plan Periodic Updates

While the Draft Master Plan is a significant milestone, it is neither the final product nor the last stage of the ongoing master planning process. In collaboration with Veteran groups, community partners and other stakeholders, VA will periodically review and reevaluate the Draft Master Plan every three years, to ensure the plan continues to meet the evolving needs of Veterans.

The feedback process will be continued as VA selects new leadership for the GLA Campus (i.e., three senior executives – specifically the new Medical Center Director; the Director of Land Use Agreement & Community Engagement and Reintegration Services; and Director of Community Based Care, including the Sepulveda campus and Community Based Outpatient Clinics). In addition to the three year reviews of the plan, the new VA leadership team will continue to engage the Veteran voice through, Town Halls, meetings with VSOs and elected officials, and the implementation of a MyVA Community Engagement Board. The MyVA Community Engagement Board empowers Veteran advocates, service providers, Veterans, and

stakeholders to have a voice and a “seat at the table” in providing input and feedback to VA, and identifying their goals and ways to engage and improve service delivery for Veterans and their families. The Board will carry the visions of the Draft Master Plan forward. Building and sustaining these avenues for continued Veteran feedback is a critical component of maintaining the Draft Master Plan, as a guiding resource for revitalizing and enhancing the GLA campus. All of this will be done to ensure appropriate oversight and Veteran collaboration while increasing transparency and accountability.

Appendix A. Building Conditions

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Methodology

In assessing the existing building inventory conditions and current uses, information was collected and from the Integrated Facility Site Utilization and Space Planning Report, the West Los Angeles Station 691 Building Inventory data, and direct assessments.

When interpreting the information, a series of metrics were developed from various factors and conditions that would have relevant impact upon the implementation of the Draft Master Plan. These metrics are intended to provide a larger, broader overview of the conditions and uses of the available building inventory on the campus, with greater detailed information available at the previously listed resources. The factors and conditions that have been used to generate the metrics within this section have been identified as the following categories:

- Facility Types
- Building Ages
- Building Conditions
- Historic Values

Facility Types

Current programmatic uses have been identified and categorized into 11 varying facility types that are presently distributed throughout the campus. While some buildings may be primarily dominated by a singular facility type, the majority of the existing occupied building inventory is divided by multiple types. For ease of understanding, buildings are currently identified by their dominant facility type, but the square footage numbers provided are specific to only the area occupied by the facility type. It should be noted that the square footages also exclude areas designated as common spaces.

The facility types are listed below:

- Administrative
- Hospital
- Ambulatory
- Mental Health
- Residential Mental Health
- Residential Lodging
- Community Living Center (CLC)
- Research
- Support and Logistics
- Vacant
- Shared

**Reference “Figure A-1 Existing Buildings: Facility Types”*

The facility types are further explained in greater detail in Section III Existing Conditions and Site Analysis, Site Analysis, Existing Building Inventory. of this document, including the departments and services breakdown, the associated and total square footages, and the buildings currently in use by each facility type.

Building Ages

The age of existing buildings on the campus impact the significance of the historical district, indicate the potential condition of the buildings and imply the character of the individual neighborhoods and districts. Neighborhoods and districts with a greater number of existing older building stock have a greater sense of establishment and pre-existing character that can be further enhanced while areas with newer buildings hold a greater level of development flexibility.

The assessment of building ages has been broken down into 20-year increments, with seven buildings having no date of construction available at present time. These age periods are listed below:

- Under 20 years – Completed from 1995 to present
- 21-40 years – Completed from 1975 to 1994
- 41-60 years – Completed from 1955 to 1974
- 61-80 years – Completed from 1935 to 1954
- 81-100 years – Completed from 1915 to 1934
- Over 100 years – Completed prior to 1914
- Not Available – Information not available at present time

**Reference “Figure A-2 Existing Buildings: Ages”*

Building Conditions

The current listed conditions of the existing building inventory includes, but is not limited to, the assessments of the structural and seismic integrity, shell and interior conditions, life safety and fire systems, and mechanical, electrical, and plumbing systems. Dependent upon the number of building systems in need of upgrades or complete replacement, buildings have been rated as one of the three listed values below:

Poor – In significant disrepair requiring immediate assessment and attention.

Moderate – Some systems requiring attention, but safe and adequate for immediate use.

Good – In near ideal condition and requiring the least amount of attention at the present time.

Not Available – Information not found at present time.

Inadequacies relating to seismic integrity or life safety systems automatically caused a building to receive a “poor” value as these issues require immediate consideration for future inhabitation of the building. The majority of the buildings with available information on the campus have received this value as a result of this particular inadequacy.

**Reference “Figure A-3 Existing Buildings: Conditions”*

Historic Values

The north campus, a significant portion of the south campus, and the National Cemetery have been designated as a historic district with a number of significant buildings identified as contributing resources to the character of the district. In addition, two notable buildings (the Wadsworth Chapel and the Trolley Depot) have been individually listed in the National Register. The criteria that denotes whether a building is a contributing resource consists of three

conditions:

1. Build and/or in use during the relevant period of time of historical significant
2. Hold notable association with the national context of the district at the relevant period of time or be of significant architectural value of the time period
3. Have maintained significant physical traits of the original character during the period of historical significance

The buildings that are not identified as contributing resources, and are not individually listed, have been identified as non-contributing resources. This does not necessarily mean that these buildings hold no historical character or architectural significance, just that they do not meet all three of the above listed criteria. As a result, the buildings on the campus have been identified as belonging to one of the three values below:

- Non-Contributing
- Contributing
- Individually Listed

**Reference "Figure A-4 Existing Buildings: Historic Values"*

Figure A-1: Existing Buildings: Facility Types

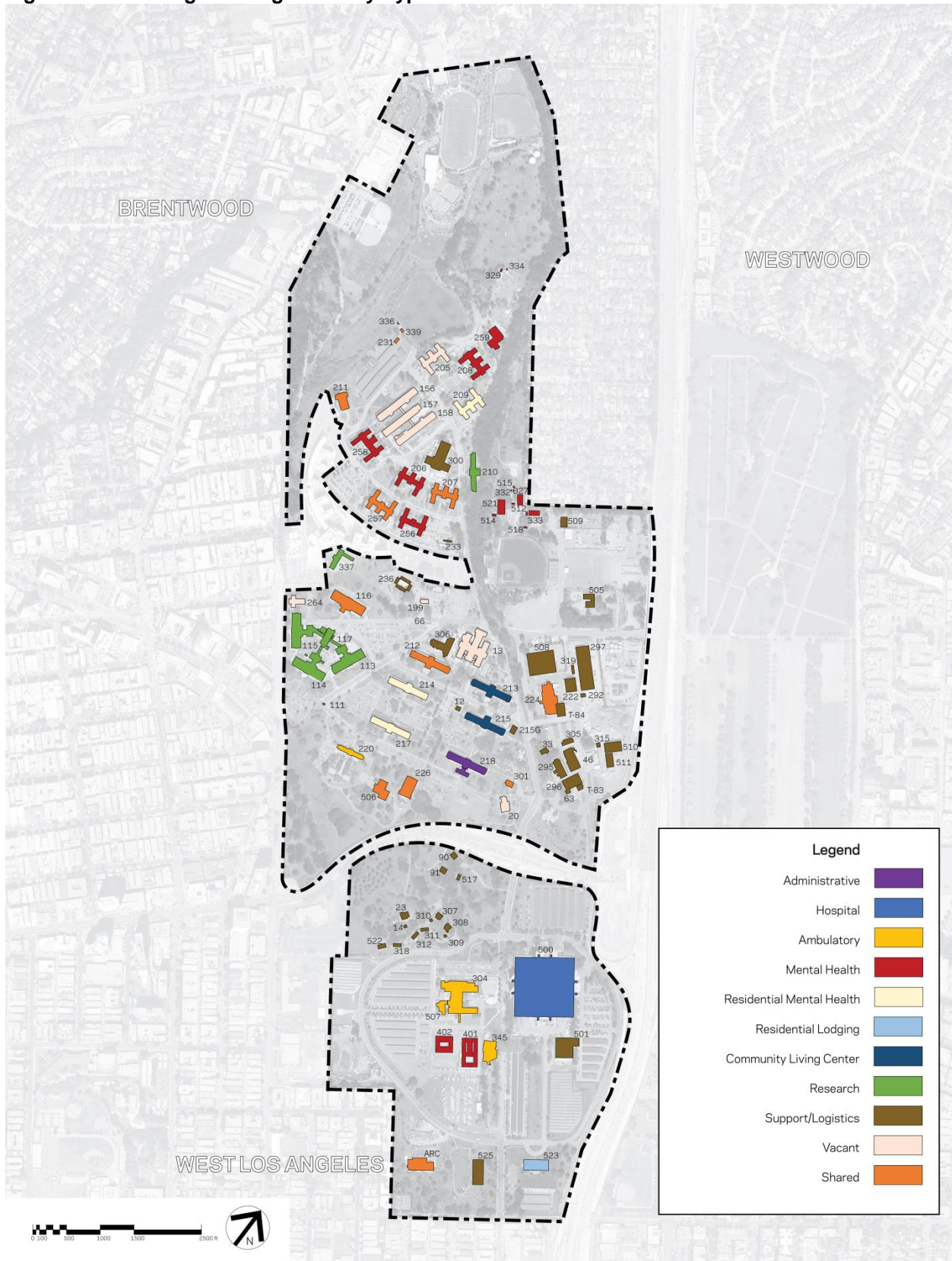


Figure A-2: Existing Buildings: Ages

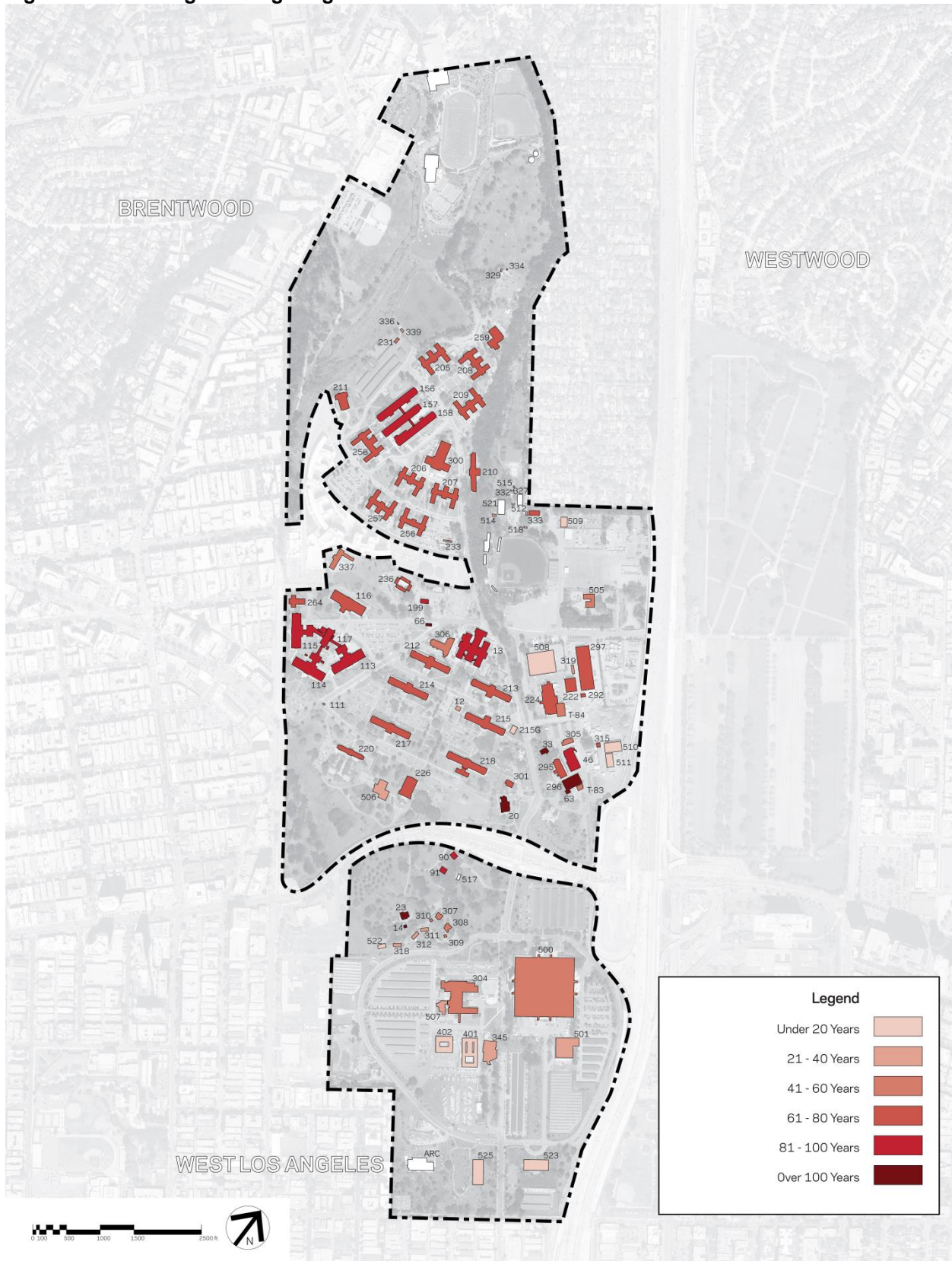


Figure A-3: Existing Buildings: Conditions

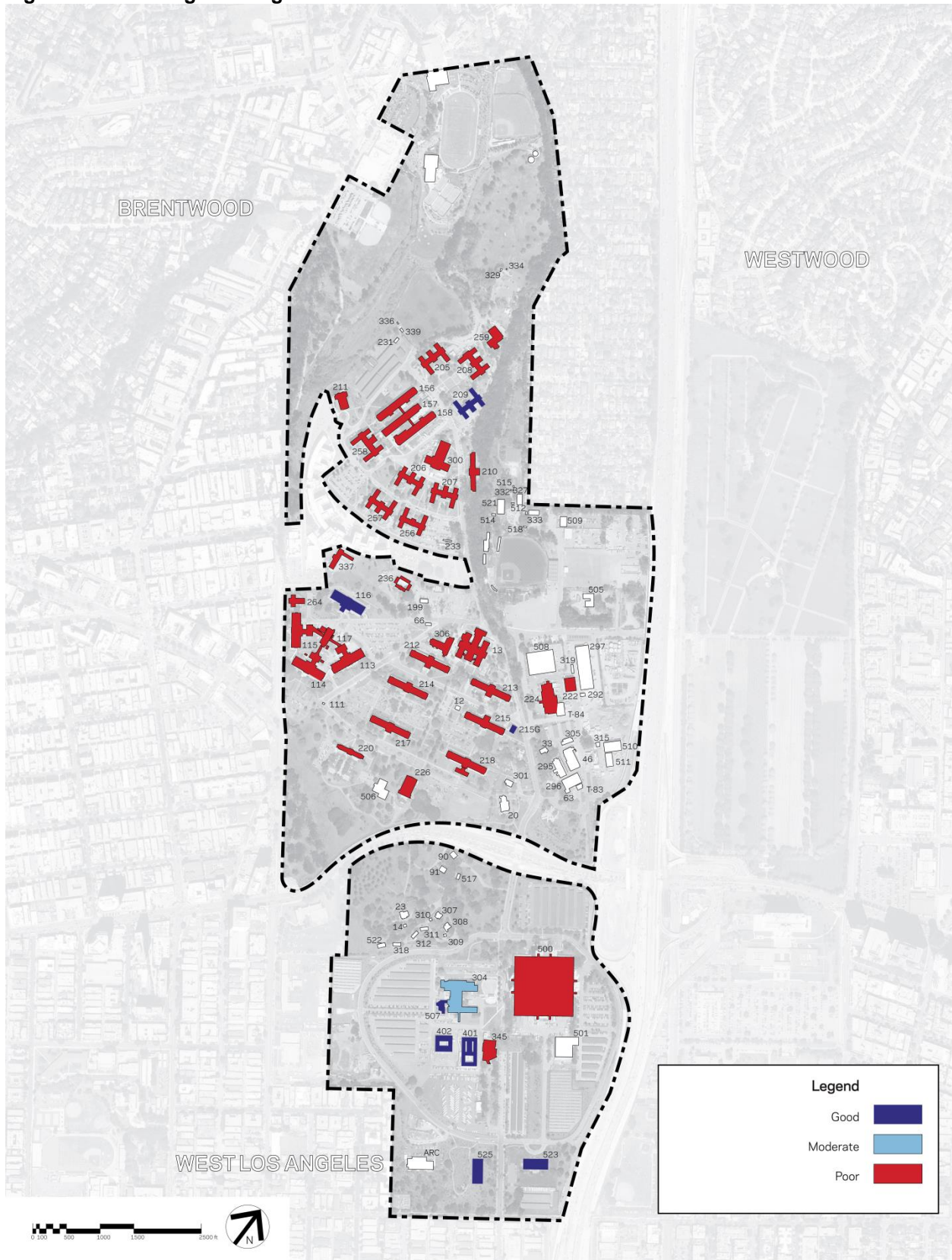
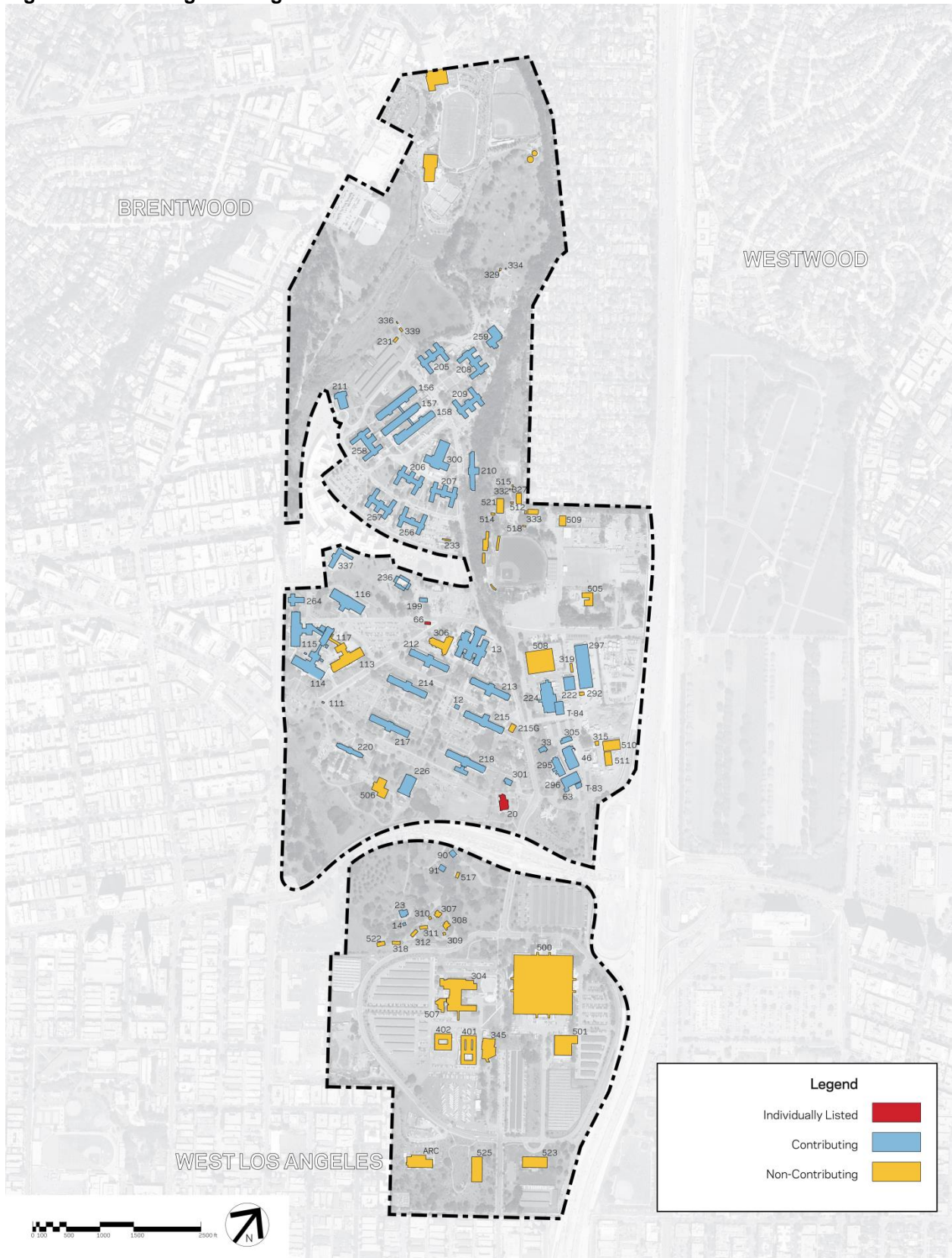


Figure A-4: Existing Buildings: Historic Values



Appendix B. North Campus Civil Analysis

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Introduction

The site assessment for the existing GLA Campus north campus summarizes the existing available record data information for the surrounding areas. This includes the following:

- Parcel Data
- Zoning
- Land Use
- Sensitive Species
- Bus Lines and Bikeways
- Aircraft Flight Patterns
- Topography
- Rainfall
- FEMA
- Earthquake Faults
- Liquefaction Zones
- Soil Types

The information provided for the site is based on record data provided by GLA Medical Center, local agency records, and public GIS data base for the GLA region.

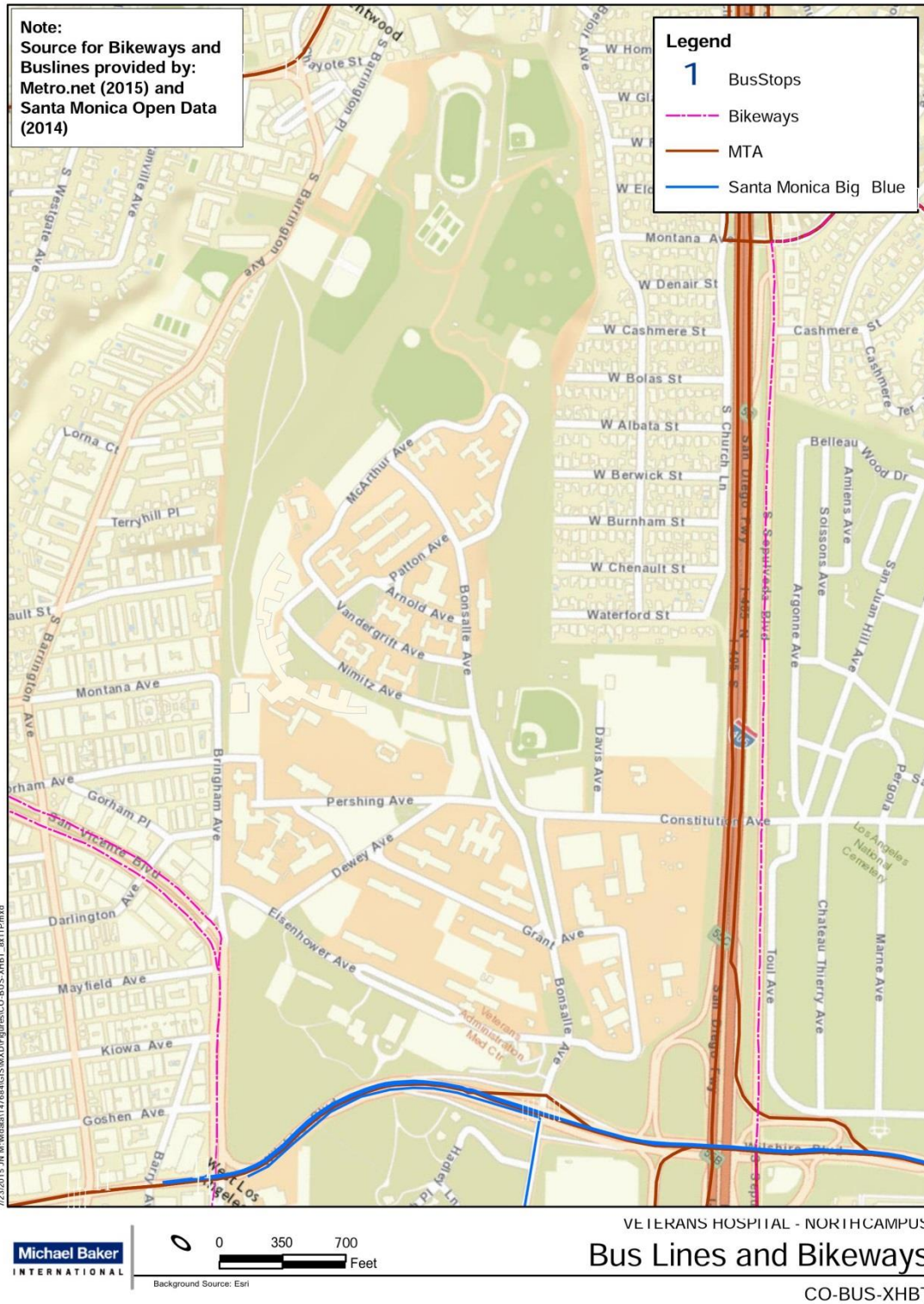
Site Definition

The existing north campus is located within the 388 acres of the GLA Medical Center. The north campus is located west of the Interstate 405 freeway (I-405) and north of Wilshire Boulevard. The northern and westerly property borders Brentwood and West Los Angeles. The east is bordered by Westwood and Century City, directly east of the I-405.

Mass Transit Routes

The north campus is currently served by two bus systems: The “MTA” along Wilshire Boulevard, and the “Santa Monica Big Blue”, which travels through the south campus from Wilshire Boulevard to Ohio Avenue. A future Metro Rail Station, including a parking structure, is conceptually planned near the intersection of Wilshire Boulevard and Bonsall Avenue.

Figure B-2: North Campus Bus Lines and Bikeways



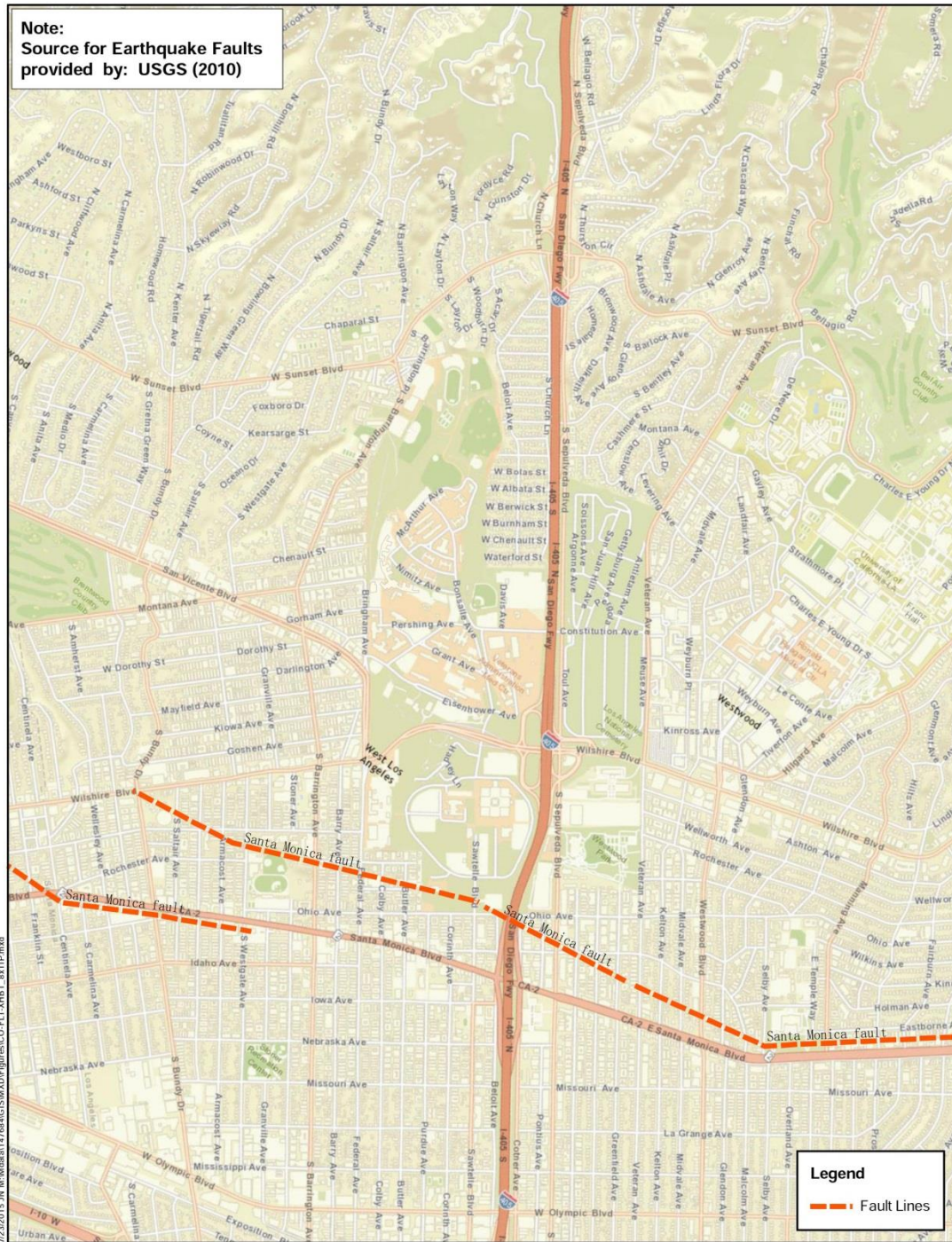
Liquefaction Zones

The Liquefaction Zone is primarily located in the southeastern portion of the north campus and east of Bonsall Avenue.

Earthquake Faults

The site is north of the Santa Monica fault. The Santa Monica fault runs through the southernmost portion of the south campus.

Figure B-4: North Campus Earthquake Faults

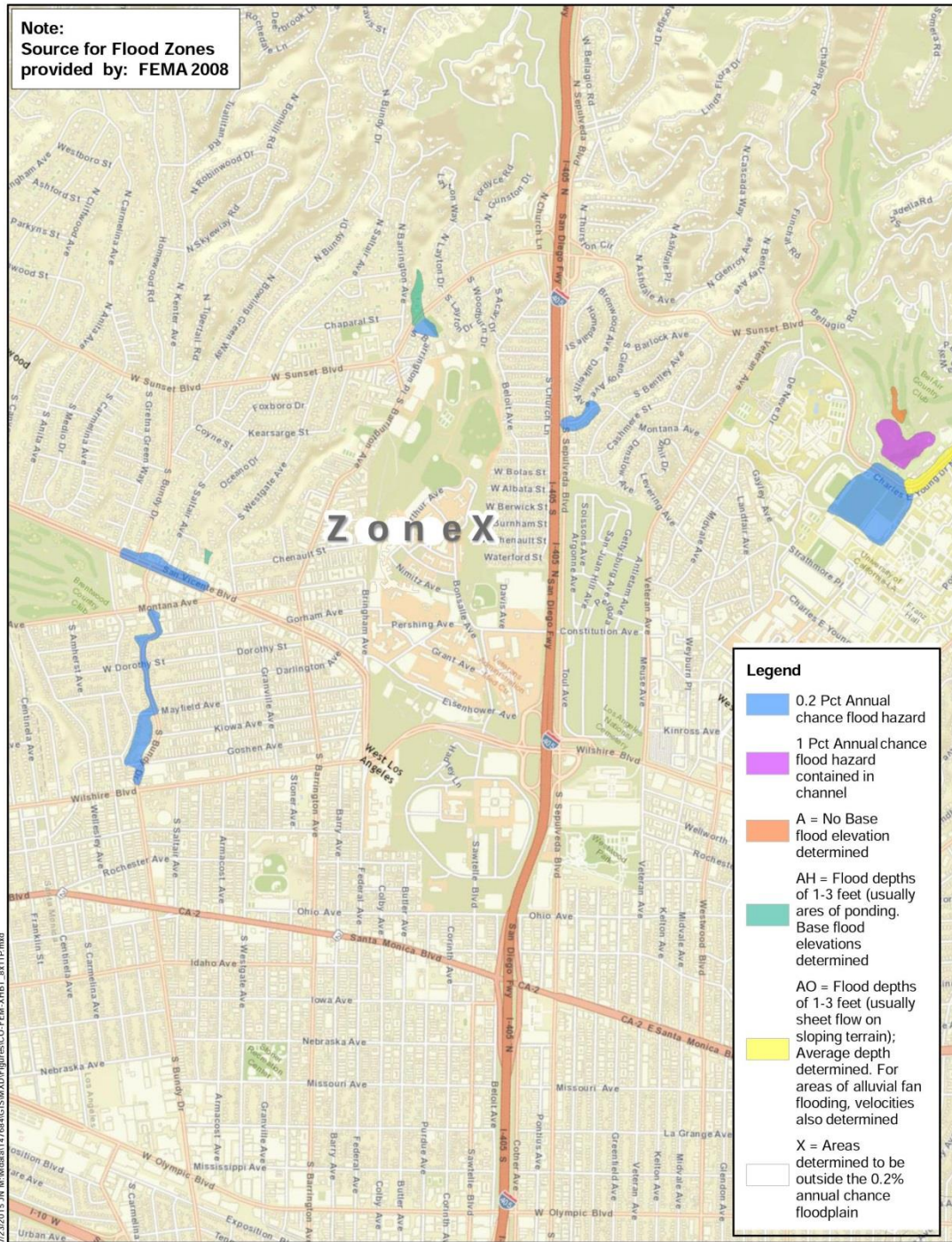


NORTHCAMPUS
Earthquake Faults
CO-FLT-XHBT

Flood Hazards and FEMA

According to FEMA floodplain maps, the north campus is outside of the flood hazard 100-year floodplain. The rainfall amount within a 24-hours period for a 50-year storm event is approximately 6.8 inches.

Figure B-5: North Campus FEMA



Michael Baker INTERNATIONAL

0 1,000 2,000 Feet

Background Source: Esri

NORTHCAMPUS
FEMA
CO-FEM-XHBT

Rainfall

The rainfall amount within a 24-hour period for a 50- year storm event is approximately 6.8 inches.

Figure B-6: North Campus Rainfall



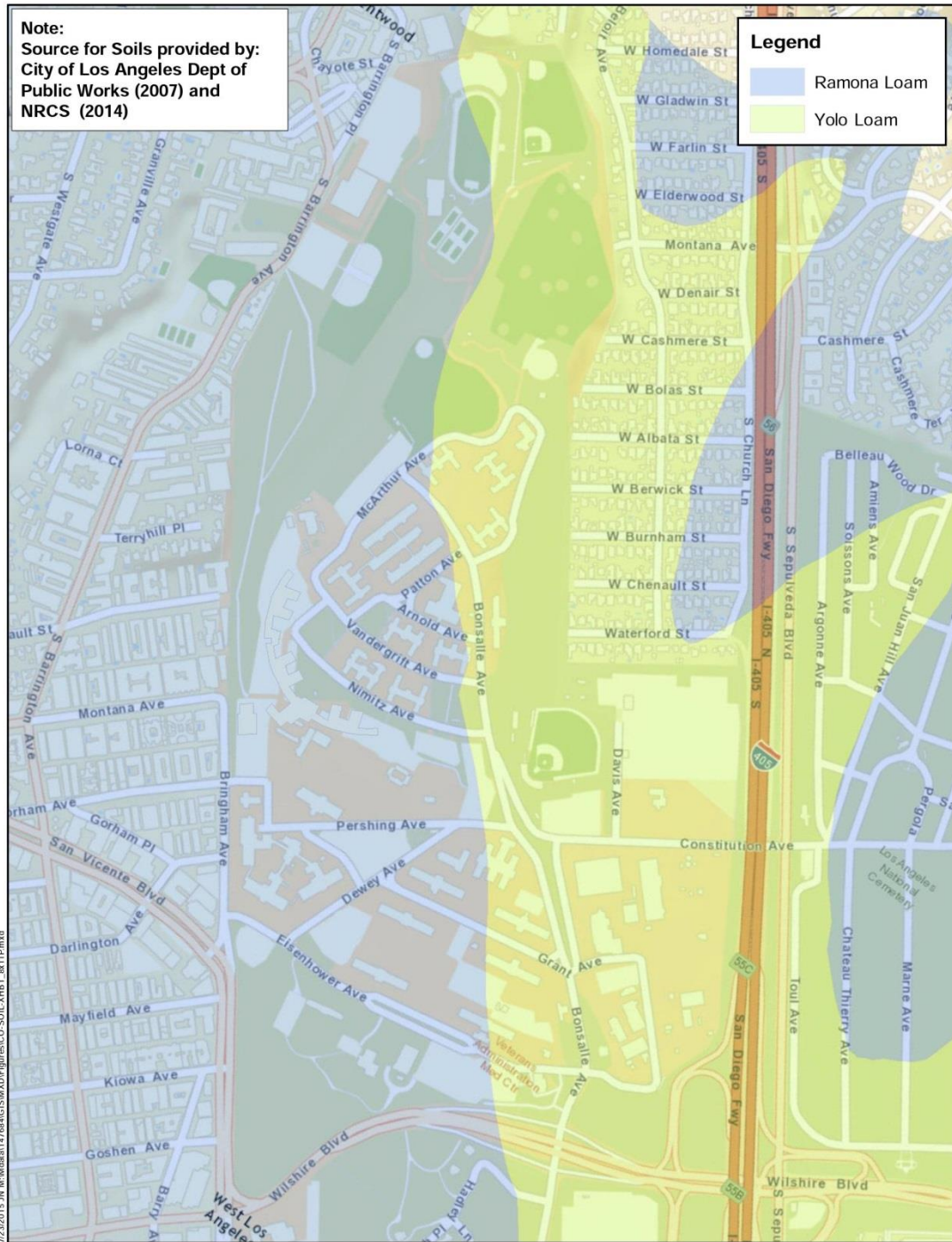
Soil Type

Two types of soil have been identified on the site. Ramona Loam along the west, and Yolo Loam along the east. Both soil types continue north and south of the GLA VA campus.

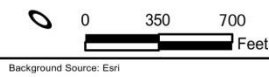
Drainage Fields and Water Table Elevation

Groundwater was not encountered at depths up to 70 feet. Storm water and general drainage from the northern portion of the site and surrounding neighborhoods is accommodated in the zone nearest South Barrington Avenue.

Figure B-7: North Campus Soils



Michael Baker
INTERNATIONAL

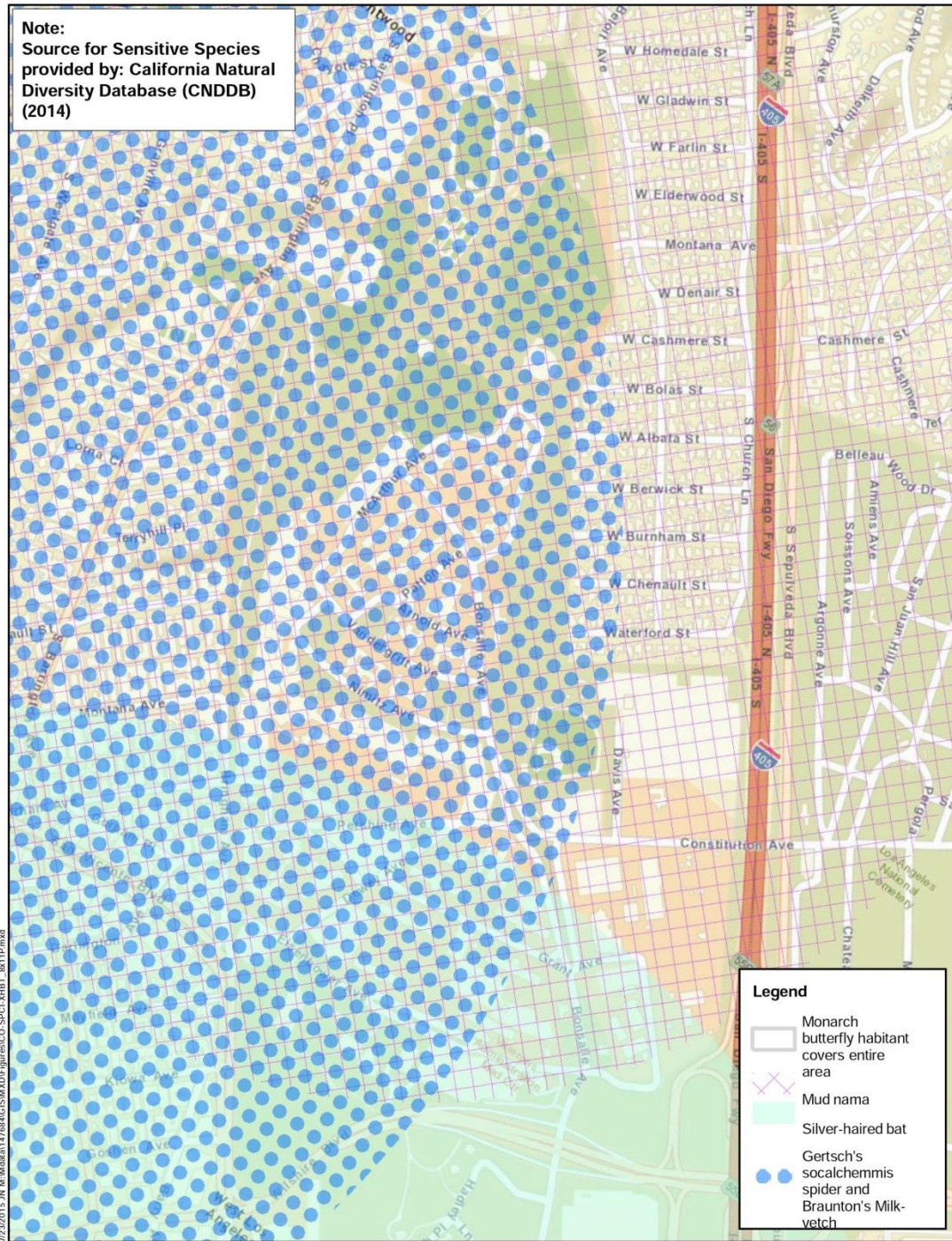


NORTHCAMPUS
Soils
CO-SOIL-XHBT

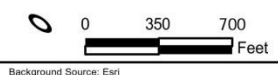
Ecological Considerations

The north campus is within the sensitive species area for the Monarch Butterfly, Silver Haired Bat, Gertsch's Socalchemmis Spider, Mud Nama (plant), and Braunton's milk-vetch (plant).

Figure B-8: North Campus Sensitive Species



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NORTHCAMPUS
Sensitive Species
CO-SPCI-XHBT

Topography

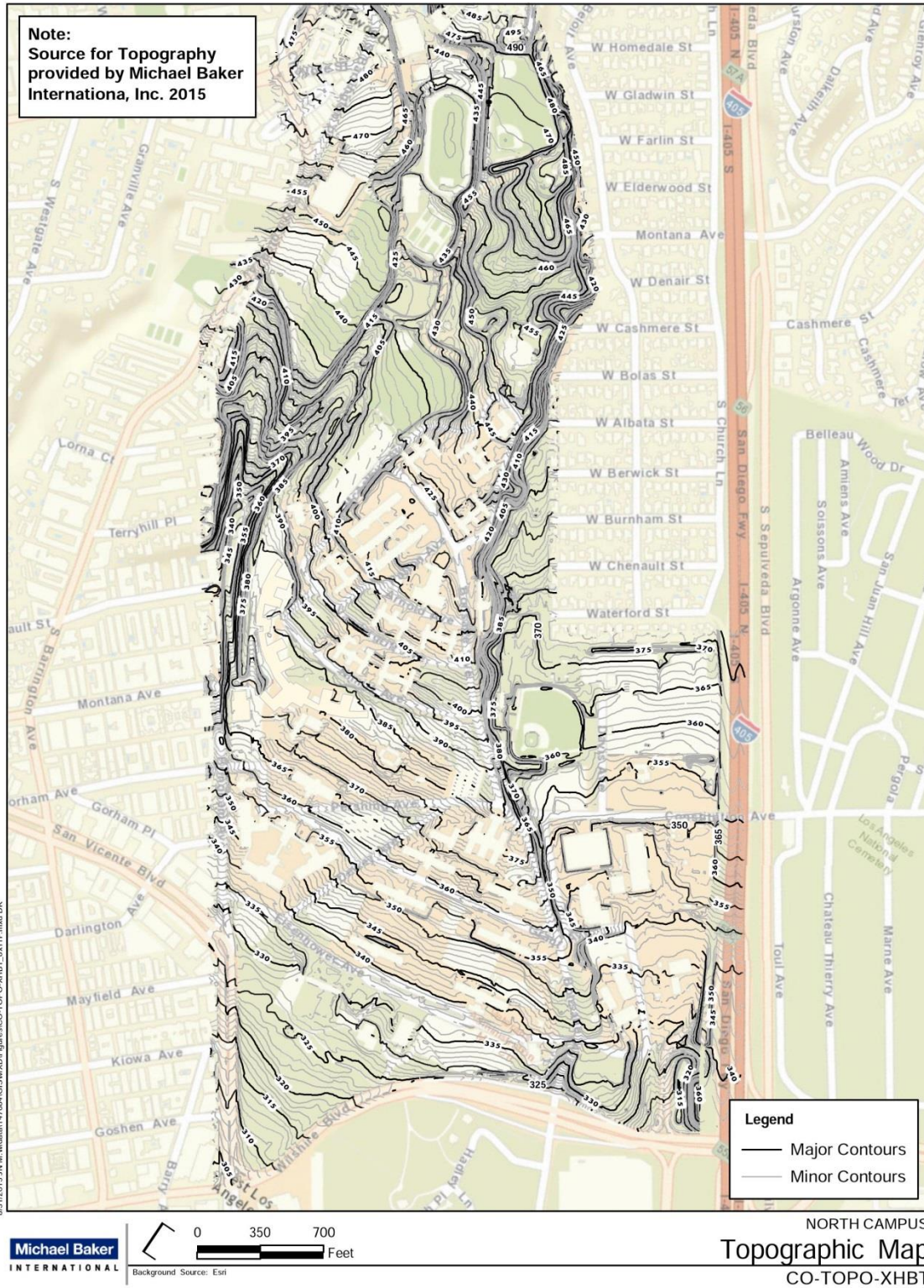
The site topography generally slopes primarily from the north to south as well as westerly from Bonsall Avenue to San Vicente Boulevard/Bringham Avenue. Along the east side of Bonsall Avenue, the existing topography slopes south to Wilshire Boulevard. See also the storm drain section of this document for drainage patterns.

The northern portion of the property (approx. 22 acres) is currently being used by the Brentwood School and is at an elevation of approximately 480 feet. The southern portion of the site is at an elevation of approximately 310 feet. The change in elevation is approximately 170 vertical feet from the Brentwood School site to Wilshire Boulevard.

The northern half of the property has more variation in the topography with existing site improvements that include large flat pad areas and graded side slopes to fit the existing terrain. The area is mostly used for recreational purposes and includes the following site improvements: a football and track field, baseball fields, golf course, Veteran's Park, soccer field, tennis courts, gardens, and the Arroyo drainage area. With these amenities, the density and paved areas are less than the southern portion and primarily used for parking and access drives.

The southern half of the property is the majority of the campus infrastructure. The southeast portion of the site has the least amount of elevation change and is primarily industrial. A few of the uses for this area include: laundry facilities, engineering shops, oil and gas area, and a supply warehouse.

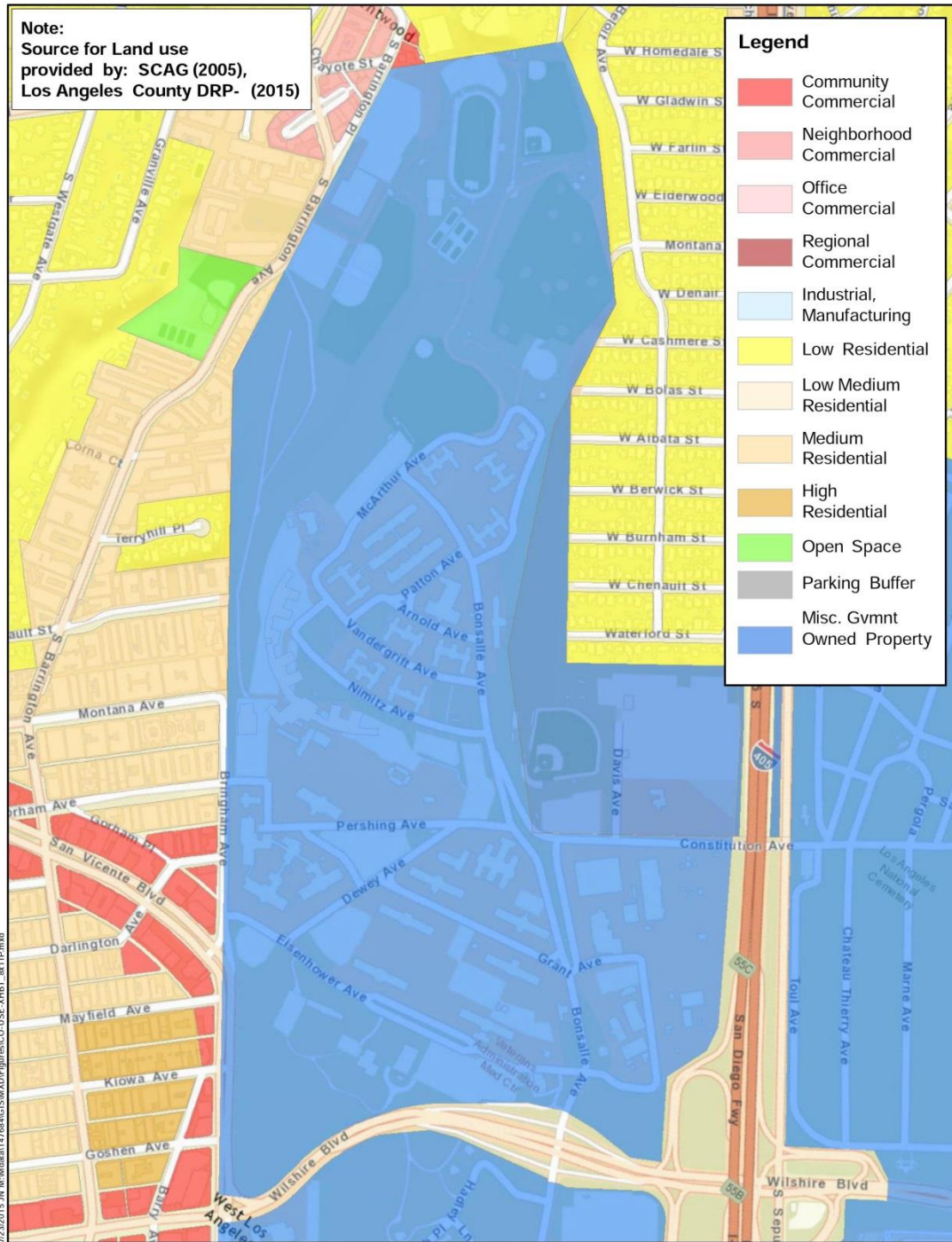
Figure B-9: North Campus Topographic Map



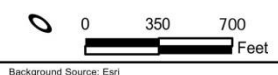
Surrounding Land Uses and Parcel Information

The north campus surrounding land use includes multi-unit residential, commercial, and retail buildings along the westerly and northern boundary. The southeast side of the property is bordered by the I-405, and the northeast is bordered by single-family homes (Brentwood Glen). The southern boundary is bordered by Wilshire Boulevard.

Figure B-10: North Campus Land Use



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NORTHCAMPUS
Land Use
CO-USE-XHBT

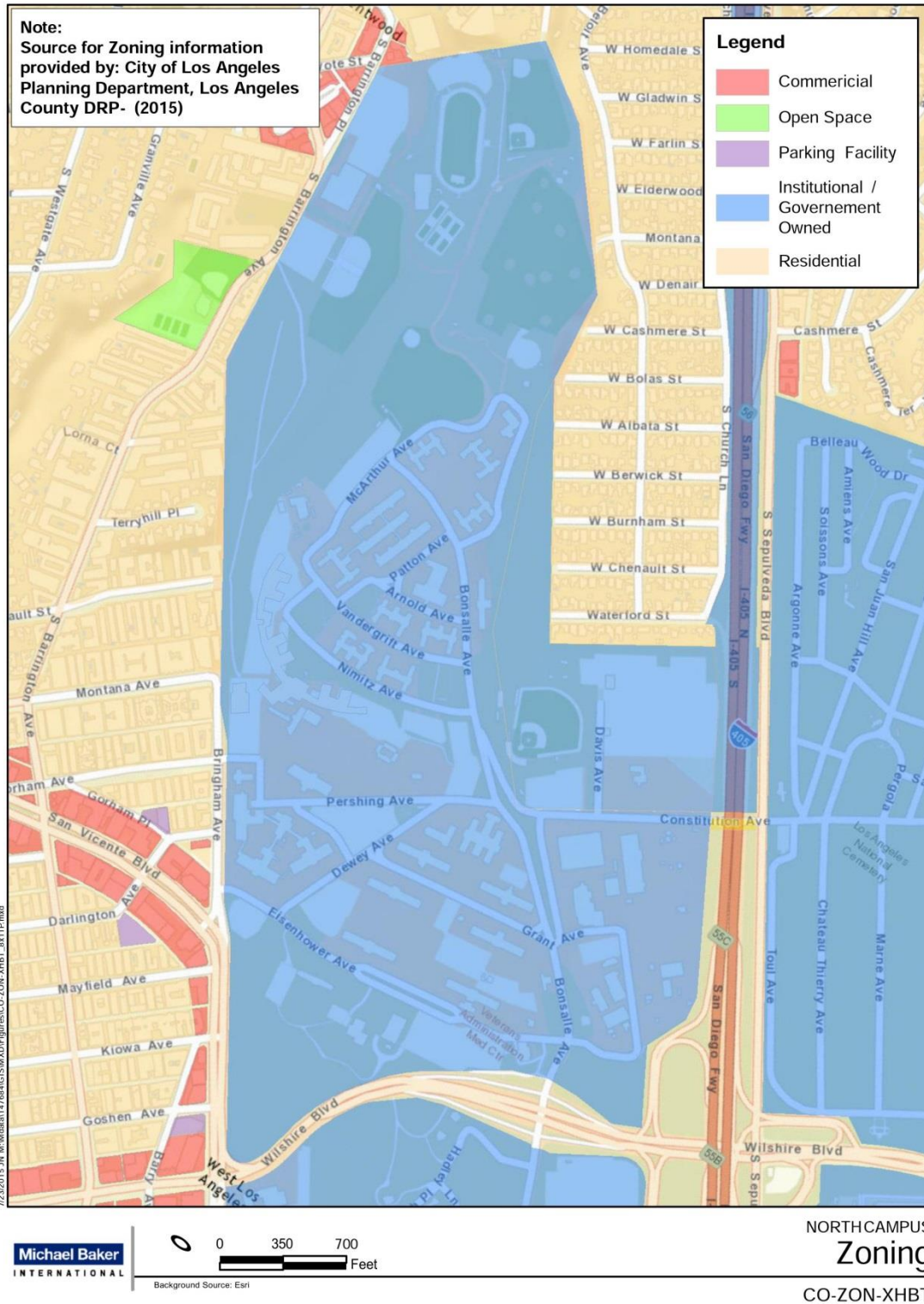
Surrounding Zoning

The north campus is zoned as Institutional/Government Owned.

Aircraft Flight Patterns

The Santa Monica Airport south of the Santa Monica (10) freeway is the closest airport to the north campus. The site is approximately 2 miles north of the Santa Monica Airport. The airport runway is from the east to west direction. Based on the airport runway layout and proximity to the GLA Campus, it does not appear that GLA Campus is in the flight path of the airports arrivals or departures.

Figure B-11: North Campus Zoning



Master Plan Assessment of Sewer, Water, and Storm Drain Systems

The common recommendation for the existing sewer, water and storm drain systems is to document the entire campus with an underground utility survey. Existing record information for the site is extremely limited given the age of each system. Portions of each system were constructed prior to 1930. A complete underground survey should include a report on the water, sewer and storm drain system for the north and south campus. Documentation will be necessary of abandoned buildings that are not in use and determining the domestic water demand for each of the buildings still in use. The report should also provide pipe depths at each access point both in and out of manholes, pipe age and condition, pipe size, material type and mapped horizontal location using the most current aerial topographic map. This information will assist VA over the next several years as it continues to consider site improvement opportunities to expand the services provided at the GLA Campus.

The existing north campus sewer, water and storm drain infrastructure are identified in this section. Exhibits have been prepared and are included for the following utilities based on digital information provided by VA facilities staff:

- Telecommunication
- Steam Lines
- Electrical
- Gas and Oil

This assessment includes high-level inventory and analysis of the campus systems and determining how the proposed north campus Master Plan would generally affect these systems.

Local agencies have been contacted and have provided as-built plans on the adjacent facilities surround VA north campus. These agencies include:

- LA City Public Works Department
- LA County Flood Control District
- Caltrans
- Metro
- LA Department of Water and Power
- Navigate LA GIS website.

Figure B-13: North Campus Electrical

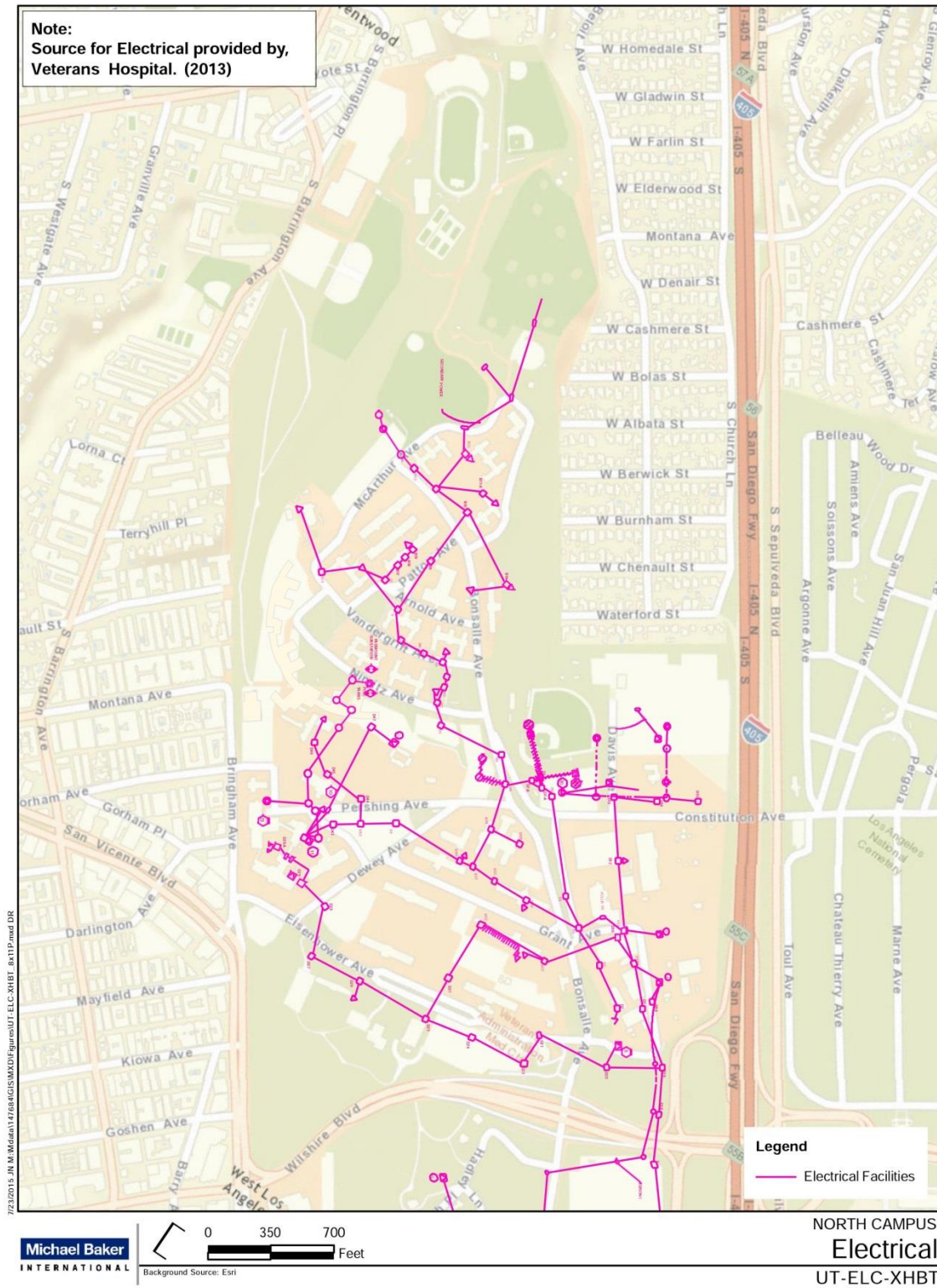
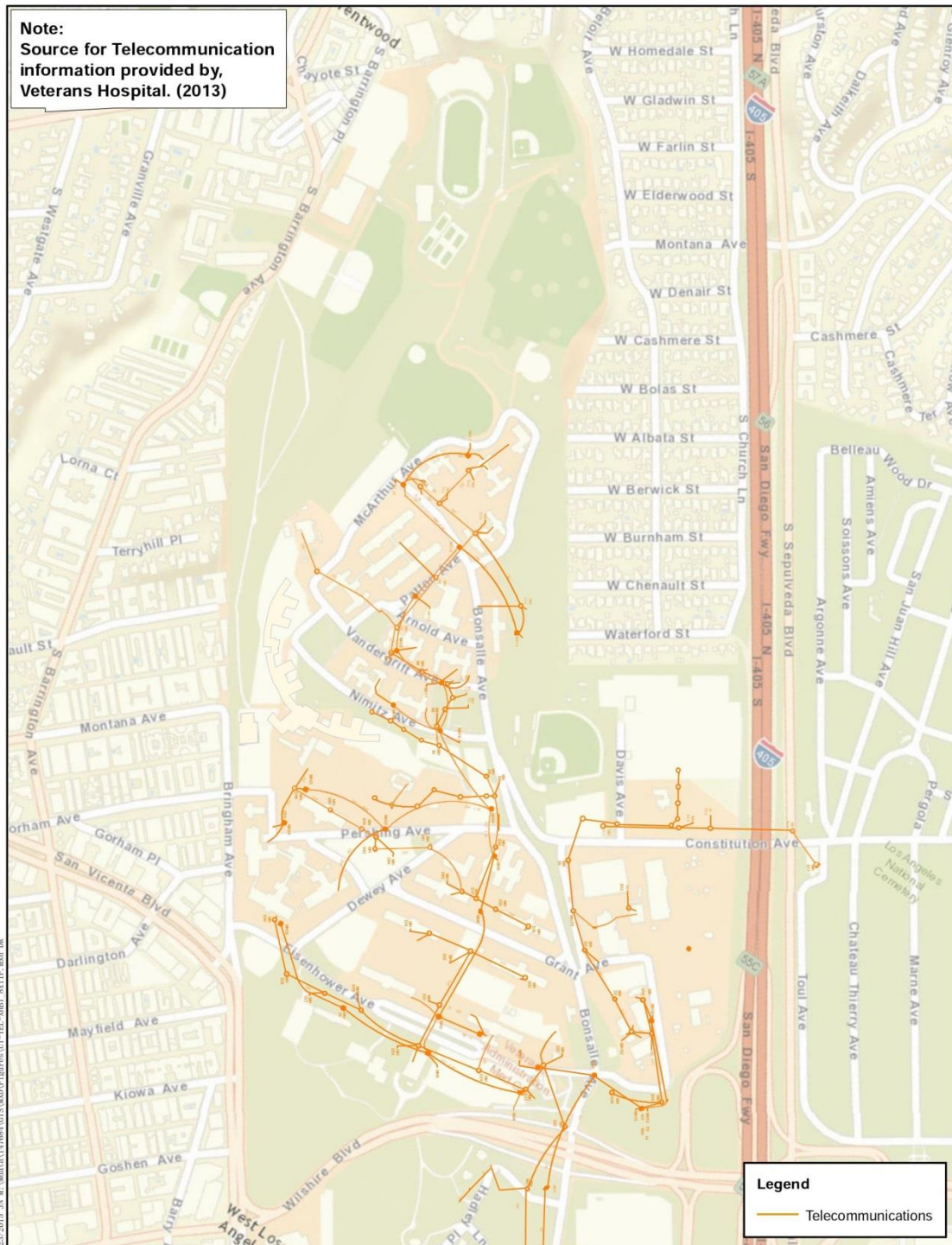


Figure B-14: North Campus Telecommunications

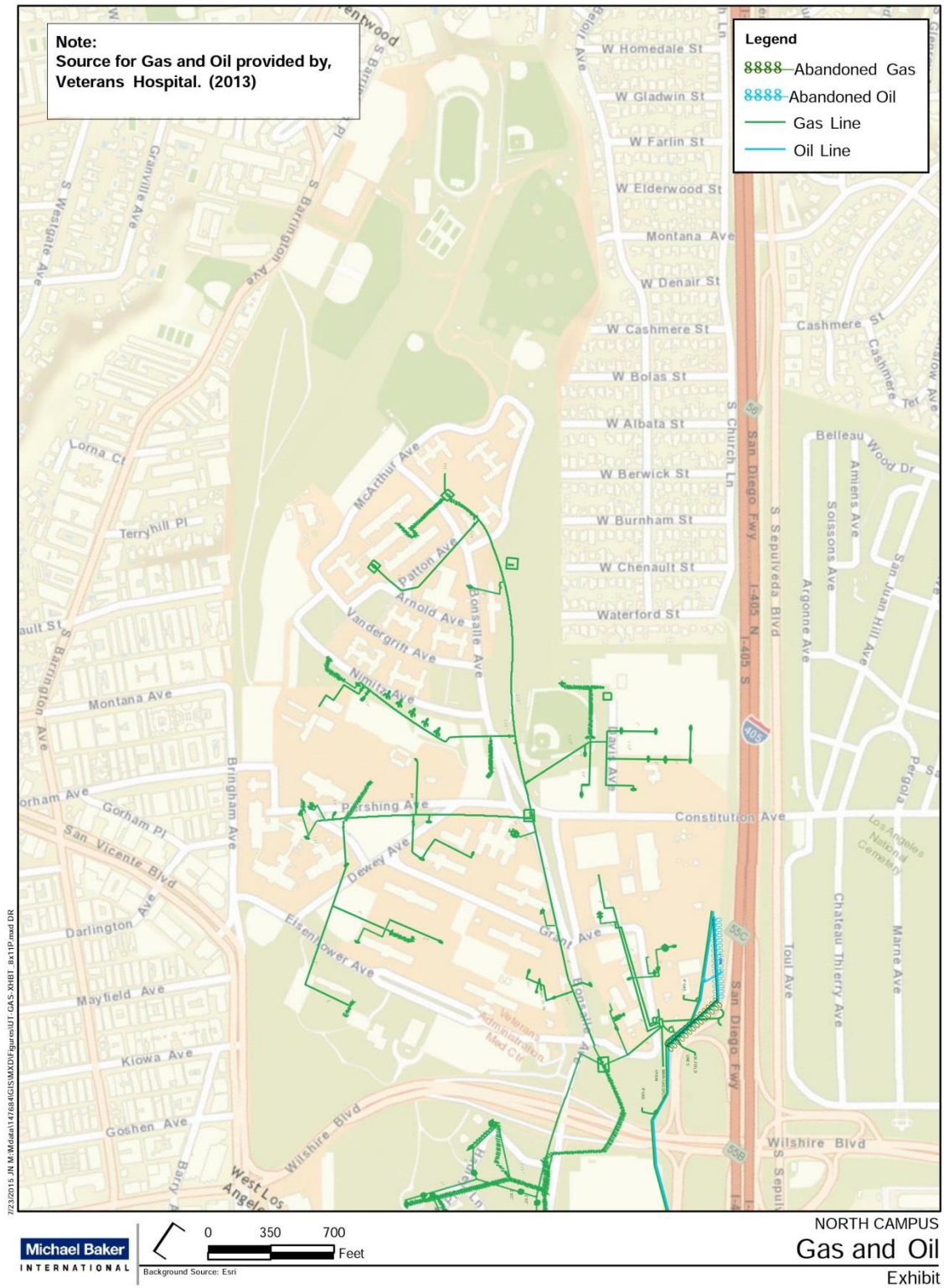


Michael Baker INTERNATIONAL

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NORTH CAMPUS
Telecommunications
UT-TEL-XHBT

Figure B-15: North Campus Gas and Oil



Sanitary Sewer

Findings/Analysis

The existing sanitary sewer for the campus generally flows from north to south and from west to east. There are three main trunk collection sewers that gravity flow through the north campus, cross Wilshire Boulevard and continue to serve the south campus. Ultimately all three sewer main lines connect to the public sewer system at the intersection of Sawtelle Boulevard and Ohio Avenue. According to record drawings, one 8-inch sewer crosses Wilshire Boulevard in the southwest portion of the north campus. Additionally, separate 18-inch and 24-inch sewers cross Wilshire Boulevard at the southeast area near the I-405 freeway. These two sewer mains have recently been relocated to the west as part of the I-405 interchange improvements at Wilshire Boulevard. METRO has provided utility improvement plans for these two locations.

Most of the existing sewer main lines that serve the existing structures were built in the early 1900s. The existing 8" and 12" lines were constructed prior to 1937 (except for the recently relocated portion). Very limited record data is available for most of the existing pipe in the north campus. There are existing abandoned sewer lines in various locations throughout the site. More recent construction has provided some data on the State Facility Veterans Home (a.k.a. Cal Vet) property. This facility does not connect into the campus sewer system. It is served by the public sewer system along the west side of the north campus within Bingham Avenue.

In order to analyze the existing system to determine the capacity, additional record information is needed. This includes sewer depth and slope, pipe sizes and condition of pipe (including approximate age of pipe). In addition, receiving record information regarding what type of maintenance issues have been remedied, including recent clogging and blockages restricting flow in the pipe would be beneficial. It was noted in the 2012 sewer report that there were areas within the campus that had clogged and blockage in the pipe. Some areas were impacted by root intrusion. It is unknown if these issues were corrected and what the limits were of the sewer report.

Sanitary Sewer exhibit on the following page (UT-SWR- XHBT) includes on-site information provided by VA facilities staff. Adjacent information offsite depicted on the exhibit has been provided by the City of LA, Public Works, GIS database.

Conclusion

The existing sanitary sewer for the campus is over 80 years old and in some areas over 95 years old. With the future layout and expansion of the campus, sewer replacement, relocations and upsizing of pipe will be required to accommodate the added growth. Sewer flow monitoring will be needed to confirm existing additional capacity and if the system will need additional main lines or replacement of main lines to serve future growth on the campus.

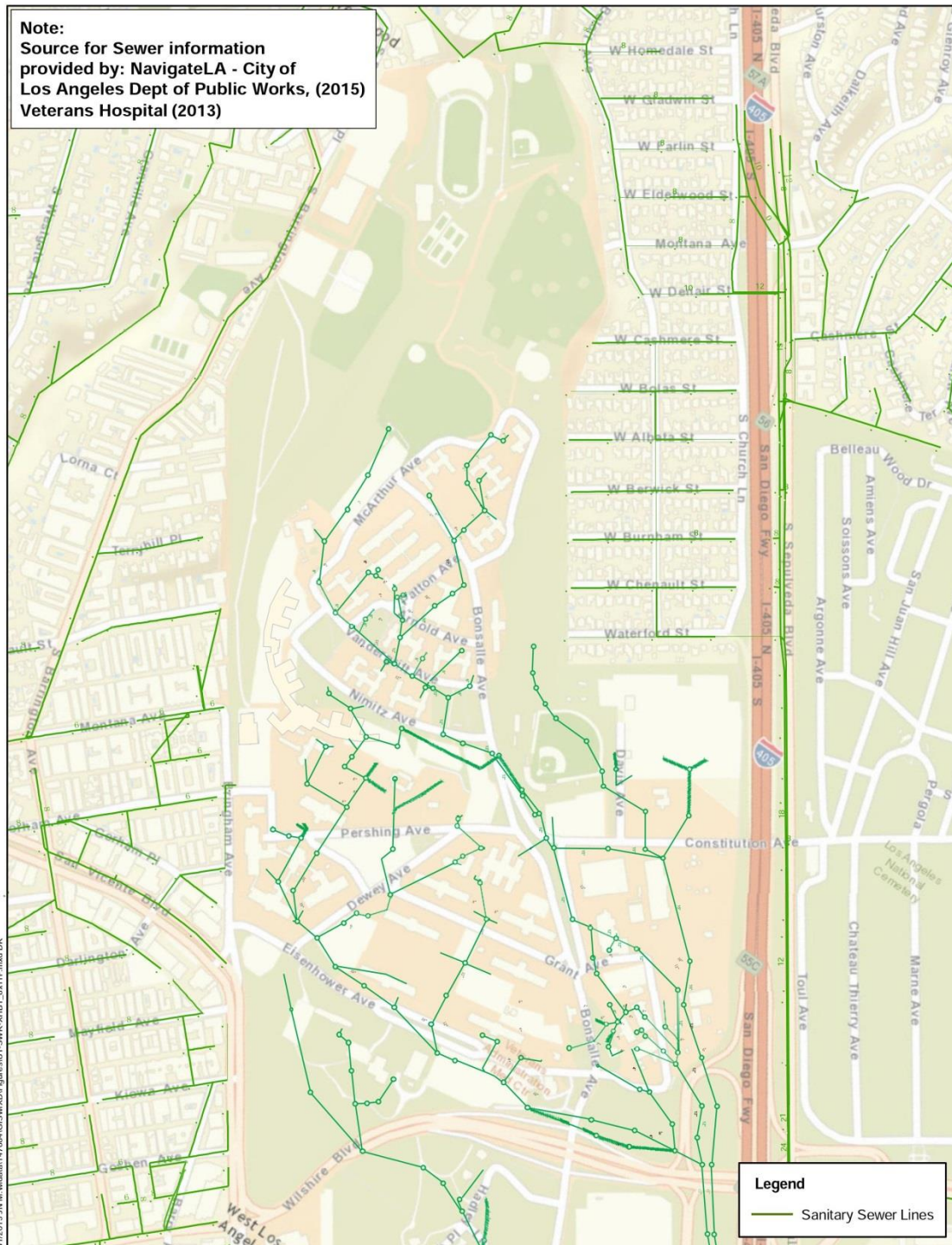
Recommendation

It is recommended that a full underground utility survey be completed for the existing sewer system to correlate existing and future sewer demands. It is recommended that sewer flow monitoring be completed in various locations throughout the site. A 14-day minimum monitoring is recommended at each location. Based on the age of the existing system, it is recommended that new construction in the beginning phases be placed near the south and west portions of the north campus to reduce replacement costs to the

older main lines. It may be feasible to add service connections to the west along Brigham Avenue/San Vicente Boulevard. Further study will need to be completed to determine the feasibility of these service connections to the public system. Existing public system capacity and potential additional demand will need to be determined. For the repurposing of existing buildings in early phases of the Draft Master Plan, the existing adjacent sewer system should be analyzed further (including video) to verify pipe condition.

The need for sewer infrastructure replacement will need to be determined based on future studies. Interim connections to the west into the public system may be possible and then later re-connected into the campus system once later phases are implemented.

Figure B-16: North Campus Sanitary Sewer



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Michael Baker INTERNATIONAL

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Background Source: Esri

Legend
— Sanitary Sewer Lines

NORTH CAMPUS
Sanitary Sewer
UT-SWR-XHBT

Water Service

Findings/Analysis

The existing water system serves GLA Campus via LADWP connections from the north and the south. There is a third connection from San Vicente Boulevard, near Wilshire Boulevard. This seems to indicate that a 'true' circulating system serves the campus demands. According to available record drawings, the north campus makes a service connection to an existing 36-inch LADWP aqueduct that runs in the east-west direction through the site along the northernmost portion of the site. The north service connection fills two VA owned and maintained water storage tanks, which then serve the entire GLA Campus. The water system provides domestic service, fire service to fire hydrants and building sprinkler systems for the existing structures and irrigation service for the north and south campus. As of the 1990s VA cemetery east of the I-405 is on a separate system. According to VA staff, the cemetery now gets its water from a separate service connection.

Further research is needed to determine the existing water demands of the site as well as to obtain recent fire flow tests for campus fire hydrants.

Water Service exhibit (UT-WTR-XHBT) includes on-site information provided by VA facilities staff. Adjacent information off site depicted on the exhibit has been provided by the Los Angeles Department of Water and Power (LADWP).

Conclusion

Future development within the north campus could require the relocation of main lines and upsizing pipe. It is unknown what the current age of the system is or where the system has been replaced, updated and abandoned. Recent fire flow test data will be required to confirm existing capacity of the system.

Recommendation

It is recommended that future construction be placed near the south and west end of the north campus to reduce replacement costs and to provide opportunities for service connections to the west along Bringham Avenue / San Vicente Boulevard. Further study will need to be completed to determine the feasibility of these connections to the public system. Existing public system capacity and potential additional demand will need to be determined. For the repurposing of existing buildings, the existing water system should be inspected to verify pipe condition. According to VA staff, the northern portion of the campus above Buildings 257 and 256 require booster pumps at buildings to increase water pressure. Modification to the existing connection to LADWP may be required or additional pumps/storage tanks may be needed to serve future buildings in this location.

Storm Drain System

Findings/Analysis

The existing storm drain system within the north campus consists of several separate drainage areas. The majority of the site slopes from north to south. The northern portion of the site drains into the existing Arroyo (open channel) and then into an existing 7' x 7' concrete box structure that continues south under Bringham Avenue. Upstream from the Arroyo is an existing 51" pipe that outlets into the Arroyo from the Brentwood school campus site. The middle and southwest portion of the north campus, west of Bonsall Avenue, surface flows toward the southwest corner of Wilshire Boulevard and San Vicente Boulevard. The storm water runoff is collected into various storm drain inlets on-site and conveyed in storm drain pipes across Wilshire Boulevard and continues through the south campus where it then drains into an open channel and into the LA County Flood Control system. The east side of the north campus, east of Bonsall Avenue, generally surface flows to the south east corner of the site near Wilshire and the I-405, it is not clear, based on available record data, where existing storm drain pipes are located. There are existing inlets along Bonsall Avenue and the I-405 south-bound off-ramp that continue south under Wilshire Boulevard and through the south campus. There are also two open channel concrete drainage structures that appear to collect the surface runoff for the east side of the campus. These channels are then also piped under Wilshire through the south campus.

In addition to the 51" outlet pipe from the Brentwood school site, existing storm water runoff comes on-site from the Brentwood Glen Residential Tract northeast of the north campus. There is an existing 21-inch storm drain pipe that collects drainage from the existing residential streets and outlets on-site near Waterford Street.

Storm Drain Exhibit (UT-SD-XHBT) includes on-site information provided by VA facilities staff. Adjacent information off site depicted on the exhibit has been provided by the City of LA, Public Works, GIS database.

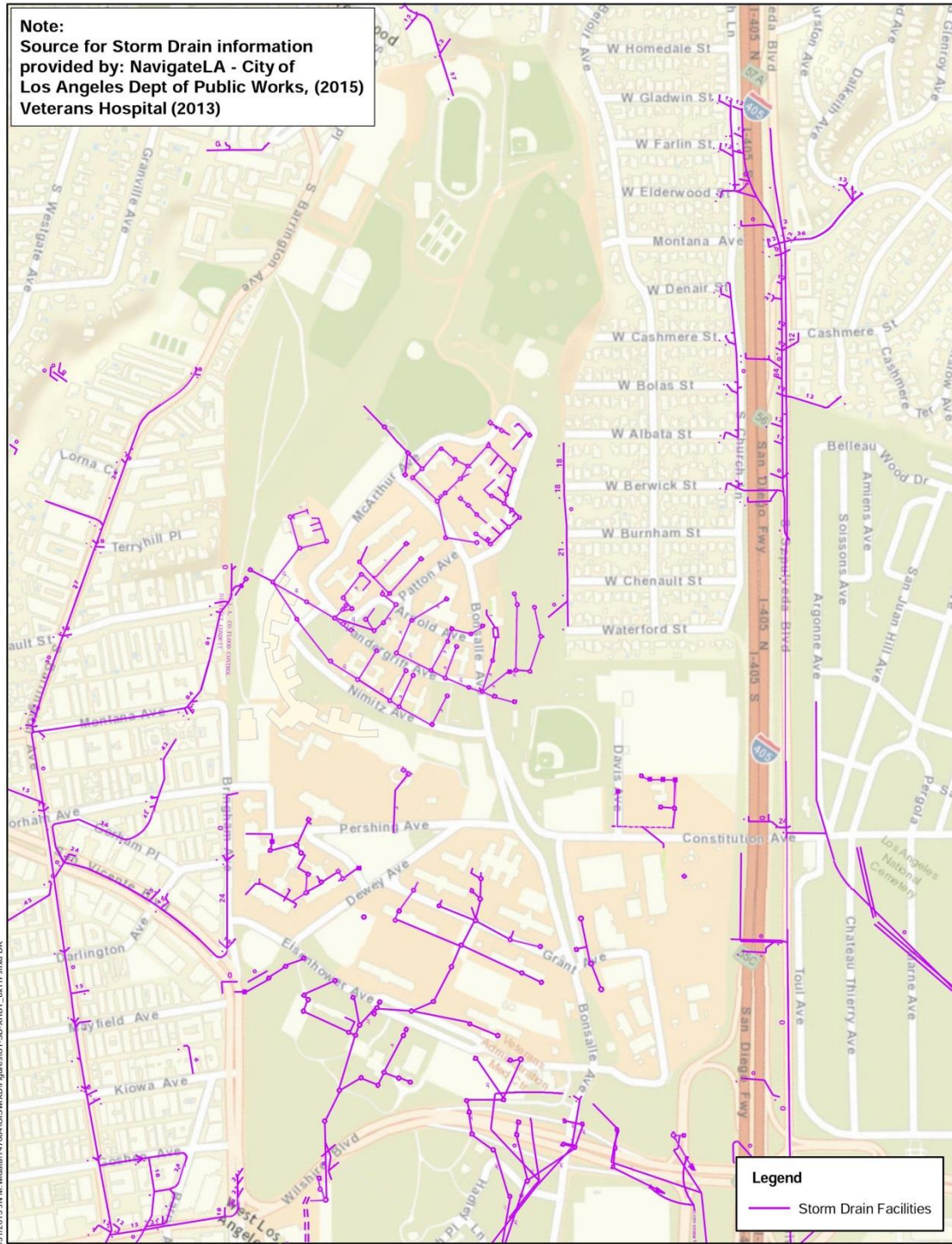
Conclusion

The existing storm drain system for the campus is over 80 years old and in some areas over 95 years old. With the future layout and expansion of the campus, storm drain system improvements (replacement, relocation and upsizing of pipe) will be required to accommodate the new expansion. With the increase in impervious surfaces to the overall site, storm water quality and storm water run-off will need to be studied where future improvements are planned. The age of the existing system is unknown. Conveyance of runoff in the earlier systems (1937 map) appears to have been a combination of sanitary sewer and storm drain but at some point they were separated into separate systems. It is likely that portions of existing storm drain will need to be replaced. It is unknown if there are any issues with the existing storm drain system, storm water run-off or ponding areas during storm events on-site. A preliminary assessment of Water Quality Best Management Practice Options has been included in this scope of work.

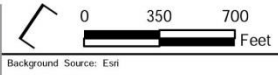
Recommendation

It is recommended that the existing storm drain system be surveyed in predetermined areas where drainage areas will potentially be changing, including impervious areas. Further study will need to be completed to determine the feasibility of future connections (or increase in flow) to the public system. Existing public system capacity and potential additional runoff will need to be determined. For the repurposing of existing buildings, the existing adjacent storm drain system should be inspected (including video) to verify pipe condition, size, depth and slope. It is anticipated that all storm water treatment will occur immediately adjacent to the proposed improvements prior to discharge into a storm drain system or open channel.

Figure B-18: North Campus Storm Drain



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NORTH CAMPUS
Storm Drain
UT-SD-XHBT

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Appendix C. Building Physical Security Requirements & Controlled Access

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Introduction

This narrative summarizes the physical security concepts to be included in the Master Plan, consistent with the requirements of VA Physical Security Design Manual (January 2015). The intent of VA criteria is to minimize injuries, protect critical infrastructure, and limit catastrophic damage to the building structure.

The Physical Security Design Manual (PSDM) generally classifies individual facilities as “Mission Critical” (MC) or “Life-Safety” (LS), based on occupancy and planned program. It identifies applicable physical security requirements to mitigate credible design basis threat (DBT) scenarios. The proposed Draft Master Plan concept proposes a program arrangement that groups VA facilities carrying Mission Critical (MC) and Life-Safety (LS) security designations into respective zones and neighborhoods. The sections that follow recommend variance waivers, in some instances, where strict adherence to the associated physical security criteria may not be feasible, due for example to the constraints of the existing site conditions or other considerations or project objectives.

Building Classification

Based on the 2015 PSDM, examples of Mission Critical facilities include ambulatory care, domiciliary, drug/ alcohol rehabilitation, hazardous material storage, hospital, medical equipment storage, medical gas storage, medical research, mental health inpatient, outpatient clinic, psychiatric care facility, rehabilitation medicine, and rehabilitation and prosthetics.

Based on surveys of current occupancy and function, the following existing north campus buildings incorporate mental health program that is considered to be classified as MC facilities:

- Building 208 (Mental Health/Rehab Medicine)
- Building 214 & 217 (Domiciliary)
- Building 250 (Rehab Medicine)
- Building 259 (Work Therapy)

Additionally, the following existing north campus buildings house medical research and medical storage functions and are considered to carry MC classifications

- Building 113, 114, 115, 117, 210, 212, 220, 256, 258, 337, 340, 342 and 346.

Examples of the Life-Safety Protected facilities include community living centers, community-based outpatient clinics, general administration offices, greenhouses, laundry facilities, maintenance facilities, residential quarters, recreational buildings, temporary buildings, Veterans services buildings, and warehouses. Existing north campus buildings not identified above, as housing MC program, fall under the umbrella of the LS security designation. Existing north campus mental health buildings are generally considered to house outpatient medical services that are assumed to be classified as LS facilities.

Any future individual design and construction projects stemming from the Draft Master Plan are recommended to verify the security classification (MC or LS) of affected new and existing buildings, so that applicable physical security requirements are applied accordingly.

Methodology

The basic philosophy of the PSDM is that successive rings of security or lines of defense are an effective way to protect a facility and mitigate credible explosive threats. The first line of defense, which is the focus of master planning efforts that are currently underway, consists of solutions to control vehicle and pedestrian movement at the campus and building perimeters. The resulting site design integrates impact-rated systems, placed at critical locations, alongside landscaping and other non-rated deterrent systems to control circulation at the building perimeter and enhance operational security efforts. Subsequent layers in the protective design strategy emphasize - engineered solutions to withstand design-basis explosive events; operational security schemes to minimize vulnerabilities inherent to the site and building; and space planning solutions to best isolate occupied and critical spaces from high-risk areas.

The sub-sections that follow discuss minimum physical security requirements pertaining to specific components of the site design. This is followed by a summary of conclusions and recommendations to direct forthcoming development of the north campus Draft Master Plan. The presented “conclusions” are based on a review of existing site plans and observations compiled during a site visit.

Building Standoff

PSDM Requirement

No vehicle shall be parked closer than 50-ft to a MC facility. Unscreened and screened vehicles are not permitted to travel closer than 50-ft and 5-ft, respectively, to a MC facility. In all instances, standoff distance is to be measured from the building exterior to the edge of the curb line at applicable roadways and parking.

No vehicle shall be parked closer than 25-ft to a LS facility. Unscreened and screened vehicles are not permitted to travel closer than 25-ft and 5-ft, respectively, to a LS facility.

Findings / Conclusions

The standoff requirements are consistent with blast industry standard of practice to physically separate occupied and other critical program from high-risk areas. This approach supplants the need for costly structural hardening by providing adequate distance to attenuate extreme loads resulting from an explosion.

General site observations of the existing north campus buildings indicate that some MC and LS facilities do not appear to be setback the required distances from roadways and parking. Buildings not protected by the minimum standoff have a greater exposure to extreme loads resulting from DBT scenarios. Where possible it is recommended to remedy this deficiency and provide a consistent level of protection across all north campus buildings.

Recommendations

Conducting a thorough survey and measurements of standoff distances around all buildings on the campus is recommended. A scaled site plan with the standoffs to each building is recommended for future planning and design phases. It is recommended to consider the following options where individual buildings fail to comply with standoff requirements:

1. Reconfigure internal roadways and parking, where possible, to comply with building standoff requirements.

2. Submit a request for review and approval by VA to waive the setback requirement on a building-by- building basis where a practical site solution does not exist to achieve the required setback.

The latter option is recommended to include proposed design of the building envelope and critical structural system components to withstand a higher blast load requirement than would otherwise be required. The intent of the building envelope design is to provide a comparable level of protection for the facilities when standoff requirements are not met.

Perimeter Fences

PSDM Requirement

The PSDM criteria for MC and LS facilities requires the establishment of a site perimeter barrier consisting of fences, walls and gates as needed for access. The perimeter barrier is to be contiguous around the campus within which the facility is located. The barriers shall resist forced or surreptitious entry using hand tools and shall be located as close to the property line as possible. Chain link fences and gates shall not be used. Walls can be of reinforced masonry or concrete construction. Access gates do not have to be anti-ram rated and shall be located to direct pedestrians and vehicles in ways that enhance the operational environment of the security force.

The same requirements are applicable to sites that house only LS facilities.

Findings / Conclusions

The establishment of a continuous protected perimeter is consistent with VA objectives to manage vehicle and pedestrian circulation and direct staff, patients, and visitors to designated entry points where security monitoring and/or screening can occur. The prescriptive construction noted in the PSDM is intended to deter, rather than prevent, unauthorized access to the site and complement operational security efforts to monitor the campus.

The north campus does not have a continuous perimeter barrier compliant with the PSDM. Existing perimeter fences along a limited extent of the campus perimeter (bordering Wilshire Boulevard) consist of heavy-grade metal construction and can be considered compliant with VA security criteria. Remaining perimeter fences, if they exist, are chain link fences.

Recommendations

It is recommended to replace/upgrade the campus perimeter to incorporate perimeter fences, walls, and gates that are compliant with the PSDM requirements. If installation of campus perimeter will segregate the Veteran community and prevent the establishment of an open campus environment, it is recommended to submit a variance waiver to VA to consider alternative requirements.

Site Entry / Exit Points (Vehicle & Pedestrian Screening)

PSDM Requirement

Sites with MC facilities are required to incorporate enclosed guard houses for guard personnel, gate operation, and vehicle inspection at all pedestrian and vehicle entrances

to the campus.

No requirement is applicable to a site that houses only LS facilities.

Findings / Conclusions

The PSDM requirements are intended to support operational security protocol focused on creating a safe and secure campus for staff and Veterans and are generally considered to be an extension of perimeter fence requirements. The presence of MC buildings is understood to elevate the asset value of the site and trigger the need for enhanced operational security capabilities to limit site access.

The presence of MC buildings within the north campus triggers design enhancements to construct guard booths at points of vehicle and pedestrian site access, which are currently not provided

Recommendations

The configuration of site entry/exit points must balance security needs against other campus-wide objectives related to vehicle and pedestrian traffic circulation. The following options are proposed to meet the intent of the PSDM:

1. Submit a waiver for approval by VA to comply with applicable LS requirements despite the presence of MC facilities at the north campus. This approach imposes less stringent requirements and is considered to be consistent with the determination of most north campus building to be classified as LS.
2. Upgrade the existing points of vehicle and pedestrian access at the north campus perimeter to comply with MC requirements. This is likely to be the most costly design strategy but provides the greatest opportunity to maintain existing north campus MC facilities and potentially construct new buildings with MC program.
3. Assess the configuration of existing points of entry at the south campus relative to MC requirements. Preliminary site observations indicate that a main gate is provided but remains open on a day-to-day basis. This provides the opportunity to regulate site access during periods with an elevated security risk. However, no guard booths or other infrastructure is provided to control access and screen vehicles and pedestrians.

Anti-Ram Rated Vehicle Barriers

PSDM Requirement

The protected campus perimeter and interior roadways are to incorporate active and passive barriers to deter vehicle encroachment at the site and building perimeters. Barriers are to be rated to resist the impact of a 4000-lb vehicle traveling at 30 mph and provide a maximum penetration distance of 3.3 feet. PSDM criteria applicable to MC facilities requires active barriers, such as retractable bollards to be provided at the following locations:

- Access points (internal roadways) that permit vehicles within the 50-ft standoff zone around the building.
- Vehicle entrances to the site that where the 50-ft standoff zone coincides with that site perimeter fence.

PSDM criteria applicable to both MC and LS facilities require passive barriers to be natural or

manmade systems, such as bollards and walls. Passive barriers are required to be provided at the following locations:

- Portions of the perimeter fence where there is a perpendicular roadways length equal to or greater than 200-ft, on which a vehicle can achieve a high approach speed
- Externally located site utility equipment
- Building entrances
- Vehicle or ambulance drop-offs
- Cafeterias and gathering areas
- Other areas requiring additional protection from vehicles

Findings / Conclusions

The existing site and building perimeters generally do not incorporate required anti-ram protection for MC and LS facilities.

Recommendations

It is recommended to develop north campus Master Plans to include passive barriers systems at critical locations at a minimum. This recommendation is independent of the security designation for facilities within the north campus. Placement of anti-ram barriers is recommended to focus on exterior locations where bystanders are most vulnerable to accidental or intentional vehicle ramming such as building entrances and areas of outdoor public congregation.

The following options are proposed to address active barrier requirements that may be applicable to the north campus:

1. Submit a waiver for approval by VA to comply with applicable LS requirements despite the presence of MC facilities at the north campus.
2. Upgrade the north campus as needed to comply with active barrier requirements that are triggered by the presence of MC facilities.

Parking

PSDM Requirement

Surface/above-ground vehicle parking for passenger vehicles is to be located at least 50-ft and 25-ft from MC and LS buildings, respectively. Existing parking within these standoff distances shall be eliminated where possible. Where existing surface parking must remain, the affected building must be hardened to achieve the applicable comparable performance requirements (MC or LS) for the corresponding increase in blast loads. Similar requirements apply to parking structures located on or off site. Emergency vehicles are permitted to approach the building directly and not subjected to the standoff requirements.

Findings / Conclusions

At some on-site locations, existing parking encroaches on the standoff zone around MC and LS buildings. VA plans to review parameters to apply parking restrictions as appropriate, to ensure proper standoffs are implemented for campus facilities.

VA encourages parking below an existing MC facility to be eliminated. Where parking must remain, it must be restricted by requiring all vehicles to be screened. This operational measure

is required to be complemented by hardening of structural elements within the garage. The PSDM prohibits below-building parking for new facilities regardless of security designation (MC or LS).

Recommendations

It is recommended to reconfigure parking where possible to comply with security requirements. However, master planning efforts have indicated that it may not be possible to provide the required parking to service the north campus population and meet all applicable PSDM requirements. Based on the specific scheme pursued, it may be necessary for VA to consider variances to authorize deviations from the PSDM requirements as appropriate.

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Appendix D. Historic Preservation

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West Los Angeles VA Historic District

In operation on the site since 1888, the West Los Angeles VA campus reflects the stories, service, and sacrifices of many generations of Veterans of the United States Armed Forces. In honor and recognition of this history, the National Park Service included the West Los Angeles VA Historic District on the National Register of Historic Places (NRHP) in 2014 for its contribution to the “development of a national policy for Veteran health care”¹ and as a “tangible manifestation of the federal government’s commitment to the health care of Veterans of World War I, which resulted in the nation’s largest network of hospitals.”² The historic district was also found significant for the quality of its Mission Revival architectural style, which reflected both the national taste for reviving Colonial-era styles and a local desire for reflecting local history and context in architecture.

Spanning nearly 400 acres, the designated West Los Angeles VA Historic District includes 66 contributing buildings and structures, as well as site plan and landscape features and streetscapes, extending over four discontinuous areas of the campus. The boundaries of the historic district and its contributing resources are shown in Figure D-1; Figure D-2 shows the key subareas within the district, reflecting the historic pattern of use.



North Campus, Subarea 3, Research, view north (VA Archives, circa 1984). Photo illustrates the unified design of the site plan and streetscape.



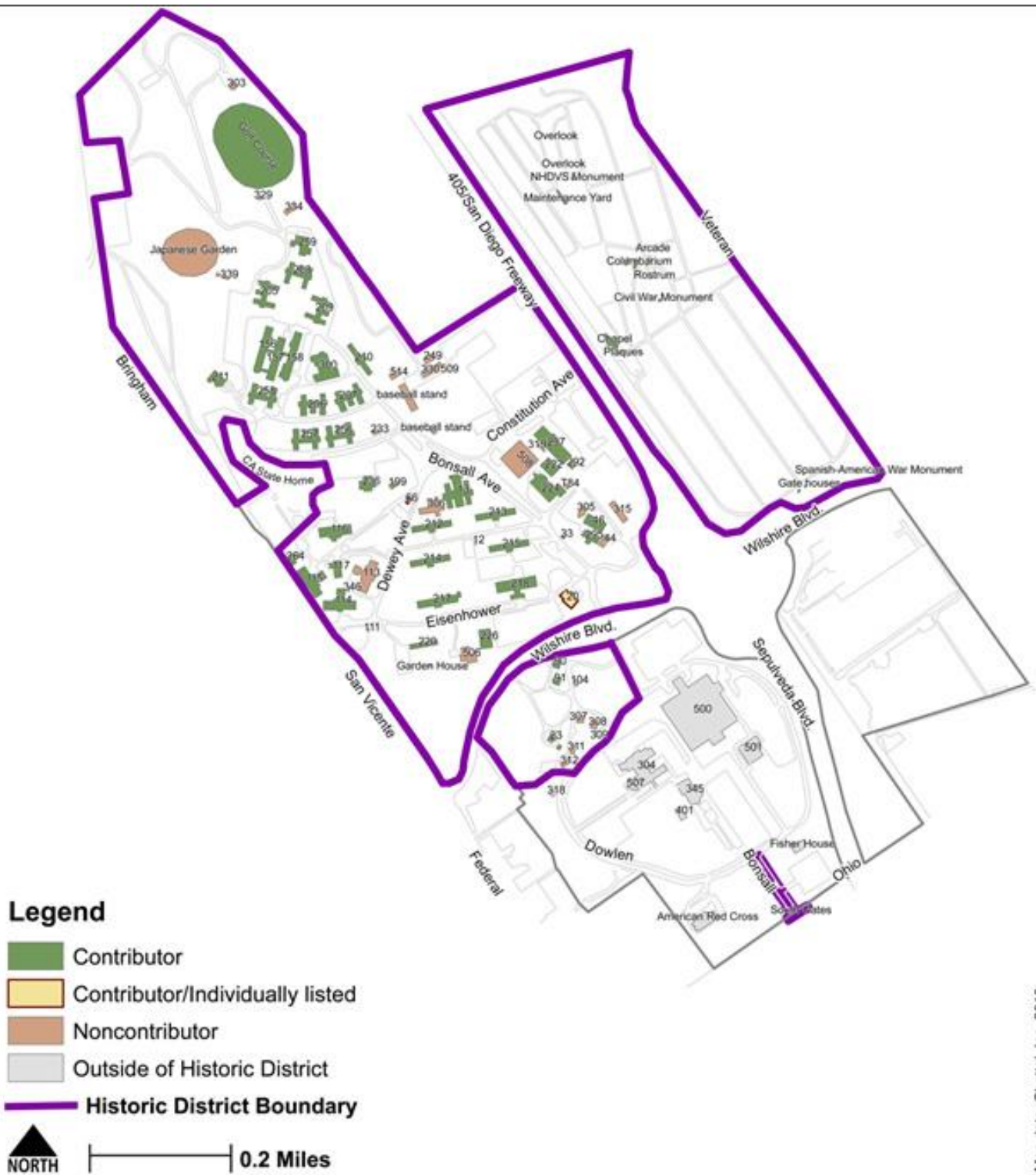
North Campus, Subarea 3: Research, Building 114, view northeast (VA Archives, nd).

¹Suzanne Julin, “National Home for Disabled Volunteer Soldiers: Assessment of Significance and National Historic Landmark Recommendations.”

²Trent Spurlock, Craig A. Potts, Karen E. Hudson, “United States Second Generation Veterans Hospitals,” National Register of Historic Places Multiple Property Documentation Form, prepared for the United States Department of Veteran Affairs, September 3, 2010, E1.

Figure D- 1: Contributing and non-contributing properties.

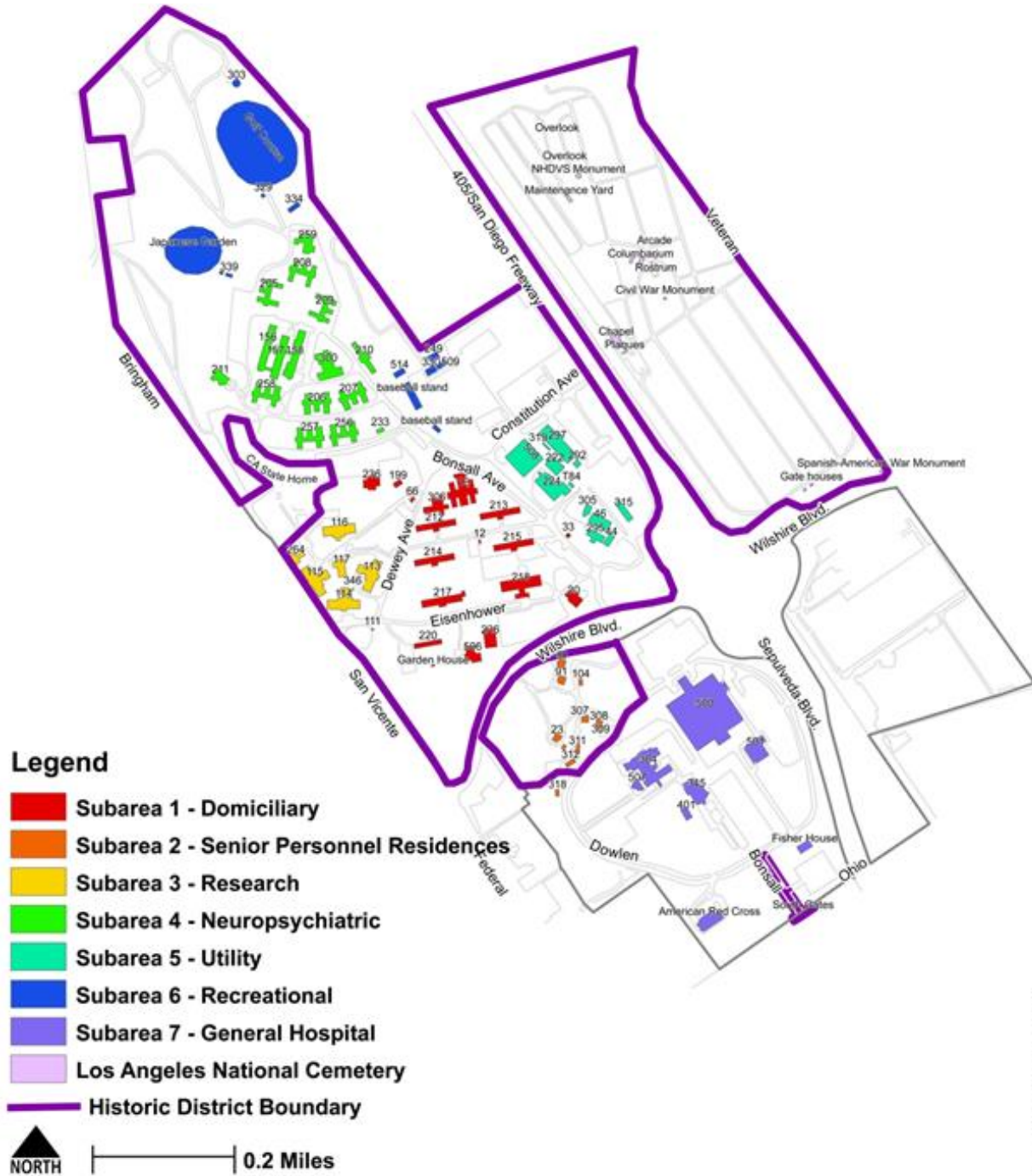
Source: National Register of Historic Places Nomination Form, November 2014.



VA WLA Campus breaks down into two principal parts, separated into north and south by Wilshire Boulevard. Within these parts, the campus further breaks down into 7 distinct subareas.

Figure D- 2: Campus Subareas

Source: National Register of Historic Places Nomination Form, November 2014.



Among the overarching features of the Draft Master Plan, those relating most closely to historic preservation issues and the National Register-listed historic district include: (1) relocating two contributing buildings to nearby sites, in a similar site design/ configuration; (2) demolishing one contributing building; (3) retaining a majority of the historic resources on the north campus and reusing them; (4) revitalizing the campus, better integrating/connecting its neighborhoods and amenities, and building upon the existing neighborhood character and scale in order to form a cohesive, welcoming environment; (5) creating zones of uses, with the north campus primarily accommodating residential uses and other uses being relocated to the south campus; (6) increasing residential density as one progresses from the northern areas (Subarea 4) to south (Subarea 1); this strategy reflects the types of housing and care planned for the sites and is tailored to the needs of the Veterans; (7) incorporating outdoor recreational areas throughout the site, to better capitalize on opportunities for indoor- outdoor integration; and (8) incorporating a landscaped “Greenway” throughout the campus, which relates to and links the existing buildings, new buildings and facilities, historic landscapes, and natural topography.

The West Los Angeles VA Historic District boasts a rich history, extending back to the late 19th century. The district was found eligible and designated under National Register Criterion A for its association with the Second Generation Veterans Hospital era and, in the case of the LA National Cemetery, NE area, for its association with the development of national cemeteries. The district is also eligible under National Register Criterion C, for its cohesive grouping of Mission/Colonial Revival Style architecture. In addition, the campus includes significant buildings and features reflecting the earliest era identified in the historic context statement for VA facilities nationwide, the National Home of Disabled Volunteer Soldiers. Although constructed in phases over time, the campus exhibits a unified site plan, with contributing resources including not only buildings but also site plan features, circulation paths and roads, and landscaping features.

In total, the West Los Angeles VA Historic District consists of:

- 66 “Contributing” or significant features, include 55 buildings, 3 sites, 1 structure, 7 objects, and
- 44 “Noncontributing” or ineligible features, including 37 buildings, 1 site, 6 structures



North Campus, Subarea 1: Building 226 (Wadsworth Theater), constructed 1940, north elevation



North Campus, Subarea 1: Bldg. 66, News Stand (Streetcar Depot), constructed 1890.

Contributors to the historic district are listed in tabular form in Section 4. Two contributors are also individually listed on the National Register: Building 20, Chapel, and Building 66, News Stand (Streetcar Depot). The following provides the numbers of contributors and noncontributors located in each of the three areas of campus.

Northeast Campus

- LA National Cemetery (all features are contributing)

**Reference “Figure D-3 Detail, Northeast Campus, Los Angeles National Cemetery”*

North Campus Subarea 1 (Residential)

- Contributors: 16 resources, plus site plan/ landscaping features
- Noncontributors: 4 resources

Subarea 3 (Research)

- Contributors: 5 resources, plus site plan/ landscaping features
- Noncontributors: 3 resources

Subarea 4 (Neuropsych.) (also called Brentwood Hospital)

- Contributors: 15 resources, plus site plan/ landscaping features
- Noncontributors: 3 resources

Subarea 5 – Utility

- Contributors: 6 resources, plus site plan/ landscaping features
- Noncontributors: 12 resources

Subarea 6 – Recreation

- Contributors: 1 resource/feature (golf course)
- Noncontributors: 15 resources

**Reference “Figure D-4 Detail, North Campus, Subareas 1 through 6”*

South Campus

Subarea 2 - Staff Residences

- Contributors: 4 properties, plus site plan/ landscaping features
- Noncontributors: 8 properties

Subarea 7 - General Hospital

- Contributors: South Gate feature and landscape/ site plan features
- Noncontributors: Remainder of built features are noncontributing

**Reference “Figure D-5 Detail, South Campus, Subareas 2 and 7”*

Figure D-3: Detail, Northeast Campus, Los Angeles National Cemetery

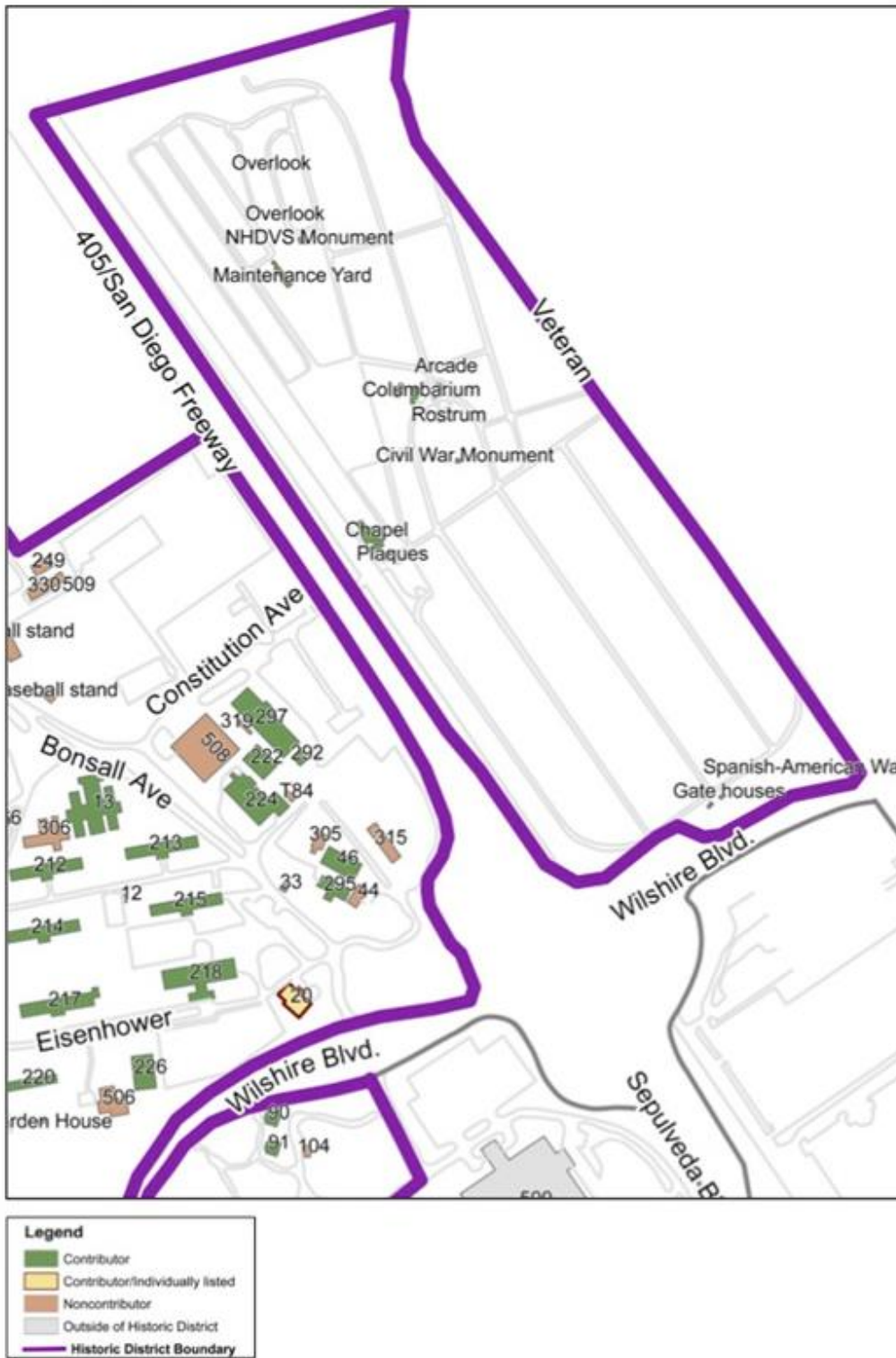


Figure D- 6: Resource List, West Los Angeles VA Historic District

| Contributing and Noncontributing Resources | | | | | |
|--|-----------|-------------------------------------|---|--|----------------------------------|
| West Los Angeles Veterans Affairs Historic District, National Register | | | | | |
| Subarea, Zone, and Campus Area (N, S, NE) | Bldg. No. | Date of Construction (Year Altered) | Contributing (C); Non-contributing (NC) | Bldg. Name/Function (Historic Name/Function) | Square Footage, Number of floors |
| Subarea 1 (Residential), N | 13 | 1929 | C | Storage (Mess Hall) | 52,604 s.f. 1 floor |
| Subarea 1 (Residential), N | 33 | 1893 (1995) | C | Quarters | 1,200 s.f. 1 floor |
| Subarea 1 (Residential), N | 111 | 1936 | C | Gate House (West Gate) | 144 s.f. 1 floor |
| Subarea 1 (Residential), N | 199 | 1932 | C | Vacant (Hoover Barracks) | 3,600 s.f. 2 floors |
| Subarea 1 (Residential), N | 212 | 1938 | C | Salvation Army/Prosthetics (Hospital) | 62,560 s.f. 4 floors |
| Subarea 1 (Residential), N | 213 | 1938 (1989) | C | NHCU Pod & Dialysis (Hospital) | 62,560 s.f. 4 floors |
| Subarea 1 (Residential), N | 214 | 1938 (1990) | C | Domiciliary (Hospital) | 53,000 s.f. 4 floors |
| Subarea 1 (Residential), N | 215 | 1938 (1985) | C | NHCU (Hospital) | 53,000 s.f. 4 floors |
| Subarea 1 (Residential), N | 217 | 1941 (1990) | C | Domiciliary | 58,608 s.f. 4 floors |
| Subarea 1 (Residential), N | 218 | 1941 | C | Administration Building | 75,120 s.f. 4 floors |
| Subarea 1 (Residential), N | 220 | 1939 | C | Dental/Research (Female Domiciliary) | 29,875 s.f. 4 floors |

| Contributing and Noncontributing Resources | | | | | |
|--|-----------|-------------------------------------|---|--|----------------------------------|
| West Los Angeles Veterans Affairs Historic District, National Register | | | | | |
| Subarea, Zone, and Campus Area (N, S, NE) | Bldg. No. | Date of Construction (Year Altered) | Contributing (C); Non-contributing (NC) | Bldg. Name/Function (Historic Name/Function) | Square Footage, Number of floors |
| Subarea 1 (Residential), N | 226 | 1940 | C | Outleased – Wadsworth Theater | 20,875 s.f. 1 floor |
| NW, Subarea 1 (Residential), | 236 | 1945 | C | Police HQ | 7,108 s.f. 1 floor |
| Subarea 1 (Residential), N | n/a | 1947 | C | Garden House (Memorial to Women Veterans) | |
| Subarea 1 (Residential), N | 20 | 1900 | C / Individually listed | Chapel (Catholic and Protestant Chapel) | 8,758 s.f. 1 floor |
| Subarea 1 (Residential), N | 66 | 1890 | C / Individually listed | News Stand (Streetcar Depot) | 600 s.f. 1 floor |
| Subarea 1 (Residential), N | 12 | 1989 | NC | Emergency Generator | |
| Subarea 1 (Residential), N | 301 | 1951 | NC | AFGE Union | 2,649 s.f. 2 floors |
| Subarea 1 (Residential), N | 306 | 1957 | NC | Cafeteria/Post Office | 14,281 s.f. 2 floors |
| Subarea 1 (Residential), N | 506 | c. 1985 | NC | VA District Council | 9,320 s.f. 1 floor |
| Subarea 3 (Research), N | 114 | 1930 | C | Research Lab (Research Lab Annex, Barracks) | 69,921 s.f. 4 floors |
| Subarea 3 (Research), N | 115 | 1930 | C | Research Lab (Research Lab Annex, Barracks) | 60,314 s.f. 3 floors |

| Contributing and Noncontributing Resources | | | | | |
|--|-----------|-------------------------------------|---|--|----------------------------------|
| West Los Angeles Veterans Affairs Historic District, National Register | | | | | |
| Subarea, Zone, and Campus Area (N, S, NE) | Bldg. No. | Date of Construction (Year Altered) | Contributing (C); Non-contributing (NC) | Bldg. Name/Function (Historic Name/Function) | Square Footage, Number of floors |
| Subarea 3 (Research), N | 116 | 1930 (1997) | C | Outleased – New Directions (Barracks) | 60,309 s.f. 3 floors |
| Subarea 3 (Research), N | 117 | 1930 | C | Research Lab (Mortuary) | 20,873 s.f. 2 floors |
| Subarea 3 (Research), N | 264 | 1944 | C | FBI (Annex Theater) | 10,080 s.f. 2 floors |
| Subarea 3 (Research), N | 113 | 1930 (c. 1995) | NC | Animal Research (G.M. Annex, Barracks) | 60,000 s.f. 4 floors |
| Subarea 3 (Research), N | 340 | 1959 | NC | Human Radiation Lab | 362 s.f. 1 floor |
| Subarea 4 (Neuropsych), N | 346 | 1970 | NC | Storage Waste | 100 s.f. 1 floor |
| Subarea 4 (Neuropsych), N | 156 | 1923 | C | Vacant (Hospital Building) | 60,000 s.f. 3 floors |
| Subarea 4 (Neuropsych), N | 157 | 1923 | C | Vacant (Hospital Building) | 60,000 s.f. 3 floors |
| Subarea 4 (Neuropsych), N | 158 | 1923 | C | Vacant (Evaluations/Admissions/Clinic) | 55,886 s.f. 3 floors |
| Subarea 4 (Neuropsych), N | 205 | 1937 | C | Mental Outpatient Psychiatry (Hospital Building) | 53,047 s.f. 3 floors |
| Subarea 4 (Neuropsych), N | 206 | 1940 | C | Mental Health Homeless (Hospital Building) | 47,099 s.f. 3 floors |

| Contributing and Noncontributing Resources | | | | | |
|--|-----------|-------------------------------------|---|---|----------------------------------|
| West Los Angeles Veterans Affairs Historic District, National Register | | | | | |
| Subarea, Zone, and Campus Area (N, S, NE) | Bldg. No. | Date of Construction (Year Altered) | Contributing (C); Non-contributing (NC) | Bldg. Name/Function (Historic Name/Function) | Square Footage, Number of floors |
| Subarea 4 (Neuropsych), N | 207 | 1940 | C | Outleased – Salvation Army (Hospital Building) | 47,015 s.f. 3 floors |
| Subarea 4 (Neuropsych), N | 208 | 1945 | C | Health/Voc Rehab Medicine (Hospital) | 47,265 s.f. 3 floors |
| Subarea 4 (Neuropsych), N | 209 | 1945 | C | Housing (original use, Hospital and Canteen) | 46,708 s.f. 3 floors |
| Subarea 4 (Neuropsych), N | 210 | 1945 | C | Research/MIREC (Hospital Building) (Women's Ward) | 39,677 s.f. 3 floors |
| Subarea 4 (Neuropsych), N | 211 | 1946 | C | Theater (Brentwood) | 11,490 s.f. 1 floor |
| Subarea 4 (Neuropsych), N | 256 | 1946 | C | Day Treatment Center Mental Health | 47,675 s.f. 3 floors |
| Subarea 4 (Neuropsych), N | 257 | 1946 | C | Mental Health/New Directions/Metha | 57,386 s.f. 3 floors |
| Subarea 4 (Neuropsych), N | 258 | 1946 | C | Administration/Mental Health | 65,576 s.f. 4 floors |
| Subarea 4 (Neuropsych), N | 259 | 1945 | C | Com Work Therapy | 8,685 s.f. 1 floor |
| Subarea 4 (Neuropsych), N | 300 | 1952 | C | Dietetics (Mess Hall) | 68,824 s.f. 3 floors |
| Subarea 4 (Neuropsych), N | 233 | c. 1960s | NC | HAZMAT Building | 840 s.f. 1 floor |

| Contributing and Noncontributing Resources | | | | | |
|--|-----------|-------------------------------------|---|--|----------------------------------|
| West Los Angeles Veterans Affairs Historic District, National Register | | | | | |
| Subarea, Zone, and Campus Area (N, S, NE) | Bldg. No. | Date of Construction (Year Altered) | Contributing (C); Non-contributing (NC) | Bldg. Name/Function (Historic Name/Function) | Square Footage, Number of floors |
| Subarea 5 (Utility), Nd | 46 | 1922 | C | Engineering Shop | 11,034 s.f. 1 floor |
| Subarea 5 (Utility), N | 222 | 1938 | C | Mail Out Pharmacy | 23,225 s.f. 3 floors |
| Subarea 5 (Utility), N | 224 | 1946 | C | Outleased – Laundry | 29,257 s.f. 1 floor |
| Subarea 5 – Utility | 292 | 1946 | C | Water Treatment Plant | 864 s.f. 1 floor |
| Subarea 5 (Utility), N | 295 | 1947 | C | Steam Plant | 5,720 s.f. 1 floor |
| Subarea 5 (Utility), N | 297 | 1948 | C | Supply Warehouse | 32,700 s.f. 1 floor |
| Subarea 5 (Utility), N | 44 | 1897 (2001) | NC | Engineering Shop | 12,809 s.f. 1 floor |
| Subarea 5 (Utility), N | 63 | 1959 | NC | Engineering M&O (Maintenance & Operation) | 720 s.f. 1 floor |
| Subarea 5 (Utility), N | 83 | 1958 | NC | Welding Shop | 1,300s.f. 1 floor |
| Subarea 5 (Utility), N | 299 | c. 1940s | NC | Switchgear | |
| Subarea 5 (Utility), N | 305 | 1955 | NC | Transportation | 1,920 s.f. 1 floor |

| Contributing and Noncontributing Resources | | | | | |
|--|-----------|-------------------------------------|---|--|----------------------------------|
| West Los Angeles Veterans Affairs Historic District, National Register | | | | | |
| Subarea, Zone, and Campus Area (N, S, NE) | Bldg. No. | Date of Construction (Year Altered) | Contributing (C); Non-contributing (NC) | Bldg. Name/Function (Historic Name/Function) | Square Footage, Number of floors |
| Subarea 5 (Utility), N | 315 | 1948 (continuous) | NC | GSA Motor Pool | 3,600 s.f. 1 floor |
| Subarea 5 (Utility), N | 319 | 1956 | NC | Supply Storage | 800 s.f. 1 floor |
| Subarea 5 (Utility), N | 508 | 1998 | NC | Laundry | 45,000 s.f. 1 floor |
| Subarea 5 (Utility), N | 509 | 1999 | NC | Recycling Center | 3,750 s.f. 1 floor |
| Subarea 5 (Utility), N | 510 | 2002 | NC | Transportation | 4,782 s.f. 1 floor |
| Subarea 5 (Utility), N | 511 | 2003 | NC | Storage | 9,638 s.f. 1 floor |
| Subarea 5 (Utility), N | T-84 | 1967 | NC | Laundry Annex | 1,580 s.f. 1 floor |
| Subarea 6 (Recreational), N | n/a | 1946 | C | Golf Course | |
| Subarea 6 (Recreational), N | 249 | c. 1940s | NC | Greenhouse | 2,800 s.f. 1 floor |
| Subarea 6 (Recreational), N | 303 | 1940 | NC | Water Tank | |
| Subarea 6 (Recreational), N | 319 | 1956 | NC | Supply Storage | 800 s.f. 1 floor |

| Contributing and Noncontributing Resources | | | | | |
|--|-----------|-------------------------------------|---|--|----------------------------------|
| West Los Angeles Veterans Affairs Historic District, National Register | | | | | |
| Subarea, Zone, and Campus Area (N, S, NE) | Bldg. No. | Date of Construction (Year Altered) | Contributing (C); Non-contributing (NC) | Bldg. Name/Function (Historic Name/Function) | Square Footage, Number of floors |
| Subarea 6 (Rec), N | 326 | c. 1990s | NC | Horticulture Office | 200 s.f. 1 floor |
| Subarea 6 (Rec), N | 327 | c. 2013 | NC | Horticulture Restrooms | 80 s.f. 1 floor |
| Subarea 6 (Rec), N | 329 | c. 1940s | NC | Golf Club House | 265 s.f. 1 floor |
| Subarea 6 (Rec), N | 333 | c. 1960s | NC | Horticulture Tool Shed | 192 s.f. 1 floor |
| Subarea 6 (Rec), N | 334 | c. 1960s | NC | Refreshment Stand (Golf Course Storage) | 252 s.f. 1 floor |
| Subarea 6 (Rec), N | 336 | c. 1960 | NC | Baseball Park Restrooms (Field House) | 190 s.f. 1 floor |
| Subarea 6 (Rec), N | 339 | 1960 | NC | Bandstand | |
| Subarea 6 (Rec), N | 512 | c. 1990s | NC | Bird Sanctuary Workshop | 700 s.f. 2 floors |
| Subarea 6 (Rec), N | 325 | c. 1990s | NC | Horticulture Restrooms | 180 s.f. 1 floor |
| Subarea 6 (Rec), N | n/a | No date | NC | Baseball Field House | |
| Subarea 6 (Rec), N | n/a | No date | NC | Baseball Lot Club | |

| Contributing and Noncontributing Resources | | | | | |
|--|-----------|-------------------------------------|---|--|----------------------------------|
| West Los Angeles Veterans Affairs Historic District, National Register | | | | | |
| Subarea, Zone, and Campus Area (N, S, NE) | Bldg. No. | Date of Construction (Year Altered) | Contributing (C); Non-contributing (NC) | Bldg. Name/Function (Historic Name/Function) | Square Footage, Number of floors |
| Subarea 6 (Recreational), N | n/a | c. 1970s | NC | Japanese Garden | |
| Subarea 6 (Recreational), N | T79 | 1957unknown | NC | Plant Nursery | 1,550 s.f. 1 floor |
| Subarea 2 (Residential), S | 14 | 1900 | C | Garage | 200 s.f. 1 floor |
| Subarea 2 (Residential), S | 23 | 1900 | C | Quarters | 3,448 s.f. 1 floor |
| Subarea 2 (Residential), S | 90 | 1927 (1995) | C | Duplex Quarters | 4,752 s.f. 1 floor |
| Subarea 2 (Residential), S | 91 | 1927 (1995) | C | Duplex Quarters | 4,752 s.f. 1 floor |
| Subarea 2 (Residential), S | 104 | c.1920s | NC | Garage 2-Car | |
| Subarea 2 (Residential), S | 307 | 1955 | NC | Single Quarters | 1,200 s.f. 1 floor |
| Subarea 2 (Residential), S | 308 | 1955 | NC | Single Quarters | 1,728 s.f. 1 floor |
| Subarea 2 (Residential), S | 309 | 1955 | NC | Garage | 400 s.f. 1 floor |
| Subarea 2 (Residential), S | 310 | 1955 | NC | Garage | 400 s.f. 1 floor |

| Contributing and Noncontributing Resources | | | | | |
|--|-----------|-------------------------------------|---|--|----------------------------------|
| West Los Angeles Veterans Affairs Historic District, National Register | | | | | |
| Subarea, Zone, and Campus Area (N, S, NE) | Bldg. No. | Date of Construction (Year Altered) | Contributing (C); Non-contributing (NC) | Bldg. Name/Function (Historic Name/Function) | Square Footage, Number of floors |
| Subarea 2 (Residential), S | 311 | 1994 | NC | Mobile House | 1,400 s.f. 1 floor |
| Subarea 2 (Residential), S | 312 | 1994 | NC | Mobile House | 1,400 s.f. 1 floor |
| Subarea 2 (Residential), S | 318 | 1994 | NC | Mobile House | 1,400 s.f. 1 floor |
| Subarea 7 (General Hospital), S | n/a | c. 1892 | C | South Gate | |
| LA National Cemetery, NE | 1001 | 1941 (1980) | C | Chapel (Administration Building) | 4558 s.f. 1 floor |
| LA National Cemetery, NE | 4601 | 1940 | C | Columbarium | |
| LA National Cemetery, NE | 1501 | 1940 (c. 1990) | C | Comfort Station (Rest Rooms) | |
| LA National Cemetery, NE | n/a | 1939-1941 | C | Maintenance Building (1 of 2) | |
| LA National Cemetery, NE | n/a | 1940 | C | Maintenance Building (2 of 2) | |
| LA National Cemetery, NE | n/a | c. 1940 | C | Fuel Storage Building (1940) | |
| LA National Cemetery, NE | n/a | 1940; c. 1940 (2009; c. 1940) | C | Arcade; Rostrum; Gate houses | |

| Contributing and Noncontributing Resources | | | | | |
|--|-----------|-------------------------------------|---|--|----------------------------------|
| West Los Angeles Veterans Affairs Historic District, National Register | | | | | |
| Subarea, Zone, and Campus Area (N, S, NE) | Bldg. No. | Date of Construction (Year Altered) | Contributing (C); Non-contributing (NC) | Bldg. Name/Function (Historic Name/Function) | Square Footage, Number of floors |
| LA National Cemetery, NE | n/a | c. 1920s | C | Terraces/Overlooks (2) | |
| LA National Cemetery, NE | n/a | c. 1937 | C | U.S. Flagpole | |
| LA National Cemetery, NE | n/a | c. 1920s | C | NHDVS Monument | |
| LA National Cemetery, NE | n/a | 1896 (moved 1942) | C | Civil War Monument | |
| LA National Cemetery, NE | n/a | 1950 (re-created 1973) | C | Spanish-American War Monument | |
| LA National Cemetery, NE | n/a | c. 1889 | C | Bivouac of the Dead Plaques (6) | |
| LA National Cemetery, NE | n/a | c. 1889-present | C | Burial sections with headstones and markers | |

Figure D- 7: Contributing Site Plan, Landscape, and Streetscape Features

| Contributing Site Plan, Landscape, and Streetscape Features West Los Angeles Veterans Affairs Historic District | | |
|--|-----------|--|
| Campus Area | Subarea | Feature Name/Function (Historic Name/Function) |
| Northwest | Subarea 1 | <p>The circulation patterns and relationships of buildings to open space are contributing features throughout Subarea 1. Contributing streetscape features include the triangular-shaped street grid at Bonsall, Dewey, and Eisenhower Avenues (from NHDVS period, with earlier buildings arranged parallel to the streets; row of palm trees along the southern portion of Bonsall Avenue are evident in historic photos of the NHDVS period and are a contributing landscape feature).</p> <p>Contributing site plan features include the relationship between Bldg. 13 and Wadsworth Theater (Bldg. 226); these two buildings exhibit an axial site plan and form the apex and base of the triangle formed by the street grid. Parallel walking paths connect the spaces/buildings and further define the axial site plan.</p> <p>Also contributing to the streetscape is the arrangement of Bldgs. 212, 213, 214, 215, 217, and 218, which are perpendicular to the street grid and set back from roads with generous expanses of lawn. Walking paths parallel to the roadway north of Eisenhower Avenue reflect the design of the site plan and are contributing features.</p> <p>Other contributing landscape features in Subarea 1 include the allee of trees immediately south of Bldg. 220; the open area at NE corner of San Vicente and Wilshire Blvds, also recently known as Los Angeles National Veterans Park, which is spanned by a eucalyptus wind break.</p> |
| Northwest | Subarea 3 | Contributing landscape/ site plan features include axial site plan and relationships of buildings to open spaces; mature Moreton Bay Fig trees screening facades of Bldgs. 113 and 114. |
| Northwest | Subarea 4 | <p>Contributing landscape/ site plan features include the site's topography; mature eucalyptus trees between Subareas 4 and 5; the natural drainage gully, separating the campus from adjacent residential community; Bonsall Avenue, a contributing streetscape throughout the campus, and secondary streets lined with sidewalks.</p> <p>Contributing landscape features also include lawns surrounding each building and relationships of buildings to open spaces/site plan. The site plan of Buildings 205, 208, and 209 is contributing; the site plan consists of the three buildings, on an elevated quad, connected by an enclosed semi-circular passageway that connects the basements of the buildings. The axis of the landscaped quad follows through Bldg. 157 and terminates with Bldg. 258. A secondary axial relationship between buildings commences with Bldg. 300, which is balanced by Bldg. 256. The axial site plan of Bldgs. 206 and 207 is also considered contributing.</p> |
| Northwest | Subarea 5 | Relationship of buildings to open space, site plan. |
| Northwest | Subarea 6 | Golf course; row of mature palm trees along north side of Constitution Avenue, back by row of eucalyptus trees; the trees that link the cemetery with the northwest part are also considered a contributing feature. |
| Southwest | Subarea 7 | Contributing site plan/streetscape features include configuration of Bonsall Ave. (location and width), from South Gate to the split at Dowlen Dr., as a terminus of the main street through the west side of campus. |

| Contributing Site Plan, Landscape, and Streetscape Features West Los Angeles Veterans Affairs Historic District | | |
|--|--------------------------|--|
| Campus Area | Subarea | Feature Name/Function (Historic Name/Function) |
| Southwest | Subarea 2 | Contributing site plan/streetscape features include grid of Canary Island palm trees in NW corner of subarea, near intersection of Wilshire Blvd and Federal Ave; wide expanses of lawn with mature trees fronting Bldg. 23; road leading south from gate at Wilshire to Bldg. 23; stone-pier fence with supporting wood rails perpendicular to the road |
| Northeast | LA National Cemetery, NE | Multiple contributing site plan/landscape elements across the 114-acre park-like grounds. Contributing features also include streetscapes, such as roads, curbs, and walkways. |
| | Multiple Subareas | Landscape plan, roads, curbs, walkways, and plantings |

Visual Overview of Development History

This series of figures offers a visual overview of the development of the northern part of the West Los Angeles VA campus, with captions highlighting noteworthy changes over time. As these historic aerial photographs show, this part of the campus changed relatively little from the immediate postwar period to the present.

Figures D- 8 and D- 9: In Subarea 1 (lower right-hand quarter), note axial path from Wadsworth Theater (Building 226) to Building 13. Also in Subarea 1, extending outward from this walkway, images show two buildings originally located between Buildings 217 and 214 (on the west) and Buildings 218 and 215 (on the east). Originally, on the west, was a rectangular building, and on the east, a square-plan hipped roof building. By 1964, the hipped-roof building had been removed; by 1999, the rectangular building on the west was no longer extant. Also of note is the emerging landscape design throughout the campus, as well as the landscaped traffic circle just south of Building 114 in Subarea 3.

Source: HistoricAerials.com



Figure D- 8: 1947



Figure D- 9: 1952

Figures D-10 and D-11: Forming a diagonal swath through the upper-right of the photograph is Interstate 405, which separates east and west portions of VA WLA campus. The 1968 topographic map shows the footprints of the original barracks just northwest of Subarea 1 and northeast of Subarea 3. One barrack (Building 199) is extant; most of the surrounding area currently serves as an asphalt parking lot. Source: HistoricAerials.com.



Figure D-11: 1964



Figure D- 10: 1968

Figures D-12 and D-13: In 1975, the clusters of 5 barracks buildings, located northwest of Building 13, were extant.
Source: HistoricAerials.com.



Figure D-12: 1972

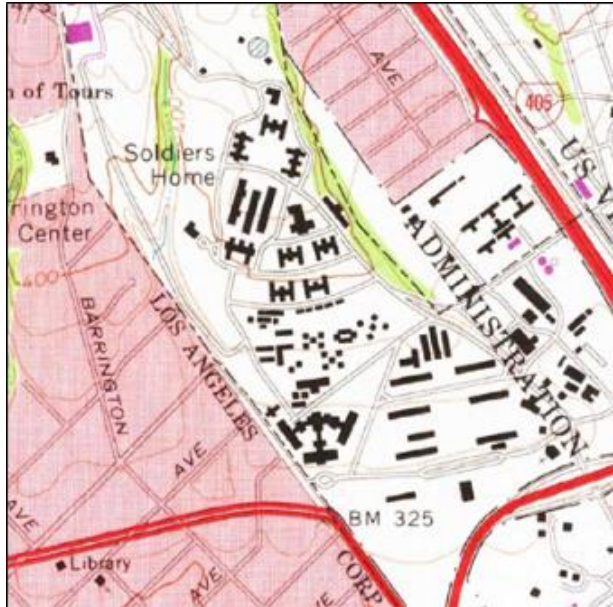


Figure D-13: 1975



Figure D- 14: 1981

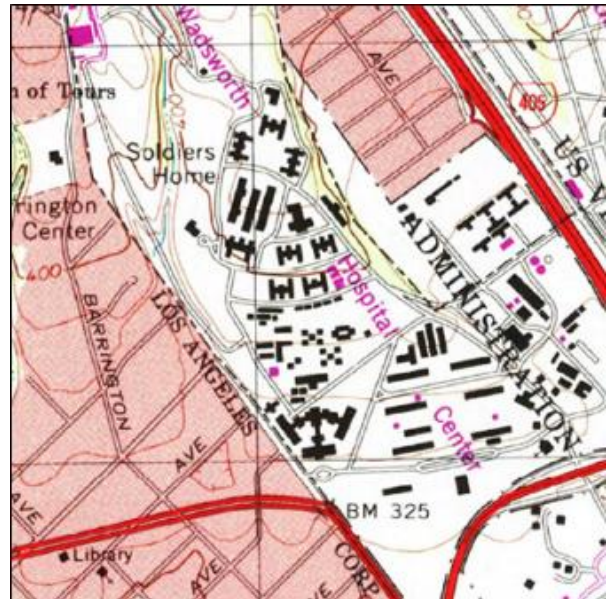


Figure D- 15: 1999

Figures D-14 and D-15: By 1981, all but 1 (Building 199) of the cluster of 5 barracks buildings had been removed (located northwest of Building 13).
 Source: HistoricAerials.com.



Figure D-16: 2012

Figure D-16: In spite of various changes over the decades, the northern part of VA WLA Campus appears largely as it did circa 1945.

Regulatory Basis for Incorporating Historic Preservation into Master Plan

In accordance with the National Historic Preservation Act of 1966 (NHPA), as amended, the U.S. Department of Veterans Affairs must consider the reuse and preservation, where feasible, of historic properties, defined as properties included in or eligible for the NRHP, before constructing new buildings. The NHPA also calls upon VA to consider the potential effects of any federally funded project on historic properties..

Pursuant to the National Environmental Policy Act (NEPA), Section 106 of the NHPA, and Department of Veterans Affairs policy, undertakings likely to result in an adverse effect to a historic property must be studied and efforts made to avoid, reduce, or mitigate adverse effects. According to 36 Code of Federal Regulations (CFR), Section 800.5 (1): “An adverse effect is found when an undertaking may alter, directly or indirectly, any of the characteristics of a historic property that qualify the property for inclusion in the National Register in a manner that would diminish the integrity of the property’s location, design, setting, materials, workmanship, feeling, or association.”

Adverse effects to historic properties can include:

1. Physical destruction of or damage to all or part of the property;
2. Alteration of a property that is not consistent with the SOI Standards ;
 - a. This can include vacating a historic property for an extended period of time without adequately “mothballing” or stabilizing and protecting it, or securing it from vandalism
3. Removal/relocation of the property from its historic location and setting;
4. Change of the character of the property’s use or of physical features within the property’s setting that contribute to its historic significance
5. This can include new construction within the boundaries or immediately adjacent to the historic district that changes the setting or feeling within;
6. Introduction of visual, atmospheric, or audible elements that diminish the integrity of the property’s significant historic features;
 - a. Transfer/lease/sale of property out of federal ownership without adequate and legally enforceable restrictions or conditions to ensure long-term preservation of the property.



**North Campus Subarea 4:
Neuropsychiatric Hospital area,
Buildings 156, 157, 158, constructed
1923 (n.d.), north perspective.**

For projects subject to Section 106 review, the process must include consultation with the State Historic Preservation Officer (SHPO) and other external parties, often including the Advisory Council on Historic Preservation.

This process can be greatly streamlined by building into the project design the avoidance and/or reduction of adverse effects through application of the SOI Standards, as described in the next section.

Secretary of the Interior's (SOI) Standards for the Treatment of Historic Properties

As codified in 36 CFR 67, adherence to the SOI Standards generally allows a project to avoid adverse effects to historic properties. The SOI Standards offer guidelines and approaches for preserving, maintaining, repairing, and replacing historical materials and features, as well as designing additions or making alterations. Guidance is also provided for new construction adjacent to historic properties, in order to ensure avoidance of adverse impacts to integrity through a change in setting. In this way, the SOI Standards outline common-sense approaches that allow for the retention of and/or sensitive changes to the distinctive materials and features that lend a historical resource its significance.

The SOI Standards for Rehabilitation, which is the treatment approach applicable to most of the contributing resources of the West Los Angeles VA Historic District, are:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. Removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical/physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archaeological resources affected by a project shall be protected/preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Professional Qualification Standards for Historic Preservation Professionals

To ensure compliance with NHPA/NEPA, historic resource analysis and preservation-related tasks described in this document must be completed by qualified historic preservation professionals meeting and/or exceeding the minimum requirements set forth by the National Park Service and codified in 36 CFR Part 61 in its Professional Qualifications Standards (PQS). The PQS define minimum levels of education and professional experience required to perform identification, evaluation, registration, and historic preservation treatment activities. In some cases, additional levels of professional expertise may be needed, depending on the complexity of the task and the nature of the historic properties involved.

These minimum PQS are:

Historian: a graduate degree in history or closely related field; or a bachelor's degree in history or closely related field plus one of the following:

1. At least two years of full-time experience in research, writing, teaching, interpretation, or other demonstrable professional activity with an academic institution, historic organization or agency, museum, or other professional institution; or
2. Substantial contribution through research and publication to the body of scholarly knowledge in the field of history.

Archaeologist: a graduate degree in archeology, anthropology, or closely related field plus:

1. At least one year of full-time professional experience or equivalent specialized training in archaeological research, administration, or management;
2. At least four months of supervised field and analytic experience in general North American archeology, and
3. Demonstrated ability to carry research to completion.

Architectural Historian: a graduate degree in architectural history, art history, historic preservation, or closely related field, with coursework in American architectural history, or a bachelor's degree in architectural history, art history, historic preservation or closely related field plus one of the following:

1. At least two years of full-time experience in research, writing, or teaching in American architectural history or restoration architecture with an academic institution, historical organization or agency, museum, or other professional institution; or
2. Substantial contribution through research and publication to the body of scholarly knowledge in the field of American architectural history.

Historic Architect: a professional degree in architecture or a State license to practice architecture, plus one of the following:

1. At least one year of graduate study in architectural preservation, American architectural history, preservation planning, or closely related field; or
2. At least one year of full-time professional experience on historic preservation projects.
 - a. Such graduate study or experience shall include detailed investigations of historic structures, preparation of historic structures research reports, and preparation of plans and specifications for preservation projects.

VA Directive 7545, Cultural Resource Management

VA has issued an agency-wide directive for meeting its cultural resource management responsibilities under NEPA and NHPA. These policies and regulations are described in the Department of Veterans Affairs VA Directive 7545: Cultural Resource Management. Guidance for implementation is provided in VA Handbook 7545, Cultural Resource Management Procedures and VA Handbook 7545, Cultural Resource Management Checklist (VA 2011a and 2009). The directive was established for “VA medical centers, cemeteries, regional offices, and staff offices to comply with historic preservation laws, regulations, and guidelines.”³

VA directive on cultural resource management specifies that the following activities have the potential to have an adverse effect on historic properties and cultural resources:

1. Major construction projects
2. Minor construction projects
3. Routine maintenance and non-recurring maintenance
4. Leasing, land acquisition, and disposal
5. Building demolition
6. Enhanced use asset and enterprise development



North Campus, Subarea 4, Neuropsychiatric Hospital, Building 256, constructed 1946. North elevation.

In addition, VA Historic Preservation Office (HPO) provides guidance for implementing VA programs to comply with federal historic preservation requirements. In terms of administrative structure, VA HPO is housed within the Office of Construction & Facilities Management. VA HPO is an important resource for historic preservation guidance, information, and technical assistance. Contact information for VA HPO is as follows: Historic Preservation Office (003C2); Office of Construction & Facilities Management; Department of Veterans Affairs; 810 Vermont Avenue, NW; Washington, DC 20420; (202) 632-5529; Kathleen. schamel2@va.gov or Douglas.pulak@va.gov.

Historic Preservation and the Greater Los Angeles Urban Master Plan

Among the overarching features of the Draft Master Plan, those relating most closely to historic preservation issues and the National Register-listed historic district include: (1) relocating two contributing buildings to nearby sites, in a similar site design/ configuration; (2) demolishing one contributing building; (3) retaining a majority of the historic resources on the north campus and reusing them; (4) revitalizing the campus, better integrating/connecting its neighborhoods and amenities, and building upon the existing neighborhood character and scale in order to form a

³ Department of Veterans Affairs, 5 December 2011, VA Handbook 7545, Cultural Resource Management Procedures, page 1.

cohesive, welcoming environment; (5) creating zones of uses, with the north campus primarily accommodating residential uses and other uses being relocated to the south campus; (6) increasing residential density as one progresses from the northern areas (Subarea 4) to south (Subarea 1); this strategy reflects the types of housing and care planned for the sites and is tailored to the needs of the Veterans; (7) incorporating outdoor recreational areas throughout the site, to better capitalize on opportunities for indoor- outdoor integration; and (8) incorporating a landscaped “Greenway” throughout the campus, which relates to and links the existing buildings, new buildings and facilities, historic landscapes, and natural topography.

The Draft Master Plan is on a positive course with respect to achieving this balance. The Draft Master Plan remains largely conceptual in nature, and therefore will still require ongoing preservation input. In addition, the Draft Master Plan focuses only on portions of the north campus. Thus far, the Draft Master Plan proposes a balance of rehabilitation and re-use of contributing buildings and features and sensitively scaled and sited new construction/in-fill that appear capable of retaining the integrity of the historic district, should the Secretary of the Interior’s Standards for the Treatment of Historic Properties (SOI Standards) continue to be applied at the district- and project-level as phases are implemented. Additional information and analysis of plans for the historic district as a whole are still needed, in order to ensure compliance with federal law and VA directives for cultural resources. Some issues for further study are included in the “Recommendations to Avoid Adverse Effects” and “Design Approach Recommendations” sections of this Appendix.



**North Campus, Subarea 4,
Neuropsychiatric Hospital, Building
258, constructed 1946, view northwest
(VA Archives, circa 1950s).**

Plan Elements and Strategies for Conformance with SOI Standards

In terms of the Draft Master Plan, the overall design concept complements and builds on the existing character and domestic scale of the north campus's historic neighborhoods. At present, the following components of the Draft Master Plan will help facilitate conformance with the SOI Standards:

1. The overall balance of rehabilitation/reuse of National Register-listed historic properties and sensitively scaled and sited new construction/in-fill;
2. The use of altered or underutilized sites, or sites on the periphery of the historic district, for possible new construction/in-fill;
3. Plans for compatible scale, massing, and complementary but differentiated architectural style, for new construction/in-fill;
4. The recognition of the extant historic character of the neighborhoods/building groupings throughout the north portion of the campus, in particular in Subareas 1, 3, and 4, and the intention to build upon and complement this historic scale and character; this includes "locating similar, compatible uses in these neighborhoods" in order to create a "sense of place and community";
5. The recognition and retention of contributing landscapes, streetscapes, and site plan features and the intention to retain historic landscapes and improve connections between the 10 neighborhoods planned for the north campus with a landscaped greenway; and
6. Increased density for existing neighborhoods with historically appropriate infill housing.

Physical Changes to Historic Properties: Preliminary Plans

While exact plans are not yet available for all contributors to the district, as this study was prepared (September 2015), among the historic district's 66 contributing resources, a total of 3 contributors would be affected by the project:

Subarea 1: Building 199 (Hoover Barracks) Listed on National Register as a contributor to historic district

Plans: Retention and relocation to a receiver site nearby (to be determined)

Notes: This building was originally one in a series of barracks constructed on the site in the early 1930s. This building is the lone/single survivor. The site surrounding Building 199 has been altered significantly; the adjacent area consists of an asphalt parking lot added after the period of significance. The conceptual plan is to relocate the building, in a similar site configuration, to a receiver site close-by. With careful project planning and site selection, such a change could be mitigated to avoid adverse effects to the historic district. However, additional detail on the relocation specifics and site will be needed in the next phase of the project in order to adequately analyze project effects and meet the requirements of Section 106 and NEPA.

Subarea 1: Building 236 (Police Station) Listed on National Register as a contributor to historic district

Plans: Demolition and relocation

Notes: Building 236, adjacent to Building 199, shares the same altered site and setting. It does not share significant site-plan or landscaping features with other contributing elements of the

district. At this conceptual stage, given the significant level of retention/reuse of a majority of the historic district contributors (in particular, those sharing historic site plan/landscape, streetscape features), the loss of Building 236, while adverse, is not expected to result in a significant loss of integrity to the historic district as a whole. However, additional detail on the specifics of demolition, as well as an analysis of adverse effects, mitigation measures, alternatives, and consultation, will be required in the next phase of the project in order to meet the requirements of Section 106 and NEPA to analyze project effects.

Subarea 1: Building 66 (Depot). Listed on National Register both as a contributor to historic district and as an individual resource

Plans: Relocation to a receiver site nearby (general location on the railway thoroughfare would be retained)

Notes: Additional plan detail is needed; these plans remain conceptual in nature. The Depot's setting and location on the former railway thoroughfare are important character-defining features. The relocation of the building should be planned carefully, with a nearby receiver site on the same thoroughfare, sited in such a way that the building's relationship to the street remains recognizable and intact. With careful project planning and site selection, such a change could be mitigated to avoid adverse effects to the individual resource and/or the historic district. However, additional detail on the relocation specifics, receiver site, and rehabilitation plans will be needed in the next phase of the project in order to meet the requirements of Section 106 and NEPA to analyze effects.

Professional Qualification Standards for Historic Preservation Professionals

To ensure compliance with NHPA/NEPA, historic resource analysis and preservation-related tasks described in this document must be completed by qualified historic preservation professionals meeting and/or exceeding the minimum requirements set forth by the National Park Service and codified in 36 CFR Part 61 in its Professional Qualifications Standards. As described previously, the PQS define minimum levels of education and professional experience required to perform identification, evaluation, registration, and historic preservation treatment activities. In some cases, additional levels of professional expertise may be needed, depending on the complexity of the task and the nature of the historic properties involved.

Recommendations to Avoid Adverse Effects

In order to avoid adverse effects:

1. All physical changes to historic properties should meet the SOI Standards (including all rehabilitation, new construction, mothballing, additions, and relocation projects)
2. Plan for ongoing conformance with SOI Standards through engaging a qualified historic preservation professional early in the process, as Master Plan phases are launched.
3. Engage in early consultation with California State Historic Preservation Office and other external stakeholders.
4. Continue to utilize the wealth of previous studies and data (including the National Register nomination for the West Los Angeles VA Historic District, previous Section 106 studies completed for seismic upgrades projects and rehabilitation of Building 205, 208, 209) in order to inform and guide future rehabilitation projects on campus.
5. The Draft Master Plan calls for extensive rehabilitation of historic buildings. In order to provide the necessary planning/programming data, VA should commission an analysis covering the economics of rehabilitation, including rehabilitation costs and available Federal and state Investment Tax Credits.
6. Where buildings are slated for rehabilitation, identify and document character-defining

features and plan for their retention, repair, and maintenance (or in-kind replacement if necessary).

7. Avoid demolition of the National Register-listed contributing properties of the historic district as well as the individually listed properties, significant site plan, streetscape, and landscape features.
8. Ensure the early involvement of a qualified historic preservation professional as formal compliance with the NHPA and NEPA begins. Mothballing: for historic properties that are ultimately slated for rehabilitation but will remain vacant for more than three years, Master Plan phases and implementation should include a plan for stabilization and mothballing, to avoid adverse effects through neglect. National Park Service Preservation Brief 31 provides the appropriate measures and process for an adequate mothballing plan.
9. Archaeological Resources: the current scope of the Master Plan project did not include an updated study or survey for archaeological resources. Previous archaeological studies conducted for the West Los Angeles VA Campus indicated a high sensitivity for archaeological resources; future phases of the master plan project should include an adequate survey/study of archaeological resources in order to ensure compliance with applicable laws and VA policies vis-à-vis cultural resources.
10. Compliance with NHPA and NEPA will be greatly streamlined if the Master Plan design phases and projects meet the SOI Standards; engage a qualified historic preservation professional throughout the process.
11. In order to facilitate conformance with the SOI Standards, continue following the conceptual design recommendations listed below:

Design Approach Recommendations

The following design approaches and recommendations were provided to the master plan team, with the aim of avoiding adverse effects to historic properties:

Rehabilitation and Reuse

1. Follow the guidance provided in the SOI Standards in any rehabilitation and reuse project involving a historic property.
2. Where possible, reuse buildings in accordance with their original use. This will decrease the need for wide-scale removal of and alteration to character-defining features and spaces
3. Prioritize the reuse and re-purposing of existing buildings first, before the construction of new buildings.

Selection of New Construction/In-fill Opportunity Sites:

1. Areas on the periphery and/or outside of historic district boundaries
 - a. Noncontributing surface parking lot and noncontributing playing field northwest of Buildings 205/208/209
 - b. Noncontributing areas throughout Subarea 7 (near hospital)
2. Areas with lighter concentrations, or fewer unified collections, of character-defining site features, streetscapes, or landscapes
3. Areas where immediate setting has been altered with noncontributing properties and/or site features constructed outside the period of significance (most commonly, these consist of asphalt surface parking lots)
 - a. Surface parking lots north of Bldg 13, between Subareas 1 and 4; Surface parking lot west of Buildings 205/208/209 in Subarea 4
 - b. Building 199 is a district contributor but immediate setting has been altered; the building could be relocated or incorporated into an in-fill project
 - c. Building 113 is a noncontributing building within a contributing, significant site-

plan (with Buildings 114, 115, 117); restoration of original features or sensitively designed new construction/in-fill would be acceptable

Character and Scale of New Construction/In-Fill:

1. In-fill/new construction should be compatible, differentiated, and visually subordinate to adjacent district contributors and the scale and character of historic district overall
 - a. Consult preservation professional for input on SOI Standards compliance, in particular as regards new construction adjacent to contributing properties and features of the historic district
2. Removal of incompatible, noncontributing properties or features (whether altered or added after the period of significance) offers an opportunity for in-fill/new construction
 - a. If new construction is compatible with but differentiated from the historic district, such projects offer opportunities to complement and reinforce the character of the historic district and surrounding campus
 - b. Similarly, restoring historic features and/or site plan configurations from period of significance offers opportunities to reestablish connections between areas that have been interrupted by recent construction or alterations, such as surface parking lots, etc.
3. Follow SOI Standards for new construction adjacent to historic properties
 - a. Standard #9: “New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.”
 - b. Standard #10: “New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.”
4. Additions should be guided by the following general ideas:
 - a. Additions to contributors to the National Register- listed historic district are generally discouraged (but might be possible for secondary/tertiary contributors, on secondary elevations, or on a case-by-case basis)
 - b. Additions should be compatible, differentiated, and visually subordinate in massing and architectural detailing to the historic property

At each stage in the planning, design, and implementation process:

1. Consult qualified preservation professional to promote ongoing conformance with SOI Standards.

Glossary of Preservation-Related Terminology

Character-Defining Features: The physical characteristics and elements that convey how and why a property is historically significant. Should a historically significant property lose too many of its principal character-defining features, it might lose historic integrity and therefore its status as an eligible historic property. Therefore, character-defining features require careful treatment and consideration in any project that might change their appearance. Character-defining features can reflect the historical, architectural, and/ or cultural significance of a property and range from the larger characteristics of site plan and building-to- open space configuration, massing and building plan, to smaller details such as materials, craftsmanship, finishes, decorative details, interior spaces and features, as well as overall setting and environment.

Contributors or Contributing Resources: Properties and/ or features, including buildings, structures, objects, and/or site plan features, within the boundaries of a designated historic district that contribute to the significance of the historic district. Contributing resources to a historic district are designated and listed.

North Campus, Subarea 2, Building 90, constructed 1927 (altered 1995). West elevation.



Historic District: A collection or concentration of properties and features (sites, buildings, structures, objects, and/or other planning features) possessing a cohesive, unified character and a shared history, in terms of patterns of development, events, significant individuals, social/aesthetic history, or architectural style. Historic districts generally include both “Contributing Resources” (properties meeting eligibility criteria) and “Noncontributing Resources” (properties not meeting eligibility criteria).

Historic Property: A building, structure, district, site, or object that is eligible for, or included in, the National Register of Historic Places (NRHP).

Integrity: The authenticity of a property’s historic identity, evidenced by the survival of physical characteristics (character-defining features) from the property’s period of significance. As described by the National Park Service, historic integrity is the composite of seven aspects: location, design, setting, materials, workmanship, feeling, and association. Historic integrity enables a property to continue reflecting and conveying the reasons for its historic significance, through the retention of character-defining features. A property can be in poor condition, however, and still retain integrity. Deterioration does not denote a lack of integrity.

National Register of Historic Places (NRHP): A list of properties maintained by the National Park Service of designated historic properties, including buildings, structures, districts, objects, and sites.

Noncontributors or Noncontributing Resource: Properties and/or features, including buildings, structures, objects, and/or site plan features, within the boundaries of a historic district that do not contribute to the significance of the historic district.

Period of Significance: The date or span of time during which a property or historic district attained its significance.

Rehabilitation: A treatment approach that provides guidelines for achieving a compatible use for a historic property through repair, alterations, and additions while also preserving the character-defining features that convey the property's social, historical, cultural, and/or architectural values. The Secretary of the Interior's Standards include detailed and comprehensive principles and guidelines for rehabilitation.



Figure D-17: South Campus of VA WLA, 1931. South perspective.

Toward the top of the photo are the parallel, rectilinear forms of Buildings 156, 157, and 158 (constructed in 1923), in relative isolation from the rest of the campus. Below them, slightly to the left, are Buildings 113, 114, 115, and 116 (constructed in 1930). The horizontal traffic artery extending through the center of the photo is present-day Wilshire Boulevard, with the earliest buildings and development of the north campus shown beyond. Source: Los Angeles Public Library.

Appendix E. Environmental Impact

National Environmental Policy Act and VA Implementing Regulations Requirements

The U.S. Department of Veterans Affairs (VA) is required to evaluate all major actions in accordance with the regulations set forth by the Council on Environmental Quality (CEQ) provisions of the National Environmental Policy Act (NEPA), Title 40 CFR Parts 1500-1508; and VA Implementing Regulations, Environmental Effects of VA Actions, Title 38 CFR, Part 26 (51 FR 37182, Oct. 20, 1986).

Sec. 1501.2 requires federal agencies to integrate the NEPA process with other planning at the earliest possible time to ensure that planning and decisions reflect environmental values, avoid delays later in the process, and head off potential conflicts. As such, the NEPA process was informally initiated within VA concurrent with development of the Draft Master Plan.

VA Implementing Regulations Part 26.4 Policy.

1. VA must act with care in carrying out its mission of providing services for veterans to ensure it does so consistently with national environmental policies. Specifically, VA shall ensure that all practical means and measures are used to protect, restore, and enhance the quality of the human environment; to avoid or minimize adverse environmental consequences, consistently with other national policy considerations; and to attain the following objectives:
 - a. Achieve the fullest possible use of the environment, without degradation, or undesirable and unintended consequences;
 - b. Preserve historical, cultural, and natural aspects of our national heritage, while maintaining, where possible, an environment that supports diversity and variety and individual choice;
 - c. Achieve a balance between the use and development of resources, within the sustained capacity of the ecological system involved; and,
 - d. Enhance the quality of renewable resources while working toward the maximum attainable recycling of nonrenewable resources.
2. VA elements shall:
 - a. Interpret and administer the policies, regulations, and public laws of the United States in accordance with the policies set forth in the NEPA and CEQ Regulations;
 - b. Prepare concise and clear environmental documents which shall be supported by documented environmental analyses;
 - c. Integrate the requirements of NEPA with Department planning and decision-making procedures;
 - d. Encourage and facilitate involvement by affected agencies, organizations, interest groups and the public in decisions which affect the quality of the human environment; and,
 - e. Consider alternatives to the proposed actions which are encompassed by the range of alternatives discussed in relevant environmental documents, and described in the environmental impact statement.

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Appendix F. Stakeholder Engagement

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List of Meetings

To reach the vast and diverse stakeholders integral to this process, the outreach team created and developed numerous options through which persons could participate. Recognizing the need to accommodate the variety of stakeholder geographic locations, schedules, and circumstances, the team provided opportunities for input which included day time meetings, evening meetings, participation in Veteran community events, and briefings with key stakeholders and stakeholder groups. The tables below show the schedule of those meetings and the stakeholder groups that were engaged. The meetings' topics and comments are summarized in the text following the tables. Each meeting's minutes and attendees are attached after the text, as well. The outreach team also used multiple online platforms to enable participation from home. Examples of online engagement used in the outreach campaign are also provided at the end of this section.

Figure F-1: Weekly Design Open Houses

| Weekly Design Open Houses | Date | Attendees |
|---------------------------|-----------------|--------------------------------|
| Open House #1 | July 21, 2015 | Veterans (1) / Community (3) |
| Open House #2 | July 28, 2015 | Veterans (1) / Community (12) |
| Open House #3 | August 4, 2015 | Veterans (11) / Community (4) |
| Open House #4 | August 11, 2015 | Veterans (11) / Community (2) |
| Open House #5 | August 18, 2015 | Veterans (13) / Community (25) |
| Open House #6 | August 25, 2015 | Veterans (27) / Community (10) |

Figure F-2: Town Hall and Neighborhood Community Meetings

| Town Hall and Neighborhood Community Meetings | Date | Attendees |
|---|--------------------|--------------------------------|
| Town Hall #1 | June 23, 2015 | Veterans (10) / Community (3) |
| Westwood | July 21, 2015 | |
| West LA | July 22, 2015 | |
| Town Hall #2 | July 23, 2015 | Veterans (10) / Community (10) |
| Pacific Palisades | July 23, 2015 | |
| Brentwood | July 28, 2015 | Veterans (7) / Community (7) |
| Town Hall #3 | August 20, 2015 | Veterans (24) / Community (1) |
| Town Hall #4 | September 17, 2015 | |
| Town Hall #5 | October 7, 2015 | Veterans (29) / Community (2) |

Figure F-3: Key Stakeholder Group Meetings

| Key Stakeholder Group Meetings | Date | Attendees |
|--------------------------------|-----------------|--------------------------------------|
| Plaintiff | June 17, 2015 | VA+Plaintiff (17) / HOK (4) |
| Congressman Lieu | July 14, 2015 | VA (1) / Reps (2) / HOK (4) |
| VSO | July 14, 2015 | Veterans (8) / VA+Reps (5) / HOK (6) |
| Mr Rosebrock | July 17, 2015 | Veterans (2) / VA (3) / HOK (3) |
| LA Mayor Garcetti | July 28, 2015 | |
| Homeless Summit | August 19, 2015 | Veterans (7) / Community (7) |

Figure F-4: VA Group Meetings

| VA User Group Meetings | Date | Attendees |
|---------------------------------|--------------------|------------------|
| Outreach and Community Planning | June 24, 2015 | VA (6) / HOK (5) |
| Building 209 | July 1, 2015 | VA (5) / HOK (1) |
| New Directions | July 8, 2015 | |
| Blue Butterfly | July 9, 2015 | |
| Inpatient | July 28, 2015 | VA (2) / HOK (3) |
| Leadership Group | July 29, 2015 | VA (8) / HOK (2) |
| Mental Health | August 6, 2015 | VA (2) / HOK (2) |
| Environmental Services | August 6, 2015 | VA (3) / HOK (1) |
| Dietary | August 12, 2015 | VA (4) / HOK (2) |
| Emergency Services | August 13, 2015 | VA (2) / HOK (3) |
| Patient Advisory Council | August 13, 2015 | VA (7) / HOK (2) |
| Domiciliary | August 26, 2015 | VA (3) / HOK (4) |
| Outpatient | August 26, 2015 | VA (3) / HOK (4) |
| Welcome Center | August 27, 2015 | VA (2) / HOK (2) |
| Women's Veteran Services | August 27, 2015 | VA (2) / HOK (2) |
| Security | September 2, 2015 | VA (5) / HOK (2) |
| Home Health | September 16, 2015 | VA (3) / HOK (4) |

Stakeholder Organization Comment Summaries

Note - Outlined below are comments only from presentations to Stakeholder Organizations. Comments from other meetings or grassroots stakeholders via the online questionnaire, emails, and social media are also available in this Appendix for review but not included below.

Funding

Veterans

- VSO Coalition: Has money been set aside for the implementation of the plan?

Community Groups

- Brentwood Community Council: Where will the funding come from?
- Pacific Palisades Community Council: How will the funding be allocated for this project? Will it be diverted to different areas?
- West Los Angeles Neighborhood Council: It is said that the people who work at VA hold the donated checks from the community not VA itself. What's happened to that money?
- West Los Angeles Neighborhood Council: Where will the budget come from?
- Westwood Community Council: What are the current and future sources of funding?

Elected Officials

- LA Mayor Garcetti Briefing: Prop 41 funding cannot be given to VA site without EUL authorization.
- LA Mayor Garcetti Briefing: What is the status of MHSA Prop 63 money?
- LA Mayor Garcetti Briefing: If state or city money is used, does it trigger CEQA?

Veterans Input

Veterans Service Organization

- VSO Coalition: This land is for Veterans only –no place for civilians (Brentwood, UCLA, etc.)
- VSO Coalition: Veterans are in charge of their land

Community Groups

- Brentwood Community Council: What kind of input are VA Master Plan Team asking from the Veterans?
- Brentwood Community Council: VA should partner with the Veterans Hunter Project in El Monte.
- Brentwood Community Council: There is a disconnect between the community and the Veterans. What programs will be available to re- incorporate the Veterans into the community.
- Pacific Palisades Community Council: VA must focus on the original intention of the campus as a “home” for the Veterans.
- West Los Angeles Neighborhood Council: The American Legion Veterans intend to be at the table and give their input into the Master Plan.
- West Los Angeles Neighborhood Council: We must treat all older Veterans right. That is not happening currently.
- West Los Angeles Neighborhood Council: There are a lot of Veterans groups (Veterans Committee, Housing for Returning Veterans) and they must work together.

Elected Officials

- Council member Koretz staff: The rehabilitation of the Chapel on-campus is a big issue for many Veterans.

Elected Official Participation*Veterans*

- LA Veterans Collaborative: Has there been any consideration to ask president or governor to declare state of emergency?

Community Groups

- Brentwood Community Council: Is VA Team also working with other Congress members and elected officials in other areas?
- Brentwood Community Council: In the past, politics has kept similar programs from being actually implemented. What makes this Master Plan different from past attempts?
- Brentwood Community Council: As the Master Plan is a tremendous political lift, how will VA engage with local and community government for leverage?
- Pacific Palisades Community Council: The Master Plan is only a suggestion to the politicians so there is no guarantee that the politicians will approve and get it done.
- Pacific Palisades Community Council: Will the Master Plan work alongside Mayor Garcetti with his efforts of bringing in homeless Veterans?

Elected Officials

- VA Government Briefing: The congressional offices should send e-mail blasts to the Veterans in their districts to gauge their opinion and give feedback to the Master Plan.
- LA Mayor Garcetti Briefing: Key decision makers current Secretary of VA, State of California, Governor's Office. Now an HCD entity, housing department

VA staff*Veterans*

- LA Veterans Collaborative: Cal Vet building is only 25% occupied on daily basis – understaffed and underfunded. Need to get the place staffed so we can start getting Veterans in there. Schism in leadership between state and VA or federal. Need to get this place staffed – will build credibility with Vets.
- LA Veterans Collaborative: When speaking about most vulnerable do you include VA employees who work on the front lines planning? Need to utilize these folks in the planning process.

Community Groups

- Brentwood Community Council: What will be the role and capacity of the Director of Community Outreach at VA?
- Pacific Palisades Community Council: Who is the contact person at VA to refer homeless Veterans?
- West Los Angeles Neighborhood Council: Are the Senior Executives at VA Veterans themselves?
- West Los Angeles Neighborhood Council: The culture within VA must change.
- Westwood Community Council: The campus should hire a specialist for inter-community relations (organizing volunteers, teachers, etc.).
- Brentwood Homeowners Association: Plan should provide for adequate staffing on a

consistent, long-term basis, including healthcare, counseling, and security personnel to protect the residents and the community.

Elected Officials

- VA Government Briefing: VA should partner with the Department of Defense to recognize early on the at-risk population before they become homeless or suffer from trauma.
- VA Government Briefing: There should be a change in the culture at VA so that nobody will say “no” to a Veteran.
- VA Government Briefing: We need a 21st century VA.

Unique Segments of the Veteran Population

Veterans

- LA Veterans Collaborative: Thanks for identifying two vulnerable populations – women and chronically homeless. women with experienced trauma and women with children are some of the most vulnerable, but can’t just restrict to these groups. Also a larger issue for all women Veterans when attempting to find housing. Making women share their trauma stories to get the housing may limit the groups we see.
- LA Veterans Collaborative: I hope prior to implementing these plans that you will speak with women group involved. Need focus groups just for women – often don’t feel comfortable sharing in a group setting. Important to have these women- only focus groups before decisions are made. Safe environment is a key driver
- LA Veterans Collaborative: Speaking on behalf of Veterans served at LGBT center. LGBT Veterans do not feel welcome at VA. How do you create an environment that is welcoming to LGBT Veterans?
- VSO Coalition: Need a women’s center on-campus
- VSO Coalition: Gender-specific facilities
- VSO Coalition: Far north quadrant would be a good place for the women’s area
- VA Homeless Programs Summit: We need housing for 55-75 year olds that need homes but are not in need of a stay at a nursing home
- A Homeless Programs Summit: Offer a mix of living quarter types suitable for a diverse mix of resident types
- A Homeless Programs Summit: Offer pet- friendliness
- VA Homeless Programs Summit: Keep in mind the safe integration of transgender populations

Community Groups

- Brentwood Community Council: Will there be housing specifically for Veterans who are single mothers with children?
- Pacific Palisades Community Council: How will the campus be enticing for younger Veterans?
- Westwood Community Council: Why are the Veterans afraid to go to VA and seek help?
- Westwood Community Council: Safety must be provided for Female Veterans and Veterans suffering from mental illnesses.
- Westwood Community Council: What about other- than-honorably discharged Veterans?
- Westwood Community Council: There needs to be a specialist for women Veterans.

Elected Officials

- VA Government Briefing: What about LGBT Veterans who are not honorable discharged and others who are not eligible to receive services from VA?
- VA Government Briefing: Will there be separate housing for female Veterans?
- VA Government Briefing: Transition aid centers for recently returned Veterans are extremely important.

Outreach Veterans

- LA Veterans Collaborative: At a later date could you meet with our outreach team to get these ideas heard.

Community Groups

- Brentwood Community Council: Is VA reaching out to private Veterans organizations?
- Brentwood Community Council: Were there and will there be any pushback from the community?
- Brentwood Community Council: Veterans on VA campus do not know about the lawsuit settlement and the Master Plan.
- Brentwood Community Council: The community must be more engaged with the Veterans as just 10 minutes of talking to someone enlightens the Veterans greatly.
- Brentwood Community Council: VA must use a creative way that is multi-faceted and multi-disciplinary to approach the Veterans and help them with their situations.
- Brentwood Community Council: This community meeting was premature since there is nothing substantial to talk about and for the community to actually respond to.
- Pacific Palisades Community Council: VA must increase transparency and accountability.
- West Los Angeles Neighborhood Council: No Veteran stakeholders were notified of this meeting at UCLA.
- West Los Angeles Neighborhood Council: Who is conducting the study of the Veterans population?
- West Los Angeles Neighborhood Council: Why has VA never contacted the West LA Neighborhood Council Land Use Committee? VA has rarely made any contact with the community in the past.
- When the community reached out to VA, they were blown off. Why should the community believe that the Master Plan team is actually going to do something?
- West Los Angeles Neighborhood Council: The council would like a representative to come and report to the council.
- West Los Angeles Neighborhood Council: The Master Plan seems to be operating in a vacuum and isn't really reaching the Veterans.
- West Los Angeles Neighborhood Council: There is no response from emails to VA.
- Westwood Community Council: What are the future plans for engagement with the Westside communities?
- Westwood Community Council: What is the phone number if a Veteran wants direct help in walking him/her through the process?
- Westwood Community Council: There are homeless Veterans just at the back gate of the campus, so outreach must be augmented.
- Brentwood Homeowners Association: Although the documentation included in "Help House LA Vets" makes a pretense of seeking community input for a "community-based planning process", without answers to the questions above, the process is flawed, inadequate, and without real substance. We understand that the Master Plan is "a high-level planning process", but so far it is so high in the clouds as to be inaccessible. There has not been a

meaningful opportunity for public input.

Elected Officials

- Congressman Lieu Meeting: There has been past community committees / advisory panels that worked, but who would decide which community persons will be on the panel
- Congressman Lieu Meeting: Smaller group meetings with people that are key persons
- Congressman Lieu Meeting: How do we create an army to get all the information out
- Congressman Lieu Meeting: Community meetings in July that would be participating in the Master Plan updates
- LA Mayor Garcetti Briefing: Let us know if we can provide a letter of support and where it should go.
- LA Mayor Garcetti Briefing: Keep Mayor's office in the loop on Master Plan rollout.
- County Supervisor Kuehl's staff: Do a focus group with supportive housing developers.

Community

Community Groups

- Brentwood Community Council: While the Master Plan is being developed and implemented, the community can donate facilities and land that can be utilized immediately.
- Brentwood Community Council: The nation is currently in a state of emergency of homeless Veterans. VA and surrounding communities must collaborate together to address the issue.
- Brentwood Community Council: The community must always ask itself what can the community do for the Veterans.
- Brentwood Community Council: What are the assurances that the input from the community is actually going to be incorporated?
- Pacific Palisades Community Council: We must remember that it was the community that won back VA in the past and that the outside community is still very important for VA and vice versa.
- Pacific Palisades Community Council: The Brentwood School, UCLA baseball diamond, etc. are important to not just the community but also the Veterans as it gives them opportunity to socialize.
- West Los Angeles Neighborhood Council: What can the community do in terms of specific steps?
- West Los Angeles Neighborhood Council: VA must not dismiss the community as unimportant part of the public.
- Westwood Community Council: The campus must integrate the community effectively and USC did a good job of that.
- Brentwood Homeowners Association: The Plan should involve other localities where homeless Veterans are found and their families may be located, rather than looking to West LA to accommodate the needs of the entire region. The Plan process should consider the advisability of small facilities in the home communities of individual Veterans, since a majority of the homeless Veterans are not from West LA.

Built Environment

Veterans Service Organizations

- VA Veterans Collaborative: Communities of tiny houses – house someone under \$20,000 a unit. Can have available right now. Want a one-acre experimental zone on VA to test some of these ideas.

- VSO Coalition: Hoteling for families
- VSO Coalition: Can there be affordable housing for staff? The State Home cannot keep staff because of the high cost of living on the west side
- VSO Coalition: Permanent housing is a must
- VSO Coalition: Entrance to campus should be welcoming and calming
- VSO Coalition: Park settings with paths
- VSO Coalition: Community gardens
- VSO Coalition: Mini mall concept – farmers market VSO Coalition: There is a need and want for a pool
- VA Homeless Programs Summit: Include a convenience store so Veterans are not limited to expensive stores in Brentwood as their only shopping option
- VA Homeless Programs Summit: Make some of the structures multi-purpose so they have the ability to change and adapt to new uses in the future
- VA Homeless Programs Summit: Build a structure that allows for drop-in mental health services so Veterans in need don't have to jump through so many hoops to get the help they need
- VA Homeless Programs Summit: Access to kitchens to make their own food
- VA Homeless Programs Summit: Community gardens
- VA Homeless Programs Summit: Public art by Veterans
- VA Homeless Programs Summit: Move VA Welcome Center closer to Wilshire Boulevard.
- VA Homeless Programs Summit: Change numbering and signage for better wayfinding
- VA Homeless Programs Summit: Library
- VA Homeless Programs Summit: State-of-the-art computer lab
- VA Homeless Programs Summit: Bike share
- VA Homeless Programs Summit: Food pantry
- VA Homeless Programs Summit: Spread out gardens throughout the campus with raised beds
- VA Homeless Programs Summit: Basketball hoop
- VA Homeless Programs Summit: More covered bus stops
- VA Homeless Programs Summit: Meditation and Zen mindfulness spaces
- VA Homeless Programs Summit: Showers and salons
- VA Homeless Programs Summit: Swimming pool to provide people who have pain a place to exercise
- VA Homeless Programs Summit: Free laundry facilities
- VA Homeless Programs Summit: Space for the Department of Mental Health
- VA Homeless Programs Summit: Child Care Center
- VA Homeless Programs Summit: Sports complex
- VA Homeless Programs Summit: Health club
- VA Homeless Programs Summit: Space for the providers
- VA Homeless Programs Summit: Dog Park
- VA Homeless Programs Summit: Experimental space for mobile/trailer living quarters

Community Groups

- Brentwood Community Council: What is the maximum number of people that the campus can house?
- Brentwood Community Council: What are some good past examples of campuses that were successful?
- Brentwood Community Council: The government must handle the situation as it would

- handle a natural disaster.
- Brentwood Community Council: Will there be other locations around Southern California to be used for the Veterans and are they included in the Master Plan?
- Brentwood Community Council: Will there be continuous update on services provided on-campus?
- Pacific Palisades Community Council: The campus should revitalize existing buildings and not construct new ones.
- Pacific Palisades Community Council: While the Master Plan is being finalized, will the campus provide temporary housing as an emergency?
- Pacific Palisades Community Council: How many are currently housed under temporary housing? How many are under permanent?
- Pacific Palisades Community Council: What will happen to the existing and future VASH (Section 8 Vouchers) housing?
- West Los Angeles Neighborhood Council: Disabled Veterans could buy homes if VA provided low- income housing on the campus.
- West Los Angeles Neighborhood Council: I live in Westwood next to the State Building on VA, but it seems that no one lives there. Why aren't Veterans being housed there? I'm from Detroit and in Detroit, they have housing that is being torn down. Why aren't you calling the other communities and use that housing for homeless?
- West Los Angeles Neighborhood Council: Will the bridge housing be expanded?
- West Los Angeles Neighborhood Council: How many units is VA planning to house?
- West Los Angeles Neighborhood Council: VA said that they we going to allow trailers (to be used as emergency housing) and that they were working on a plan. That was four years ago.
- Westwood Community Council: Give building names that are not numbers and put up signs to navigate the area.
- Westwood Community Council: What will be the type of construction for the new buildings?
- Westwood Community Council: The demand for housing is going to substantially exceed the supply. What is the purpose of the housing on- campus?
- Westwood Community Council: The campus is the most historic part of Wilshire Boulevard and must be restored and honored. Will there be a museum for Veterans on-campus?
- Westwood Community Council: There are "historic stations" at USC that describe the importance and context of historic sites and buildings. The campus should have the same.

Elected Officials

- VA Government Briefing: How many houses are vacant?
- Councilmember Koretz staff: Please try to preserve and rehabilitate existing buildings as much as you can before going to new construction. That is an important message.
- Councilmember Koretz staff: Consider including a store with groceries.
- Councilmember Bonin's staff: If there is going to be impacts, make it be for uses that are most important and that will best address the issue of Homeless Veterans.
- Councilmember Bonin's staff: Is there a way to partner on Barrington Park, as it is one of the only dog park and the community is not park rich.
- LA Mayor Garcetti Briefing: Bridge housing, transitional housing on and off campus.
- Converting low-barrier and low demand housing. Approximately 180 units converted to low demand. Right now approximately 750 Veterans living on-campus
- LA Mayor Garcetti Briefing: What is the goal for the number of bridge housing?
- LA Mayor Garcetti Briefing: Create a thriving community
- LA Mayor Garcetti Briefing: Magnetic for Veterans

- LA Mayor Garcetti Briefing: Need numbers on low-barrier demand beds on-campus ideas for converting
- LA Mayor Garcetti Briefing: Need number of permanent supportive housing goal on-campus.
- County Supervisor Kuehl’s staff: We appreciate a focus on recreation, we need areas for sports, walking tracks and spaces for wellness.

Campus Access

Veterans Service Organizations

- VSO Coalition: Wayfinding is very important, need to keep Veterans from getting lost on the large campus
- VA Homeless Programs Summit: Keep the same military base, campus, small town feel Veterans are accustomed to experiencing in service
- VA Homeless Programs Summit: The slopes are too steep at the Metro bus stop on Wilshire and the bus stop is too close to such a busy street, making it very difficult for disabled Veterans to arrive to the campus safely and without discomfort
- VA Homeless Programs Summit: Put bridge on top of Wilshire with a safer entrance to the campus
- VA Homeless Programs Summit: We need better internal transportation at the campus, create a shuttle stop system
- VA Homeless Programs Summit: How about eliminate vehicular traffic and use a golf cart valet system like at the Long Beach VA Campus
- VA Homeless Programs Summit: Create secluded, quiet and peaceful, havens throughout the campus
- VSO Coalition: This land is for Veterans only – no place for civilians (Brentwood, UCLA, etc.)

Community Groups

- Brentwood Community Council: Will the gate that closes off the road through VA be opened to the public?
- Brentwood Community Council: Will the Veterans with some type of mobile homes be able to bring them onto the campus if they want to?
- Westwood Community Council: The campus should not be an island for the “untouchables” that is isolated and must have a sense of a neighborhood community and be inviting for everyone.
- Westwood Community Council: Will the campus restrict access to the outside public for the sake of regulating “short-cuts?”

Homelessness

Veterans

- VSO Coalition: Housing for the disabled and chronic homeless housing is necessary VSO Coalition: Veterans with no other choice of housing need to be included in on-campus living

Community Groups

- Pacific Palisades Community Council: What will happen to the non-Veteran homeless people who come onto campus?
- Pacific Palisades Community Council: When finding homeless Veterans, should we consolidate with other organizations/groups to make sure that the homeless qualify before referring them to VA?

- Pacific Palisades Community Council: Will permanent housing be available only for chronic homelessness, which is only a small fraction?
- Pacific Palisades Community Council: Since Veterans are not the only group suffering from homelessness, how will the other groups be addressed, given that there are finite resources and funding available?
- West Los Angeles Neighborhood Council: The campus is in terrible shape and looks like a war zone. I sometimes speak to the homeless at 7-11. I've asked the homeless Veterans why you don't go to VA. They say there's no help for them there.
- West Los Angeles Neighborhood Council: The downtown area carries the burden of homelessness. I adopted a girl who was homeless and living on Skid Row. I witnessed the damage on a person from homelessness. It is huge, and making people sleep on the street is immoral. VA should not just give the Veterans a key to a house.
- Brentwood Homeowners Association: Master Plan should consider long-term, but not permanent, therapeutic, supportive housing with a goal of helping Veterans return to their communities as solid citizens, gainfully employed, living independently or with their families, with restored dignity.
- West Los Angeles Neighborhood Council: West LA Police Department uses PATH when they come in and clean up an area of homeless people.
- West Los Angeles Neighborhood Council: We must get the Homeless Veterans out of Skid Row.
- West Los Angeles Neighborhood Council: The nation is in a state of emergency of homeless Veterans and we must get them off the streets. Why can't we put up tents for the homeless?
- West Los Angeles Neighborhood Council: When talking to the homeless, they say that there is no help at VA.
- Westwood Community Council: How many homeless Veterans are there in Los Angeles?
- Westwood Community Council: Will all of them be housed on the West LA VA campus?

Elected Officials

- LA Mayor Garcetti Briefing: Housing First approach
- LA Mayor Garcetti Briefing: What is the number of vulnerable Veterans?
- LA Mayor Garcetti Briefing: We like the idea of creating a model of homeless Veterans housing community on the campus, not necessarily forcing to place as many people as possible on the campus.

Campus Infrastructure Veterans Service Organizations

- VSO Coalition: The Master Plan team needs to take into consideration using all the areas: Brentwood School, all recreation spaces, Salvation Army area, drilling zones
- VA Homeless Programs Summit: We need better circulation and access for wheelchairs and Veterans who ride their bikes to and from the campus
- VA Homeless Programs Summit: Open space is key

Community Groups

- Pacific Palisades Community Council: The park on the West LA VA campus is not Veteran-centric.
- Pacific Palisades Community Council: What will happen to the area of the campus that is not just for Veterans use (the post office, park, etc.)?
- West Los Angeles Neighborhood Council: The campus has a lot of open spaces and parking lots that can be used to build housing for Veterans.
- Westwood Community Council: There are a lot of ignored, vacant lots with a lot of cement

around the campus.

- Westwood Community Council: Will there be more infrastructure construction around the area even with all the density and sensitive areas?

Elected Officials

- LA Mayor Garcetti Briefing: Keep in mind the Brentwood Community Plan when developing this property. Please try to be complementary to the goals of that plan.

Services and Programs

Veterans Service Organizations

- LA Veterans Collaborative: Wants to see a work source/employment center on-campus – open to all Veterans to advance their employment. Unused areas on the campus that need to be activated.
- Want to see implementation of more peer support specialists working with Veterans there. Takes Veterans time to demilitarize to be more social – need this support on-campus.
- LA Veterans Collaborative: Employment and more services on-campus theme we have heard throughout.
- LA Veterans Collaborative: Organizations that may not have the resources in place – will there be a bidding process for organizations that want to help with certain services?
- VSO Coalition: Needs to be a location of service organizations central to campus so Veterans can do a “one-stop shop” for their questions and needs
- VSO Coalition: There is a need for long term care (24 hour nursing) near the Veterans home and support
- VSO Coalition: Educational / vocational services – certifications
- VSO Coalition: Clothing – area for donations, retail space for display
- VA Homeless Programs Summit: We need to offer life skills class to teach things like how to manage a household budget
- VA Homeless Programs Summit: A Post Office; so Veterans can receive their own mail and securely receive important documents such as birth certificates
- VA Homeless Programs Summit: Evening education and training center
- VA Homeless Programs Summit: Revitalize the theaters and use the Hollywood community for actors workshops and performances
- VA Homeless Programs Summit: Tai Chi program;
- UCLA does for free with non-profits
- VA Homeless Programs Summit: Let’s start a culinary training program with Chef Derek from the show Chopped
- VA Homeless Programs Summit: Healthy cooking class
- VA Homeless Programs Summit: Rehab center for geriatric Veterans
- VA Homeless Programs Summit: Partner with animal rescue organizations
- VA Homeless Programs Summit: Wellness programs for staff
- VA Homeless Programs Summit: Yoga

Community Groups

- Pacific Palisades Community Council: Are there any dental services currently available in VA?
- Pacific Palisades Community Council: What are the types of outreach programs does VA have in the Pacific Palisades area?
- West Los Angeles Neighborhood Council: Recently at the “10,000 Strong” Veterans Career Summit, 5,000 Veterans were hired and were linked to potential employers.

- Events like these help to transition military skills into the civilian workforce.
- West Los Angeles Neighborhood Council: Most Veterans live in fear of losing their benefits.
 - West Los Angeles Neighborhood Council: Will the campus stay clean and sober? Will the clean and sober people be living across the hall from drug addicts?
 - West Los Angeles Neighborhood Council: Services on-campus are being offered to non-profits and the Veterans are herded like cattle.
 - Westwood Community Council: For Veterans with families, will there be amenities for the whole family (i.e. preschool)?
 - Westwood Community Council: Will farming and landscaping still be available for the Veterans?
 - Westwood Community Council: Will the Master Plan include outsourcing support groups?
 - Westwood Community Council: There should be educational programs such as gardening, expertise etc.. for the Veterans and leverage outside community resources for the Veterans.
 - Westwood Community Council: Practicality of the housing must be met (there aren't any kitchens in some of the homes), and the Master Plan should also plan the little things like benches, water fountains and so on.
 - Westwood Community Council: Services should also include teaching not just recreational tasks like gardening but also employable technical skills that are more practical.
 - Westwood Community Council: The Brentwood Theater and other facilities should be used for occupational therapy.
 - Westwood Community Council: There needs to be a facility for clueless civilian caregivers of the Veterans and recognize that the Veterans' culture is different from civilians'. Most programs for caregivers are only provided for post-9/11 Veterans and that should be changed.
 - Westwood Community Council: There should be training for the police and NAMI (National Alliance on Mental Illness) to bring in the mentally ill without having to use any arms.
 - Brentwood Homeowners Association: An important part of the Master Plan Process for the West LA campus should be a thorough analysis of the extent offers of housing have not been accepted before now, and what will be the specific elements of the Master Plan that are expected to result in a different response.

Timeline

Veterans Service Organizations

- LA Veterans Collaborative: What is the timeline to announce what will actually happen on-campus and when does building actually start?

Community Groups

- West Los Angeles Neighborhood Council: What is the real actual timeline for the Master Plan?
- West Los Angeles Neighborhood Council: Since it is an emergency situation, VA must provide housing first fast and get people onto the campus.

Land Leases

Veterans Service Organizations

- Old Veterans Guard: UCLA is spending hundreds of thousands of dollars, if not millions, to rebuild their baseball diamond while thousands upon thousands of homeless Veterans live on the dangerous streets of Los Angeles.
- Old Veterans Guard: Nowhere is there any mention of EUL's in the settlement agreement.

Community Groups

- Pacific Palisades Community Council: Will VA extend any existing leases of land and buildings for the sake of generating revenue?
- Westwood Community Council: No long-term leases or selling the land.
- Westwood Community Council: What will happen to the other facilities that aren't currently used solely for the Veterans?
- Westwood Community Council: The mistrust of politicians and VA from Veterans are well-deserved as enhanced-use leases have no benefits at all to the Veterans.
- Brentwood Homeowners Association: The Master Plan should clarify and declare that there is no excess property at the West LA VA campus, and hence there should be no sale, exchange, or other disposition of VA land, and no commercial use or development on the campus.
- Brentwood Homeowners Association: Compliance with the National Environmental Policy Act is required in order to analyze the cumulative environmental impacts and ensure that significant impacts are mitigated.

Elected Officials

- VA Government Briefing: Will there be partnerships with other organizations for recreational and leisure activities on-campus?
- LA Mayor Garcetti Briefing: Mayor's office is strongly supportive of direction of providing permanent supportive housing. Need enhanced use lease authority, 75 year leases. Need support services authority
- LA Mayor Garcetti Briefing: Existing leases – campus deeded to Veterans and will be used for Veteran direct benefit. Veteran centric activities will be on the campus, Non Veteran centric activities will not be on the campus
- LA Mayor Garcetti Briefing: Master Plan process will help inform leases moving forward. City would like to be notified of direction on leases
- LA Mayor Garcetti Briefing: What is the status of legislation? We are very interested in supporting. We need enhanced use lease authority. We need to look at what services will be provided

UCLA

Veterans Service Organizations

- Old Veterans Guard: UCLA is spending hundreds of thousands of dollars, if not millions, to rebuild their baseball diamond while thousands upon thousands of homeless Veterans live on the dangerous streets of Los Angeles.

Community Groups

- West Los Angeles Neighborhood Council: What will happen to the UCLA baseball diamond?
- West Los Angeles Neighborhood Council: What is UCLA's role in the Master Plan?

Process Questions Community Groups

- West Los Angeles Neighborhood Council: How is the Master Plan team documenting this feedback?
- Brentwood Community Council: Will the data assembled be available online? Will VA accept input from the community continuously over the years?
- West Los Angeles Neighborhood Council: Is the meeting being recorded? Is someone taking notes?

Elected Officials

- VA Government Briefing: What is the exact process with the Master Plan?
- VA Government Briefing: How will the project be phased?
- VA Government Briefing: Establish goals, existing conditions
- VA Government Briefing: Parallel process of operational and physical study
- LA Mayor Garcetti Briefing: Copy of EUL language

Miscellaneous*Veterans Service Organizations*

- VSO Coalition: Continuance of the implementation is important – should be a committee to be the watchdog

Community Groups

- Brentwood Community Council: What makes VA Master Plan team think that this Master Plan will be successful?
- Brentwood Community Council: What is the actual Master Plan?
- Pacific Palisades Community Council: Will there be requirements (i.e. drugs, mental health) for Veterans to stay in permanent housing?
- West Los Angeles Neighborhood Council: The Veterans Park Conservancy Group are developers who are trying to steal the land.
- West Los Angeles Neighborhood Council: HUD- VASH housing steers the Veterans far away from the campus and they can't get to the campus.
- West Los Angeles Neighborhood Council: VA should not be using Veterans property and profiting from it.
- West Los Angeles Neighborhood Council: There is no system where low-income housing must go to the Veterans.
- Westwood Community Council: The bird conservatory for Veterans should be continued.
- Westwood Community Council: Will the MTA be involved in any capacity?
- Westwood Community Council: What will happen to the campus if we don't "clean-up" the campus of drugs?

Elected Officials

- VA Government Briefing: Will this Master Plan for the West LA VA affect the Sepulveda VA?
- VA Government Briefing: Will the facilities in other counties near Los Angeles be used for transitional housing?
- LA Mayor Garcetti Briefing: Review the Brentwood Community Plan, San Vicente Corridor Plan for land use concepts that should complement the Master Plan.

Recommendations

- As the master planning process moves into the next phase, outreach to stakeholders should focus on and communicate answers to key questions related to the scope of the project (i.e. number of Veterans potentially housed, specifications related to land use). If these details are not available, outreach should seek to provide clarity about when they will become available and what type of feedback is desired at the next stage would be helpful.
- Stakeholders from areas throughout LA County and Ventura County are interested in participating in the master planning process. To make the sheer size of the target audience more manageable, seek help from elected officials and community leaders to help with information sharing. Empower and equip them with sufficient information to present key data and obtain feedback.
- Adhere to the best practice of providing no less than two weeks notice for meetings and events.
- Provide key data points on the project website, continue gathering stakeholder contact information and respond to stakeholder inquiries online and via hotline.
- Conduct meetings in an open-house format to allow for information sharing and enhanced dialogue.
- Provide updates to key stakeholder groups via presentations on a quarterly basis and via bi-weekly emails at minimum.
- Organize a campus tour and individual briefings with media throughout the project area so they can help spread the word.
- Provide a feedback loop with stakeholders, provide a report back of comments gathered, and present online in a visual and searchable format.
- Keep all VA internal stakeholders up to speed about project milestone.

Additional Stakeholder Meeting Notes and Materials

See Appendix F. Stakeholder Engagement Attachment on the following pages for additional notes and materials from the stakeholder meetings.

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The purpose of this session was to introduce the Urban Master Planning Team.

| Item | Discussion | Action |
|------|---|-------------|
| 1 | <ul style="list-style-type: none"> • Introductions of the offices of: Senate, Congressman/woman, State Senators, Assembly members, LA County Supervisors, LA Mayor, LA City Council, Dr. Jonathan Sherin, Matt Collier • Pledge of Allegiance • Rules of the Evening: Be polite and courteous, speak one at a time, no personal information revealed • Introduction of VISN 22 Director Marie Weldon • Introduction of Acting Director GLA Michael Murphy • Introduction of Director Vince Kane – provided an overview of the action the VA is taking to address homeless issues announced award of Urban Master Plan to the HOK/Walsh/Core Team | Information |
| 2 | <ul style="list-style-type: none"> • Introduction of Cynthia Keeffe – HOK <ul style="list-style-type: none"> ○ Thanked Veterans for their service and making sure they are a part of the process ○ Explained how the process will unfold with opportunities for housing, health, and social components ○ Explained that each Team Member has experience with the WLA Campus ○ Introduced the HOK Design Team – Steve Morton and Willie Nishizawa ○ Introduced the Walsh Team – Michael Zari and Donald Wetzel • Introduction of Karen Wise - Anka <ul style="list-style-type: none"> ○ Explained their experience with behavioral health for Veterans ○ Their role is to advise and provide input for the design to help benefit Veterans • Introduction of Robert Chattel - Chattel <ul style="list-style-type: none"> ○ Explained their experience on the WLA campus and role providing historical input for the urban design • Introduction of Jason Smith – Castle Rose (SDVOSB) <ul style="list-style-type: none"> ○ Explained that their role is to determine any environmental impact with the new urban design • Introduction of Andrea Campbell - Consensus <ul style="list-style-type: none"> ○ Their job is community outsource – to find ways to engage entire community, including Veterans, campus neighbors, and interested parties • Introduction of Steve Downs – Michael Baker International <ul style="list-style-type: none"> ○ Explained they would be responsible for the archival civil scope and input to the Urban Master Planning Team • Introduction of Diane Skidmore – Crain and Associates <ul style="list-style-type: none"> ○ Responsible for traffic and parking studies ○ Experience on the West LA campus, Healthcare and VA facilities ○ Existing Space Utilization Plan provides all parking information and they will be updating changes to the existing Plan • Introduction of Hinman – Physical Security (WOSB) <ul style="list-style-type: none"> ○ <i>Not represented at this meeting</i> • Introduction of Ian Slight – Saylor Consulting (DVBE) <ul style="list-style-type: none"> ○ Will be responsible for the cost estimating | Information |

| | | |
|---|---|--|
| | <ul style="list-style-type: none"> • Cynthia Keeffe – HOK <ul style="list-style-type: none"> ○ The Team is not starting this project with any preconceived ideas ○ There will be community meetings each month ○ A live video stream will be available ○ Several meeting with key Stakeholders – Veterans are the #1 Stakeholder ○ Visioning sessions – what is the vision of the Veteran for the campus ○ What services are needed ○ What is the population of the Campus ○ Develop an operational program – what type of housing is needed ○ Integrate services on Campus <ul style="list-style-type: none"> ✓ Home Health ✓ TeleHealth ✓ Primary Care ✓ Acute Care ✓ Emergency Department ○ Identify goals – filter decisions for final Master Plan • Steve Morton and Willie Nishizawa – HOK <ul style="list-style-type: none"> ○ Discussed the master planning process – 6 stages of work for basis of decisions <ul style="list-style-type: none"> ✓ Work Stage 1 – Project Initiation and Kick Off, 4 weeks ✓ Work Stage 2 – Data Collection, Site Visit and Site Analysis, 4 weeks ✓ Work Stage 3 – Master Plan Frameworks and Case Studies, 3 weeks ✓ Work Stage 4 – Preferred Master Plan and Diagrams, 3 weeks ✓ Work Stage 5 - Final Master Plan and Diagrams, 2 weeks ✓ Work Stage 6 – Final Master Plan Report, 1-2 weeks • Donald Wetzel and Michael Zari - Walsh <ul style="list-style-type: none"> ○ Discussed the goals of enhanced use lease approach <ul style="list-style-type: none"> ✓ Get the money for 150 units as in initial start ✓ Build the affordable housing – permanent long term housing ✓ 75 year lease ✓ Will help decide the number and type of units to be built ✓ There is an assumption that legislation will be in place to move forward ✓ Will explain the complexity of the financing, understanding the goals ✓ Will be a public/private collaboration • Cynthia Keeffe – HOK <ul style="list-style-type: none"> ○ Thanked everyone, introduced Michael Huff who led questions and comments | |
| 3 | <ul style="list-style-type: none"> • Michael Huff – Communications for VA <ul style="list-style-type: none"> ○ Started the list of participants that wished to speak • John Keaveny <ul style="list-style-type: none"> ○ Campus is a dark place to come, wants the Chapel to be the first item refurbished ○ 3,000 Veterans need permanent housing ○ Self-sustaining community | |

| | | |
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| | <ul style="list-style-type: none"> ○ Does not like the enhanced lease ○ Wants Veterans to have veto power on all items ○ Job program • Earl Grissiom <ul style="list-style-type: none"> ○ Church must be a priority • Joe Adaminski <ul style="list-style-type: none"> ○ Who is the veteran community? Individual vets? Service groups? <ul style="list-style-type: none"> ✓ Vince Kane responded – all of the above, feedback from everyone and relayed back to everyone ○ Get the Veterans off the street • Mike McClain <ul style="list-style-type: none"> ○ Chapel is very important ○ He was homeless, can relate to the Vets out there • John Aaron <ul style="list-style-type: none"> ○ Disturbed by the lack of emergency housing, food and healthcare for Veterans ○ Why not have temporary facilities now? ○ Enhanced use lease could be illegal • Aretta Gottke <ul style="list-style-type: none"> ○ Inclusion is key ○ Need to have women, single parent families input ○ No sense of trust yet, need actual engagement from teams ○ B209 is seriously problematic for wheelchair people ○ Teams should think about hiring Veterans ○ Communication • Elizabeth Shaddix <ul style="list-style-type: none"> ○ Swimming pool for water therapy ○ Safety – lights, emergency phones, etc • Francisco Juarez <ul style="list-style-type: none"> ○ Applauds the team that has been put together ○ Veterans need to be included, want to be at the table ○ Veterans are all together on this project ○ Veterans Board of Governors should oversee the process • Ernie Hilger <ul style="list-style-type: none"> ○ The land must be used for Veterans as intended ○ Annenberg Paper – design team needs to review ○ Ask the Veteran – practical common sense issues that the Vet faces ○ Think out of the box ○ To Jason Smith – are you aware of the oil being pumped on this campus? Get educated. • Ernest Cowell <ul style="list-style-type: none"> ○ Hearing questions to the panel, but no answers ○ All talk, no action ○ Where did all the lease money go from car rental, bus rental, etc? <ul style="list-style-type: none"> ✓ Vince Kane responded – VA is addressing leases, if not part of the master plan they will be leaving. It is process • Mitchell Martin <ul style="list-style-type: none"> ○ Accessibility is non-existent on the Campus now ○ <i>Issues not related to the Urban Master Plan</i> <ul style="list-style-type: none"> ✓ <i>Vince Kane responded – We say Veterans first, but opportunities get missed</i> • Watson | |
|--|--|--|

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| | <ul style="list-style-type: none"> ○ <i>Issues not related to the Urban Master Plan</i> <ul style="list-style-type: none"> ✓ <i>Vince Kane responded – Will be addressed first thing in the morning</i> ● Charlotte <ul style="list-style-type: none"> ○ Nothing about immediate relief housing for the homeless/disabled ○ Veteran owned contractor should do the project building ○ What is the timeline? ○ <i>Issues not related to the Urban Master Plan</i> <ul style="list-style-type: none"> ✓ <i>Vince Kane responded – Tonight was to introduce the Team, not go thru problems of the homeless</i> ● Michael Gannon <ul style="list-style-type: none"> ○ More Veterans involved in the process ○ Veterans hired by Team ○ Look into the Helmets into Hardhats program ● Robert Rosebrock <ul style="list-style-type: none"> ○ <i>Issues not related to the Urban Master Plan, referred to VA personnel</i> ● Salvatore Grammatico <ul style="list-style-type: none"> ○ Make an environmental impact study ○ Address nuclear dump ○ Address homeless problem as a whole ○ Money should go to VA, not a developer ● Vince Kane - VA <ul style="list-style-type: none"> ○ Heard loud and clear that VA needs to address the urgency of the homelessness ○ Tonight was to make introductions and start the process ○ Thank you for coming | |
| | <ul style="list-style-type: none"> ● Attendees <ul style="list-style-type: none"> ○ Community Members (117) ○ Veterans (10) ○ Elected Official Staff (12) ● Speakers <ul style="list-style-type: none"> ○ Community Members (18) ○ Veterans (10) | |

END OF DISCUSSION



West Los Angeles Urban Master Plan
Contractor Community Kick-off
Tuesday, June 23, 2015

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Elected Officials

| Name | Organization | Address | Phone | E-mail |
|--------------------------------|--|---------|-------|--------|
| Joseph Camp | CD11 - Councilmember Bonin's Office | | | |
| PATRICIA PUGLIESE | CSL | | | |
| Gemma Jimenez | Congressman Beerra | | | |
| Sharon Shapiro | City of LA - Councilman Bonin | | | |
| Trevor Daley State Director | US Senator Dianne Feinstein | | | |
| Nicolas Rodriguez | Senator Boyer | | | |
| Kristine Hesse | District 1 Sulis | | | |

Joseph Chicas Mayor Garcetti's off



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Elected Officials

| Name | Organization | Address | Phone | E-mail |
|----------------|--|------------|------------|------------|
| Janet Turner | Congressman Ted Lieu | [REDACTED] | [REDACTED] | [REDACTED] |
| Joan Pelico | COUNCILMAN PAUL KORETZ | | | |
| ANTONIO CHAPA | LA COUNTY VETERANS' ADVISORY COMMISSIONER 1ST DISTRICT | | | |
| Norman Kulla | Councilman MIKE BONINI | | | |
| Sarah Scott | City of Santa Monica | | | |
| Brian Clavidia | CONGRESSMAN TERRY CARDENAS | | | |
| Brian Campbell | Rancho Palms Vets | | | |



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| Name | Organization | Address | Phone | E-mail |
|--------------------|--|---------|-------|--------|
| David Houda | CSH | | | |
| Larry Williams | New Directions | | | |
| Laura Lake | Coalition for Veterans Mullen House | | | |
| Flora Gil Krisloff | public | | | |
| Whitney Howard | Pathways National | | | |
| DAVID BISCHOFF | N/A | | | |
| Judy Leonard | Vet | | | |



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| Name | Organization | Address | Phone | E-mail |
|---------------------|--------------------------|---------|-------|--------|
| Lanell Garrett | MSA - VA Union - Rep. | | | |
| DAMI Olufowoshe | City Lab | | | |
| Eric Greier | Metro | | | |
| CAROLYN Williams | Business Office | | | |
| VERSHEL COSBY | Domiciliary SUC | | | |
| MEHRDAD FARIVAR | - | | | |
| | | | | |



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| Name | Organization | Address | Phone | E-mail |
|-------------------------------|---------------------------------|---------|-------|--------|
| MITCHELL MARTON | USA | | | |
| SANDY BROWN | HOLMBY WESTWOOD, POA | | | |
| RICHARD BANDINI JOHNSON | BANDINI FD | | | |
| FRANK FRAZIE | SANTA MONICA EIKS 906 | | | |
| Michelle Hildy | VIA | | | |
| MICHAEL F. ROSS | BRENTWOOD GREEN HOMEOWNER | | | |
| Nicole Zed | VASH | | | |

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| Name | Organization | Address | Phone | E-mail |
|---------------------|---|------------|-------|--------|
| Jack Godwin | citizen | [REDACTED] | | |
| ERNE Hilge | DAV Chapter 13 | | | |
| STEVE MCCLINTOCK | MEMBERS OWNER OF BREWSTER VILLAGE | | | |
| Sierra deSousa | UCLA Daily Bruin | | | |
| Bob Pratt | UOA LA | | | |
| FRANK COWELL | LANC AL POST 283 | | | |
| Carolina Barrie | | | | |



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| Name | Organization | Address | Phone | E-mail |
|--------------------|------------------------------|---------|-------|--------|
| Herson J Hernandez | American GE Forum | | | |
| Kathleen Hadfield | - longtime westside resident | | | |
| SEAN Blachow | | | | |
| Robert Rojas | Veteran | | | |
| Tazmin Bolanos | VA | | | |
| Alex Shueby | vet | | | |
| ISAAC CARROLL | VA | | | |

gmail



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| Name | Organization | Address | Phone | E-mail |
|--------------------------|--|------------|------------|------------|
| Elizabeth Shaddix | 4018 AL 413 State VFW Amvets 2 4018 DAV # 123 Vol 147 | [REDACTED] | [REDACTED] | [REDACTED] |
| CHAPLAIN DOV COHEN | VIP Post 1 | | | |
| David Hoff | GLA | | | |
| Timothy Duff | VPC | | | |
| Jim & Constance Demerise | Bandini Foundation | | | |
| Kay Messers | VA | | | |
| Beverly Rosen | BANDINI FOUNDATION HEROES GOLF COURSE | | | |

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| Name | Organization | Address | Phone | E-mail |
|------------------|-----------------------------------|---------|-------|--------|
| JAMES MADDOX | VIETNAM VETERANS OF AMERICA | | | |
| CHARLES KIBBY | PRESERVATION ARTS | | | |
| LISA Roth | VA | | | |
| HY ARNETHY | JEWISH WAR AMERICAN LEGION | | | |
| Fran Lippman | | | | |
| David Licker | | | | |
| Adam Kay | Brentwood School | | | |



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| Name | Organization | Address | Phone | E-mail |
|-------------------------|--------------------------------|---------|-------|--------|
| Jonathan Castillo | PATH | | | |
| Scott Kafman | BHA | | | |
| Pilar Buelna | The Salvation Army | | | |
| Arzenia Redcross | VA | | | |
| Ryan Lydia Mylsark | VA | | | |
| Katie Viventi | New Directions for Veterans | | | |
| SALVATORE GRAMMATICO | | | | |



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| Name | Organization | Address | Phone | E-mail |
|------------------------------|---------------------------------|---------|-------|--------|
| Jean Sedillos | Bobby Shriner rep. | | | |
| William Daniels | VA | | | |
| Niti Anand | VA | | | |
| RICHARD DAVIS | UNITED NATIONS BEVERLY HILLS | | | |
| PERRY DILLER | 1988 FUND | | | |
| J. Post | VA | | | |
| CAM GORE Chore | VA | | | |



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| Name | Organization | |
|------------------|----------------------------------|------------|
| Sheryl Harris | | [Redacted] |
| Maurice Polier | Barrington Pl. Group LLC | |
| Keith Tarkenton | W.VA Faculty | |
| Paul Puzan Ghedo | TEAM E.D. | |
| MIKE METCALFE | WESTWOOD COMMUNITY COUNCIL | |
| Chandler McCoy | — | |
| Kirk Rose | HMC Architects | |
| Julian Manalo | CAL VET WEST LA | |

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Elected Officials

| Name | Organization | Address | Phone | E-mail |
|---------------------|-------------------------------------|------------|------------|------------|
| Michael J. McLean | Veterans Advocacy Group | [Redacted] | [Redacted] | [Redacted] |
| Rex Keen | National Cemetery Administration | | | |
| JOHN AARON | self Vietnam-era veteran | | | |
| Francisco Juarez | veteran at LARGE | | | |
| Hector Ortiz | AECOM | | | |
| Dick Littlesome | | | | |
| Scott Selby | | | | |



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general public

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~~Elected Officials~~

| Name | Organization | Address | Phone <i>private</i> | E-mail |
|-------------------|---------------------------------------|------------|----------------------|------------|
| Arelle Gottke | WLA, VA, HCS WOMEN VETERAN PATIENT | [REDACTED] | [REDACTED] | [REDACTED] |
| JAN BRUBER | | [REDACTED] | [REDACTED] | [REDACTED] |
| Patricia J. Cawth | | [REDACTED] | [REDACTED] | [REDACTED] |
| Bridget Stermer | Veteran Advocate, Inc. | [REDACTED] | [REDACTED] | [REDACTED] |
| WATSON | VA Patient | [REDACTED] | [REDACTED] | [REDACTED] |
| B. Guze | VA | [REDACTED] | [REDACTED] | [REDACTED] |
| S. RESNICK | WHA | [REDACTED] | [REDACTED] | [REDACTED] |
| O'MEARA, Emmett | VBA | [REDACTED] | [REDACTED] | [REDACTED] |



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| Name | Organization | Address | Phone | E-mail |
|-----------------|------------------------------|------------|------------|------------|
| Ben Rosen | Mercy Housing | [Redacted] | [Redacted] | [Redacted] |
| Ed Hilder | x | [Redacted] | [Redacted] | [Redacted] |
| Jean Abrahamson | Jefferson Institute | [Redacted] | [Redacted] | [Redacted] |
| Sue Santon | UCLA | [Redacted] | [Redacted] | [Redacted] |
| Julie Freedman | Coalition for Veterans Funds | [Redacted] | [Redacted] | [Redacted] |
| Sam Kembens | Vet | [Redacted] | [Redacted] | [Redacted] |
| Chris Joyce | VA | [Redacted] | [Redacted] | [Redacted] |



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| Name | Organization | Address | Phone | E-mail |
|--------------------|-------------------------------|------------|------------|------------|
| Andrew Carrillo | Bendini Foundation | [Redacted] | [Redacted] | [Redacted] |
| Karen Perea Gannon | Community Veteran Family | [Redacted] | [Redacted] | [Redacted] |
| Michael Gannon | Community Veteran Family | [Redacted] | [Redacted] | [Redacted] |
| Jennifer Karp | VA GLA | [Redacted] | [Redacted] | [Redacted] |
| DAN SWIENTON | CFM | [Redacted] | [Redacted] | [Redacted] |
| Curtis Mack | VPC | [Redacted] | [Redacted] | [Redacted] |
| Wendy-Sue Rosen | Brentwood Residents Coalition | [Redacted] | [Redacted] | [Redacted] |



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| Name | Organization | Address | Phone | E-mail |
|---------------|----------------------|------------|------------|------------|
| Erin Gray | UCLA | | [REDACTED] | [REDACTED] |
| Scott MALSIN | 54TH AD | [REDACTED] | [REDACTED] | [REDACTED] |
| Norman Abrams | UCLA | [REDACTED] | [REDACTED] | [REDACTED] |
| [Signature] | Self | [REDACTED] | [REDACTED] | [REDACTED] |
| Ann Scully | SM cebs SM Enhler | [REDACTED] | [REDACTED] | [REDACTED] |
| Mike Page | Westside Breakers | [REDACTED] | [REDACTED] | [REDACTED] |
| JOE ADAMS/ET | UAS INC. | [REDACTED] | [REDACTED] | [REDACTED] |



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| Name | Organization | Address | Phone | E-mail |
|----------------|---|------------|------------|------------|
| Ted Hayes | / | [REDACTED] | [REDACTED] | [REDACTED] |
| KYLE ORLEMANN | CITY OF HAWTHORNE VET. AFFAIRS COMM AVVA - So Bay Liaison | [REDACTED] | [REDACTED] | [REDACTED] |
| Anthony Chia | Cerritos ASSOC. | [REDACTED] | [REDACTED] | [REDACTED] |
| Bob Friedman | VA | [REDACTED] | [REDACTED] | [REDACTED] |
| [Signature] | | | | |
| Claire Bowlin | Los Angeles Dept of City Planning | [REDACTED] | [REDACTED] | [REDACTED] |
| Stephanie Reid | resident | [REDACTED] | [REDACTED] | [REDACTED] |



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| Name | Organization | Address | Phone | E-mail |
|----------------|----------------------|------------|------------|------------|
| JOSHUA GREEN | MADEUILLE FOUNDATION | [REDACTED] | [REDACTED] | [REDACTED] |
| Rochelle FLS | Metabolic Studio | [REDACTED] | [REDACTED] | [REDACTED] |
| Gary Clouse | Westside Breakers | [REDACTED] | [REDACTED] | [REDACTED] |
| MILO PEINSMANN | NDVETS | [REDACTED] | [REDACTED] | [REDACTED] |
| Kyle Smith | Salvation Army | [REDACTED] | [REDACTED] | [REDACTED] |
| Martin KLEE | MERCY HOUSING | [REDACTED] | [REDACTED] | [REDACTED] |
| Susan Heldman | | [REDACTED] | [REDACTED] | [REDACTED] |



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| Name | Organization | Address | Phone | E-mail |
|--------------------|-------------------------|------------|------------|------------|
| Joseph Cuevas | Mayor Garcetti's office | - | | [Redacted] |
| Nick | UWS | [Redacted] | | |
| Audrey Pind | | | [Redacted] | |
| ANABEL SANTHEZ | ORINATION ARMY HAVEN | [Redacted] | | |
| ISAAC CALADON | | | [Redacted] | |
| BRIAN WILKINSON | | | | |
| | | | | |



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|------------------|-------------------|------------|------------|------------|
| Tavi Reinis | | [REDACTED] | [REDACTED] | [REDACTED] |
| SBO Hall | Brentwood News | | [REDACTED] | |
| Arthur Allman | POS REP | | [REDACTED] | |
| | | | | |
| | | | | |
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T. Dywon Glenn

Education Director

Los Angeles Chapter

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F: 866-512-0515

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Eric Geier

Community Relations Manager

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Metropolitan Transportation Authority**



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Long Beach, CA 90809-9355

www.SalvationArmy-SoCal.org

The Salvation Army

Southern California Divisional Headquarters

Pilar Buelna, MSW / LCSW

Executive Director of Social Services

Phone: 562.264.3628

Fax: 562.264.3728

email: pilar.buelna@usw.salvationarmy.org

CHAPLAIN DOV COHEN

Department Chaplain CA JWV

CA Institution for Women Chaplain

VIP POST#1 (Veterans In Prison)

Veterans Holiday Celebration Board

Los Angeles National Cemetery Board

ACCESS Transportation CAC Chair

chaplaindov@aol.com

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MEETING MINUTES

SUBJECT: Community #2 meeting
Meeting Date: July 23, 2015
Meeting Time: 1:30 pm to 3:30 pm
Location: VA Sepulveda Campus
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the Community comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Introduction of the Master Plan Team <ul style="list-style-type: none"> ✓ Vince Kane, VA ✓ Jon Sherin, Plaintiff Representative ✓ Dr Dean Norman, VA ✓ Michael Huff, VA ✓ Cynthia Keeffe, HOK ✓ Michael Murphy, VA ✓ Theresa DiMaggio, VA ✓ Charles Green, VA • Michael Murphy introduced himself as the acting director of the GLA system, explained what the campus is doing for the homeless – open B209 and B257, making it easier to get help • Vince Kane explained what the VA is doing for the homeless <ul style="list-style-type: none"> ✓ Street outreach ✓ Transitional housing ✓ The desire to get everyone into permanent housing ✓ Addition of bridge / emergency beds • Jon Sherin explained the new VA outlook, the new direction GLA is moving. The collaboration of VA and local housing agencies and the chance to give Veterans education legal information, etc • Cynthia Keeffe explained the Master Plan process | Information |
| 2 | <ul style="list-style-type: none"> • Opened up the floor for comments and questions from the Community <ul style="list-style-type: none"> ✓ How will the VA help with permanent move in – bad credit, etc? <ul style="list-style-type: none"> ○ Vince response: VA is helping with deposits, getting legal resources to help ✓ How will the VA maintain the Veteran after bringing them off the street, what will keep them from ending up back on the street? <ul style="list-style-type: none"> ○ Vince response: VA has added employment specialists to the team ✓ How will you get young Veterans out of the campus housing, support? <ul style="list-style-type: none"> ○ Vince response: Education, training, recreation ○ Dr Norman response: Medical services, yoga, etc ○ Jon response: VA must create opportunities for the Veterans – not just services or training ✓ What is the percentage of Veterans hired by the VA? What is | Information |

| | | |
|--|---|--|
| | <p>the oversight of the service organizations?</p> <ul style="list-style-type: none"> ○ Vince response: 30% overall Veteran employees, service providers do not get paid until service is rendered ✓ Is the best way to engage with the Master Plan team the open house? ✓ What are some of the educational programs going to be, Masters etc. ✓ Need more Veteran centers on college campuses <ul style="list-style-type: none"> ○ Charles response: VA has an outreach program for all college campuses ✓ Landlords need to respect the Veterans money ✓ Actors Veterans Action Alliance <ul style="list-style-type: none"> ○ Acting for suicide prevention ○ Outreach to homeless ✓ Clear the field of non-profit services that are not performing. Should have legal services collaboration with UCLA, USC, etc. like the medical side of the VA ✓ Provide safe housing for women away from other population ✓ Female Veterans need help – treat the women Veteran differently from other Veterans. Women need tailored specific treatment ✓ VA needs to prepare out coming Veterans better ✓ Where is the money, reports ect. For the non-profits? <ul style="list-style-type: none"> ○ Vince response: Grant program has oversight by VA ✓ Why not help the Veteran before they are homeless? <ul style="list-style-type: none"> ○ Vince response: VA is building support systems to keep Veterans from being homeless ✓ Are there after hours services available? Is there a way to match homeless Veterans without identity paperwork to someone that can help? Is there some way the Veteran can get help doing resumes – access to computers etc? <ul style="list-style-type: none"> ○ Dr Norman response: There are people and phone numbers available. The welcome center will be 24/7 and the outreach has been ramped up ✓ Create a way to get ALL Veterans to come to the campus. Engage brands like Gold's Gym, USAA, etc. Provide co-lodging facility ✓ How can the community / neighborhoods help? <ul style="list-style-type: none"> ○ Vince response: talk to your Representatives, etc | |
| | <ul style="list-style-type: none"> • Speakers <ul style="list-style-type: none"> ✓ Community Members (12) ✓ Veterans (10) | |

END OF DISCUSSION

MEETING MINUTES

SUBJECT: Community #3 meeting
Meeting Date: August 20, 2015
Meeting Time: 6 pm to 8:30 pm
Location: El Monte
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the El Monte Community comments, questions, concerns and input.

| Item | Discussion | Action |
|------|---|-------------|
| 1 | <ul style="list-style-type: none"> • Charles Green introduced key dignitaries and the Master Plan Team <ul style="list-style-type: none"> ✓ Andre Quintero, Mayor ✓ Hilda Solis, LA County Supervisor ✓ Ruth Wong, LA County Department of Veterans and Military Affairs ✓ Danielle Hannel, Homeless Services ✓ Michael Murphy, GLA ✓ Vince Kane, VA ✓ Jon Sherin, Plaintiff Representative ✓ Cynthia Keeffe, HOK • Michael Murphy welcomed everyone, introduced his staff members that were attending the meeting • Andre Quintero spoke about honoring Veterans • Hilda Solis spoke about homeless Veterans, the San Gabriel Veterans and what LA County is doing for the Veterans • Ruth Wong spoke about what the county Veterans and Military Affairs does for Veterans and their families • Danielle Hannel spoke on continuum of care for Veterans, ending homelessness • Jon Sherin spoke about the VA changing how they take care of the Veteran, everyone must participate in the process • Vince Kane introduced the Master Plan process and what the VA is doing to revitalize the Campus • Cynthia Keeffe explained what the Master Plan is and how HOK is engaging the community and Veterans | Information |
| 2 | <ul style="list-style-type: none"> • Opened up the floor for comments and questions from the El Monte Community <ul style="list-style-type: none"> ✓ How can service organizations get lists / names of homeless to the VA? <ul style="list-style-type: none"> ○ Danielle gave speaker her name and number ✓ The problem with the Master Plan is we don't live in West LA, we live in the San Gabriel Valley ✓ The Master Plan team has their hearts in the right place – how do the Veterans get to the services? ✓ What are the entities involved in the Master Plan? ✓ What are the checks and balances for the Master Plan? ✓ Have you reached out to the Veteran organizations? <ul style="list-style-type: none"> ○ Vince response: Team has met with all Veteran organizations in reference to the change in the VA | Information |

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| | <ul style="list-style-type: none"> ✓ Why are there no Veteran owned entities involved? ✓ The Veterans here do not have the UStream like Brentwood to view the meetings and plan progress ✓ Thank you for taking Veteran ideas for the Master Plan – make campus only for Veterans and closed to neighboring communities ✓ Veterans want all the west side amenities brought to the San Gabriel Valley ✓ VSO wants to continue their influence after the Master Plan is complete ✓ VA Long Beach and GLA need to communicate better ✓ Outside providers are not giving good care <ul style="list-style-type: none"> ○ Vince response: An audit will be done to make sure all providers give the Veterans quality care ✓ Veterans care needs to be the start of this change process – the VA medical system is broken ✓ Does UCLA get to keep the ballpark? ✓ How many on the panel are doing outreach? <ul style="list-style-type: none"> ○ Vince response: The team is doing outreach every day ✓ How is the VA going to bring the Veterans in for Housing? No services are available late night and on weekends <ul style="list-style-type: none"> ○ Vince response: The VA is ramping up to have bridge / emergency housing 24/7 ✓ Veterans need resources in the San Gabriel Valley ✓ VA should be 24/7 – being homeless on the weekend is a bad thing ✓ Partner with Metro to let Veterans use empty seats to get to West LA ✓ As long as the pattern of mistrust exists, nothing will change <ul style="list-style-type: none"> ○ Vince response: Understood, hopefully moving forward, the trust can be rebuilt ✓ Need housing for women, women with children, families with children, programs to put Veterans back to work, get Veterans certification for skills (electricians, construction, etc) ✓ How do you get people to respond to calls at service organization? ✓ Will there be an arts program in the Master Plan? A gallery for Veterans to show their artwork <ul style="list-style-type: none"> ○ Cynthia response: It is up to the Veterans if they want to have art programs and galleries to show their work ✓ What will the policy be for visitors to the campus visiting Veterans living there? ✓ Veterans need housing in El Monte ✓ Veterans must get involved | |
| | <ul style="list-style-type: none"> • Speakers <ul style="list-style-type: none"> ✓ Veterans (24) ✓ Community (1) | |

END OF DISCUSSION

MEETING MINUTES

SUBJECT: Community #4 meeting
Meeting Date: September 17, 2015
Meeting Time: 4:30 pm to 6 pm
Location: Long Beach
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Plan to Secretary McDonald and receive comments, questions, concerns and input.

| Item | Discussion | Action |
|------|---|-------------|
| 1 | <ul style="list-style-type: none"> • Private Meeting with Secretary McDonald, Marie Weldon, Dan Sweinton, John Dozois, Jon Sherin, GLA and HOK team members • Cynthia Keeffe briefed the Secretary on the Master Plan status and the plan to complete the submittal • Secretary McDonald responded with the following comments: <ul style="list-style-type: none"> ✓ The relationships with UCLA and USC are very important ✓ For all Veterans, a one-stop shop for all information is essential ✓ The Master Plan should have several mission statements <ul style="list-style-type: none"> ➢ Medical ➢ The Disabled ➢ The Homeless ➢ Etc ✓ UCLA medical is critical, USC to perhaps add more to the VA in the future <ul style="list-style-type: none"> ➢ Research ➢ Students becoming VA Residences ✓ How much of each kind of housing does the VA need? ✓ Include all of the VA entities in the report; Health, Benefits, Cemetery, etc. ✓ The plaintiff partners are equal partners with the VA – HOK must engage them in the process ✓ Veterans can teach at Brentwood School / Brentwood School can teach Veteran children | Information |
| 2 | <ul style="list-style-type: none"> • Town Hall starts with Rich Beam hosting • Louise Oliver welcomed everyone and explained what Century Villages at Cabrillo is about • Brian D'Andrea discussed the collaborations with others that help the Villages work • Brenda Threatt spoke on the collaborations that will help the homeless Veteran. US Vets is a one-stop shop organization • Long Beach Mayor Robert Garcia thanked the VA for helping the City of Long Beach with the homeless population • Sarah Mahin reported on the progress on ending Veteran homelessness in LA County <ul style="list-style-type: none"> ✓ 300 Veterans off the street each month ✓ Collaborations being used ✓ Bridge housing ✓ Community entry events | Information |

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| | <ul style="list-style-type: none"> ✓ Stand down scheduled ✓ Using data to ensure best resources are being used • Peter Lynn discussed the continuum of care – getting everyone connected to the people that can help. Targeting ineligible Veterans so they can receive housing • Secretary McDonald spoke about the Los Angeles homeless Veteran help is key to helping the entire country with the Veteran homelessness <ul style="list-style-type: none"> ✓ 5 Strategies for improvement <ul style="list-style-type: none"> ➢ Provide a better Veteran experience ➢ Provide a better employee experience ➢ Improve internal support services ➢ Change the culture ➢ Strategic partnerships • Greg Spiegel reported about the LA Mayor’s office working to help end homelessness for Veterans | |
| 3 | <ul style="list-style-type: none"> • Opened up the floor for comments and questions <ul style="list-style-type: none"> ✓ How can you let the public know the VA is working and helping the Veterans, stopping the negative publicity that is occurring? ✓ Help women Veterans to have their own space and be respected, better privacy for housing ✓ Once Veterans are in the programs, they are neglected ✓ Dental care is non-existent. Why won’t anyone help with dental care? | Information |

END OF DISCUSSION

MEETING MINUTES

SUBJECT: Community #5 meeting
Meeting Date: October 7, 2015
Meeting Time: 6 pm to 8 pm
Location: VA West LA
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the Community comments, questions, concerns and input.

| Item | Discussion | Action |
|------|---|-------------|
| 1 | <ul style="list-style-type: none"> • Charles Green introduced key dignitaries and elected official representatives • Paul Brockelman was introduced as the new interim Director of GLA • Cynthia Keeffe and Brian Jencek (HOK) presented the update to the Master Plan <ul style="list-style-type: none"> ✓ Cynthia thanked everyone that engaged and supported the planning effort <ul style="list-style-type: none"> ○ Veterans ○ VISN 22 ○ GLA ○ Vince Kane ○ Jon Sherin ✓ Cynthia reintroduced the Master Plan Team ✓ Cynthia discussed the process of gathering information for the Master Plan and the next step implementations needed to move forward ✓ Brian discussed the final Master Plan planning and design | Information |
| 2 | <ul style="list-style-type: none"> • Opened up the floor for comments and questions from the Veteran Community <ul style="list-style-type: none"> ✓ Impressed that the Plan has included everything the Veterans wanted ✓ What happens with the Ball Park and Chapel, etc? <ul style="list-style-type: none"> ○ Vince Kane response – all venues are being discussed and do not have anything to do with the Master Plan ✓ What building will be used for disabled Veterans? ✓ Be sure to follow ADA, run shuttles 6am to 10pm, use disabled feng shui, use golf carts for shuttling ✓ Are women Veterans being asked for input? <ul style="list-style-type: none"> ○ Cynthia Keeffe response – women organizations have been consulted ✓ Excited about input being used from Veterans and their families ✓ What happens after HOKs contract is over on October 15? <ul style="list-style-type: none"> ○ Vince Kane response – the Plan will be available for public comment and then implemented depending on legislation ✓ All Representatives should not back Senator Feinstein’s bill ✓ How is the VA going to get all Veterans a copy of the Plan | Information |

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| | <p>and let them comment?</p> <ul style="list-style-type: none"> ○ Vince Kane response – Federal website, VA will let the Veterans know when it is available by websites and print material ✓ Would like to see the Ball Pak and Golf Course stay ✓ No place for art in the Master Plan program. Build a space for art ✓ Open the gate at Constitution ✓ Will the Veterans living in tents be welcome on the campus? <ul style="list-style-type: none"> ○ Vince Kane response – outreach to homeless is ongoing ✓ UCLA statement – UCLA has been part of the VA for 70 years, they want to continue working with WLA. Written statement available from Vince Kane ✓ Will the dog park, golf course, etc be available to non-Veteran people? ✓ There needs to be a place to meet for non-housed Veterans that would like to use the facilities – theater groups, musicians, etc ✓ Why can't Veterans have space for religious / spiritual services of choice? ✓ HOK has done a great job of graphics, but they are not addressing the Metro station ✓ Employees could live on campus, cut down on traffic ✓ HOK has done an amazing job at including all Veterans ✓ Veterans should run programs – get funding directly – they should have a governing advocate group to make sure Veterans are heard ✓ When is the lease of the oil company going to be vacated? When can the columbarium be built? ✓ Why won't the VA make Brentwood School give back the land with the tennis courts, track, etc. They have no Veteran partnership ✓ Why not access at San Vicente? <ul style="list-style-type: none"> ○ Cynthia Keeffe response – Master Plan recommends controlled access points at all entrances ✓ Why isn't the VA communicating with the Veteran – let them know what is happening on campus ✓ What is the construction thought for transitional housing? What are the temporary ideas? ✓ The VA needs a better phone system, better patrols at smoking areas ✓ The campus staff does not respect the Veterans ✓ Aquatic facilities are fantastic for healing, indoor and outdoor ✓ Provide gardening, fruit trees – enough to feed the entire campus ✓ Will Lot 29 be built upon? ✓ Westside Motorcycle Academy would like to stay on campus ✓ Consider mental state of Veterans when deciding on campus access ✓ Who is in charge of running programs? ✓ What accommodations will be made for religious meetings? | |
| | <ul style="list-style-type: none"> • Speakers <ul style="list-style-type: none"> ✓ Veterans (29) ✓ Community (2) | |

END OF DISCUSSION

MEETING MINUTES

SUBJECT: Plaintiff meeting
Meeting Date: June 17, 2015
Meeting Time: 12 pm to 1 pm
Location: Los Angeles
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the Plaintiff's comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Room Introductions of each Team member and Plaintiff Group • JLL Scope: <ul style="list-style-type: none"> ✓ BURR and capital asset management ✓ Support HOK team, QA role – vetting VA information • Stakeholders: Veteran centric VA, what are the efforts <ul style="list-style-type: none"> ✓ Homeless Veterans with disabilities, how do we listen? ✓ Who are the decision makers? ✓ Talk to current lease holders ✓ Align opportunities and constraints, does it align with opportunities ✓ Fix this problem, authorized by Secretary McDonald ✓ Prop 41 funding cycle ✓ Projected needs for Veterans, homeless Veterans, female housing ✓ Stakeholders within the VA and outside of VA ✓ EUL is not legal on the campus, scenarios must address change in legislation as well as no change ✓ Authority to raise funds to restore structures | Information |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ VA (10) ✓ Plaintiff (7) ✓ Consultants (4) | |

END OF DISCUSSION

MEETING MINUTES

SUBJECT: VSO meeting
Meeting Date: July 14, 2015
Meeting Time: 10 am to 11 am
Location: VA WLA B257 Welcome Center
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the VSO comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Room Introductions of each Team member and all participating VSO members • Vince Kane introduced the process of the Master Planning • Vince explained that we are in the data gathering phase <ul style="list-style-type: none"> ✓ Physical data ✓ Veteran and stakeholder data and input | Information |
| 2 | <ul style="list-style-type: none"> • Introduction of Cynthia Keeffe – HOK <ul style="list-style-type: none"> ✓ Cynthia explained how HOK is looking at the physical components of the site and design, not any of the legal items that are part of the settlement • Introduction of Abraham Mercado – Consensus <ul style="list-style-type: none"> ✓ Abraham explained what Consensus will be doing during the Planning process <ul style="list-style-type: none"> ○ Website ○ Social media ○ Hot lines ○ Responsible for the Public Outreach | Information |
| 3 | <ul style="list-style-type: none"> • Opened up the floor for comments and questions from the VSO participants <ul style="list-style-type: none"> ✓ Has money been set aside for the implementation of the plan? <ul style="list-style-type: none"> ○ Vince explained how the budget process works. Phases submitted to Congress for funding of each Fiscal Year ✓ Needs to be a location of service organizations central to campus so Veterans can do a “one stop shop” for their questions and needs ✓ Wayfinding is very important – need to keep Veterans from getting lost on the large campus ✓ There is a need for long term care (24 hour nursing) near the Veterans home and support ✓ Hoteling for families ✓ The Planning Team needs to take into consideration using all the areas: Brentwood School, all recreation spaces, Salvation Army area, drilling zones ✓ There is a need and want for a pool ✓ Can there be affordable housing for Staff? The State Home cannot keep staff because of the high cost of living on the west side | |

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| | <ul style="list-style-type: none"> ✓ Permanent housing is a must ✓ Housing for the disabled and chronic homeless housing is necessary ✓ Veterans with no other choice of housing need to be included in on campus living ✓ This land is for Veterans only – no place for civilians (Brentwood, UCLA, etc) ✓ Veterans are in charge of their land – citizen soldiers ✓ Need a women’s center on campus <ul style="list-style-type: none"> ○ Gender specific facilities ○ Far north quadrant would be a good place for the women’s area ✓ Continuance of the implementation is important – should be a committee to be the watchdog ✓ Educational / vocational services – certifications ✓ Clothing – area for donations, retail space for display ✓ Park settings with paths ✓ Community gardens ✓ Mini mall concept – farmers market ✓ Entrance to campus should be welcoming and calming <p>Remember the past – Plan the present – Enhance the future</p> | |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ Veterans (8) ✓ VA (3) ✓ Representative’s Staff (2) ✓ Consultants (6) | |

END OF DISCUSSION

West Los Angeles Urban Master Plan
Meeting with VSO Coalition
Tuesday, July 14, 2015

SIGN - IN

| Name | Organization | Address | Phone | E-mail |
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| MADEC THUSION | JEWISH WARRIOR VETERANS COMMUNITY ACCREDITED VSO | [REDACTED] | [REDACTED] | [REDACTED] |
| SAMUEL WARNER | JEWISH WARR VET 138 | [REDACTED] | [REDACTED] | [REDACTED] |
| Alfonso Hernandez | AGEF | [REDACTED] | [REDACTED] | [REDACTED] |
| CINDY BAGNELL | RAC | [REDACTED] | [REDACTED] | [REDACTED] |
| Abraham Mendez | Consensus Inc. | [REDACTED] | [REDACTED] | [REDACTED] |
| Jon Sherin | VA, Inc | [REDACTED] | [REDACTED] | [REDACTED] |
| Jamet Turner Lisa Pinto | Rep Ted Lieu | [REDACTED] | [REDACTED] | [REDACTED] |

West Los Angeles Urban Master Plan
Meeting with VSO Coalition
Tuesday, July 14, 2015

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| Name | Organization | Address | Phone | E-mail |
|-----------------------|------------------------------|------------|------------|------------|
| ★ MARC JENKINS | LACC AMERICAN LEGION | [REDACTED] | [REDACTED] | [REDACTED] |
| - FRANCISCO JUAREZ | AMVETS, CA CR VA Land-USE | [REDACTED] | [REDACTED] | [REDACTED] |
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West Los Angeles Urban Master Plan Meeting with VSO Coalition Tuesday, July 14, 2015

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| Name | Organization | Address | Phone | E-mail |
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| ★ RAY Delgado | AMUETS | S [REDACTED] | [REDACTED] | [REDACTED] |
| Richard Valdez | DAV | [REDACTED] | [REDACTED] | [REDACTED] |
| ★ ERNIE Hilger | DNV | [REDACTED] | [REDACTED] | [REDACTED] |
| STEVEN CHRISTIAN | HOK | [REDACTED] | [REDACTED] | [REDACTED] |
| WILLIE NISTIZWA | HOK | [REDACTED] | [REDACTED] | [REDACTED] |
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West Los Angeles Urban Master Plan
Meeting with VSO Coalition
Tuesday, July 14, 2015

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| Name | Organization | Address | Phone | E-mail |
|------------------|--------------|---------|-------|--------|
| John Dorais | VA-WLA | | | |
| Charles Green | GLA | | | |
| VINCE KANE | | | | |
| JOHN SHERIN | | | | |
| CYNTHIA KEEFE | | | | |
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MEETING MINUTES

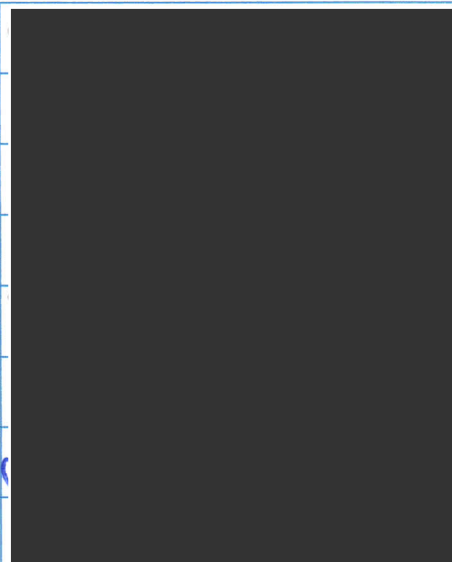
SUBJECT: Bob Rosebrock meeting
Meeting Date: July 17, 2015
Meeting Time:
Location: VA WLA B500
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to Bob Rosebrock and Ted Hager comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Room Introductions of each Team member and Bob Rosebrock, Ted Hager • Bob Rosebrock made a few statements regarding his thoughts as a Veteran <ul style="list-style-type: none"> ✓ There are more homeless veterans on the street than was killed in the Vietnam war ✓ A soldiers duty is never done ✓ It would be nice if the team could come to the 5th annual Summer Celebration on Aug 1, 2015 – Tribute to Vietnam Veterans • Bob Rosebrock expressed his ideas for the campus <ul style="list-style-type: none"> ✓ Don't restore old buildings, they look like asylums ✓ The mansion on the south campus should be a grand space – restaurant, etc a place where Veterans can bring guests ✓ Accessibility to the bus stops must be improved ✓ Chapel restored, not the first thing, but part of the Master Plan ✓ Welcome center at the front gate ✓ A place for an eternal flame ✓ B257 is not a good reception center, the building has bad history ✓ Include a bed and breakfast style home by the meditation gardens for Veterans and families ✓ Introduce a “big brother” concept for homeless Veterans to reach out to ✓ Include a hospitality center to provide shower, bed, food, clothes ✓ Need a sense of military ✓ Gardens for Veterans to work ✓ Focus on severely disabled and mental health of Veterans ✓ Don't leave anyone behind – bring Veterans to the campus | Information |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ Veterans (2) ✓ VA (3) ✓ Consultants(3) | |

END OF DISCUSSION

| Name | Organization | Contact |
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| Cynthia Keefe | HOK |  |
| CINDY BAGNELL | RAC | |
| ROBERT ROSE BROCK | OVB | |
| Zed Hayes | " | |
| DREW BAYARD | VA OPA | |
| John Dorgis | VA GLA | |
| Charles Conner | VA GLA | |
| STEVEN CHRISTIAN | HOK | |
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MEETING MINUTES

SUBJECT: Westwood Community meeting
Meeting Date: July 21, 2015
Meeting Time: 7 pm to 9 pm
Location: Westwood
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the Westwood Community comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Lisa Pinto introduced the Master Plan Team <ul style="list-style-type: none"> ✓ Vince Kane, VA ✓ Jon Sherin, Plaintiff Representative ✓ Dr Sam Tsemberis, Housing First ✓ Michael Huff, VA ✓ Cynthia Keeffe, HOK ✓ Abraham Mercado, Consensus • Vince Kane explained what the status is of the parts of the lawsuit • Cynthia Keeffe explained the Master Plan process • Jon Sherin explained how the VA needs the input from everyone to make the campus better • Dr Tsemberis discussed the Housing First Model <ul style="list-style-type: none"> ✓ Since starting there has been a 36% reduction in homelessness nationwide | Information |
| 2 | <ul style="list-style-type: none"> • Opened up the floor for comments and questions from the Westwood Community <ul style="list-style-type: none"> ✓ How many homeless veterans are in LA? ✓ Include children, schools, recreation ✓ Landscape / farming ✓ Drop-in Center ✓ Chapel restoration ✓ Are supportive services part of the plan? ✓ MTA stops ✓ Have community involvement – professors, businessmen, etc ✓ No long term leasing or selling land ✓ Take the numbers off the buildings – have names instead ✓ Better signage ✓ Address the traffic ✓ VA is not an island unto itself – community needs to be invited in, not just for the Veteran ✓ Are you going to prevent access to the public? ✓ Are you following the Davis Bacon Act? ✓ VA should refocus on Veteran housing ✓ Will there be construction next to neighborhoods? ✓ Build kitchens ✓ Include benches, water fountains ✓ Provide trade training – plumbing, electrical ✓ What is the funding? ✓ Why are Veterans afraid to go on campus? | Information |

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| | <ul style="list-style-type: none"> ✓ Provide services for legal issues for Veterans ✓ Will there be a large investment in infrastructure? ✓ Are there wetlands? ✓ Provide safety for women and families ✓ Is there a Veteran court on campus? ✓ Student Center – just like college ✓ Rehab the old buildings ✓ Enhanced Use – what does it mean? ✓ Public Private Partnership – what does it mean? ✓ Include a ware history museum ✓ Use the Wadsworth and Brentwood Theaters ✓ What is the use of Post Office, Ballpark, School? ✓ History plaques at important areas ✓ If drugs, etc are not cleaned up first, what will happen when more Veterans come on campus? ✓ The homeless on perimeter need help ✓ Get women help ✓ Civilian caregivers need a place to learn the VA system ✓ Training for caregivers | |
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END OF DISCUSSION

MEETING MINUTES

SUBJECT: West LA Neighborhood meeting
Meeting Date: July 22, 2015
Meeting Time: 7 pm to 9 pm
Location: West LA
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the West LA Community comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Lisa Pinto introduced the Master Plan Team <ul style="list-style-type: none"> ✓ Vince Kane, VA ✓ Jon Sherin, Plaintiff Representative ✓ Dr Sam Tsemberis, Housing First ✓ Michael Huff, VA ✓ Cynthia Keeffe, HOK ✓ Abraham Mercado, Consensus • Vince Kane explained what the status is on the parts of the lawsuit • Cynthia Keeffe explained the Master Plan process • Jon Sherin explained how the VA needs the input from everyone to make the campus better • Dr Tsemberis discussed the Housing First Model <ul style="list-style-type: none"> ✓ Since starting there has been a 36% reduction in homelessness nationwide | Information |
| 2 | <ul style="list-style-type: none"> • Opened up the floor for comments and questions from the West LA Community <ul style="list-style-type: none"> ✓ Provide VA loans so Veterans can buy their own homes ✓ VA needs to hire Veterans coming out of college ✓ Focus shouldn't just be on single parent – many single women Veterans are living below poverty level ✓ Is the campus changing policy of only clean and sober? ✓ Where does the homeless data come from? ✓ How will the VA prove they will do what they are saying they will do ✓ Why is there not a VA representative on the neighborhood council. The council asked 10 years ago, VA said they could not participate. Just have a representative speak once a month <ul style="list-style-type: none"> ○ VA to respond with a point of contact ✓ Need to do better outreach ✓ What is the budget? ✓ How many units will there be? ✓ How can you keep the campus clean and sober and have regular Veterans housed there? ✓ Don't let UCLA use the land ✓ Low income housing in the city should go to the Veterans ✓ There are not very many Veterans at this meeting, are you listening to the Veteran? ✓ Worried that the culture at the VA has not changed | Information |

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| | <ul style="list-style-type: none">✓ When will this plan take effect✓ It would be inhuman putting Veterans into tents or trailers – only thing worse is on the street in a cardboard box✓ What is the VA going to do with homeless Veterans today?✓ VA should put your Veterans on your property | |
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END OF DISCUSSION

MEETING MINUTES

SUBJECT: Pacific Palisades Community Council meeting
Meeting Date: July 23, 2015
Meeting Time: 7 pm to 9 pm
Location: Pacific Palisades
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the Pacific Palisades Community comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Lisa Pinto introduced the Master Plan Team <ul style="list-style-type: none"> ✓ Vince Kane, VA ✓ Jon Sherin, Plaintiff Representative ✓ Michael Huff, VA ✓ Cynthia Keeffe, HOK ✓ Abraham Mercado, Consensus • Vince Kane explained what the status is on the parts of the lawsuit • Cynthia Keeffe explained the Master Plan process • Jon Sherin explained how the VA needs the input from everyone to make the campus better • Abraham Mercado discussed the outreach effort | Information |
| 2 | <ul style="list-style-type: none"> • Opened up the floor for comments and questions from the Pacific Palisades Community <ul style="list-style-type: none"> ✓ Don't play backroom politics ✓ Is the VA working with the LA mayor? ✓ What is the funding? ✓ Use the existing buildings ✓ Need to include the columbarium annex ✓ Temporary housing – what is the plan? ✓ Will any of the leases be extended? ✓ How is the VA making the campus more interesting for younger Veterans? ✓ What are the requirements for Veterans to be in the housing? ✓ Will spaces be used for Veterans that are “non-focused” spaces? ✓ How does the VASH voucher fit into the VA plan? ✓ Should the community send homeless Veterans to non-profits or the VA? ✓ What is the status of Veteran records – what happens if the Veteran does not have their paperwork? ✓ What are the protections for the surrounding communities? <ul style="list-style-type: none"> ○ Traffic ○ Additional people ✓ Will there be dental services available? ✓ Will the traffic study be complete before ground is broken? ✓ Will the Master Plan be transparent? ✓ Will the VA provide a point of contact for contacting VA for getting homeless off the street? | Information |

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| | <ul style="list-style-type: none">✓ Funding is also needed for non-veteran homeless✓ The VA will be missing a big opportunity if the community is not involved | |
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END OF DISCUSSION

MEETING MINUTES

SUBJECT: Brentwood Community meeting
Meeting Date: July 28, 2015
Meeting Time: 7 pm to 9 pm
Location: Brentwood
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the Brentwood Community comments, questions, concerns and input.

| Item | Discussion | Action |
|------|---|-------------|
| 1 | <ul style="list-style-type: none"> • Introduction of the Master Plan Team <ul style="list-style-type: none"> ✓ Vince Kane, VA ✓ Jon Sherin, Plaintiff Representative ✓ Michael Huff, VA ✓ Cynthia Keeffe, HOK ✓ Andrea Campbell, Consensus • Vince Kane explained what the status is on the parts of the lawsuit • Cynthia Keeffe explained the Master Plan process • Jon Sherin explained how the VA needs the input from everyone to make the campus better • Andrea Campbell discussed the outreach effort | Information |
| 2 | <ul style="list-style-type: none"> • Opened up the floor for comments and questions from the Brentwood Community <ul style="list-style-type: none"> ✓ How will this be funded? ✓ What is the input you want from the Veterans? ✓ Bring the meetings to the San Gabriel valley to talk to Veterans there ✓ Is the VA working with all congressmen? ✓ How is the VA updating people on the input from the community and Veterans? ✓ Does the data gathering for operations end in October? ✓ How will the confluence of number of Veterans be handled at the campus? ✓ What can we do as a community? ✓ Is the VA reaching out to outside Veteran groups? ✓ Westside Food Pantry wants to expand their services moving forward with the new Master Plan ✓ Provide nutrition classes ✓ Is the VA providing space for single women with children? ✓ What make the VA think they will be successful when others have not been successful? ✓ How can the VA make the government make this happen? ✓ What is going on with the EUL's? ✓ Has the VA gotten any push back from people not wanting homeless Veterans around? ✓ Can the community build recreation places? ✓ What is the maximum amount of people that can be housed? ✓ Can the gates be reopened for the surrounding communities to use? | Information |

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| | <ul style="list-style-type: none"> ✓ If a Veteran has a RV, can there be a KOA type area for them to park? ✓ If every community acts and brings in the Veteran homeless, we can end homelessness immediately ✓ There is no information for these meetings on the campus ✓ What is the need for fixing the chapel when people in the hospital can't get care? ✓ Community should volunteer and talk with the Veterans ✓ Community wants to see the plan – how can they give feedback without seeing what is designed? ✓ Is the VA looking to just take and not give back? Why can't the community cut through the campus? ✓ Will there be opportunity to give feedback on real plans? ✓ Battle Buddy model is the best way to get homeless Veterans help ✓ The closed gates are indicative of the VA closed mind set ✓ This meeting is premature – there is nothing to respond to | |
| | <ul style="list-style-type: none"> • Speaker Participants <ul style="list-style-type: none"> ✓ Westside Food Bank (1) ✓ Veterans Advocacy Service (1) ✓ Community member (5) ✓ Veteran (1) ✓ VA Volunteer (1) ✓ San Gabriel Valley Veterans (1) ✓ Old Veterans Guard (2) ✓ Vet to Vet (1) ✓ BCC (1) | |

END OF DISCUSSION

MEETING MINUTES

SUBJECT: Homeless Summit meeting
Meeting Date: August 19, 2015
Meeting Time: 1 pm to 3 pm
Location: Los Angeles
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to discuss the VA campus Urban Master Plan with participants providing comments, questions, concerns and input.

| Item | Discussion | Action |
|------|---|-------------|
| 1 | <ul style="list-style-type: none"> • 3 P concept, provide kennels for Veterans with pets • Make campus wheelchair accessible and bike friendly • Bike share system • The campus has slopes. Fix slopes to public transportation at Wilshire. Provide a bridge across Wilshire. Improve and increase internal shuttle bus service. Partner with providers who will provide services at low or no cost. Need to provide space • Provide community gardens, access to grow and make their own food. Provide for public art created by Veterans • Permanent supportive housing, most difficult to reach Veterans. How to create a safe environment where Veterans do not feel judged. Housing First model • New Directions, female program. Medical services for females are lacking. Need separate facilities. Women are surrounded by men in B500. Urgent care and ER, beds are not available for women, filled by men • Nurse transitional health. Need respite care in WLA for older Veterans. Need intermediate care facility for pot acute care short stay until Veterans can be placed at home or in permanent care situation • Network homeless coordinator. Green home model homes. Gap in housing for 55 to 75 year range. Need housing, but not ready for nursing home. Some monitoring available with green home model • LA campus already a community, keep a theme of safe and secure facility like on base. For many Veterans, being in the service was the safest time of their life. Parking, roads, open space should be considered. Neighborhood feeling needs to be enhanced with signage • Affordable housing developer, consider mixed use. Facilities for stores, low and fixed incomes with reduced cost structure for necessities • Outreach, first contact. Low income and GR income. Need life skills classes. Veterans move into housing and pitch tent in their living room. Need help understanding utility bills • GPD program. Flexibility to address changes in Veteran needs. Multipurpose facilities that can change over time • Building on campus focused on mental health services. Single point of contact. Too many hoops for Veterans to jump through become a barrier to receiving help | Information |

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| | <ul style="list-style-type: none"> • Move Welcome Center close to Wilshire, provide better signage and campus navigation • Library and computer lab • Post office for homeless to have their own mailbox / address (drop in center) • Provide showers and salons for Veterans who are preparing for interviews • Employment center • Partner with local community colleges to provide classes on campus, skills and trade workshop. Education and training center • West Side Food Bank envisions a wellness center and food pantry run by Veterans. Expansion of gardens to grow produce. Culinary training program, provide clubhouse restaurants. Make space for people to learn how to cook healthy • Provide a sports facility. Basketball hoops • Revitalize theaters on campus, outreach to Hollywood community to host writing, performance and theatrical opportunities • Incorporate covered bus and shuttle stops • HC provider perspective. Provide healthy food • Need a swimming pool for exercise • Khoi pond and Zen garden • New Directions, 2 housing facilities on Sepulveda, blended sobriety model not a high acuity model. It has transitioned as a housing first, high acuity model. Tough transition for VA community that is rules driven. HPAC has saved lives. Resources of VA combined with programs is a great opportunity. Masterplan should think big. Expect high acuity on the WLA campus. Provide HPAC unit • 95% men 5% women constraint with studio units. Think about modular units that can flex with changes on campus • Health and wellbeing. Veteran group concern about the campus being a safe place, a place of healing. Core concept of reintegration into society. Parts of the campus can be open parts can be closed. Need to change culture of VA police to address community housing standards not enforce VA regulations • Housing first model with lease structure. Need to understand financing structures • West side of campus are great locations to place women and families, less institutional • On Sepulveda campus, it is very hard for Veterans to get health food. No complaints from community off campus. Only complaints have been from staff on campus related to work flow. Downside of being in the middle of the campus is that it is a fish bowl. Constant rumors about behavior. Need to trace back to find the truth. Reality is that chronically homeless population do have issues and the VA needs to change their culture to expect and deal with realities • Keep Veterans in the middle of every conversation. Dialog between long time providers and Veterans • Implementing change that transforms a medical campus to a home is a long term activity • Free laundry facilities for Veterans. Opportunity and safe access to clean clothes • Space for DMH to be on campus so that there is an opportunity for Veterans who are not eligible for healthcare can find resources • Interconnectivity of rooms can provide flexibility • Childcare center with affordable childcare, also parent training | |
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|--|---|--|
| | <p>opportunities</p> <ul style="list-style-type: none"> • Address transgender populations • Sports complex with pool, basketball courts, YMCA • Rehab facility with OT/PT for geriatric facility, Home health and aid services • Partner with rescue organizations to provide opportunities for Veterans to interface with animals • Provide wellness center for staff, after hours work out areas • Career development, training kitchen with multi use function, classroom • Transportation to and on campus. LBVA uses golf carts driven by Veterans transport visitors. Wonderful resource, Veterans feel useful. Make shuttle service ore user friendly • Art – have opportunities for Veterans to provide • Space for providers social security, DPP etc • Provide a dog park • Difficult for homeless Veterans to transition, provide a campground for temporary outreach | |
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END OF DISCUSSION

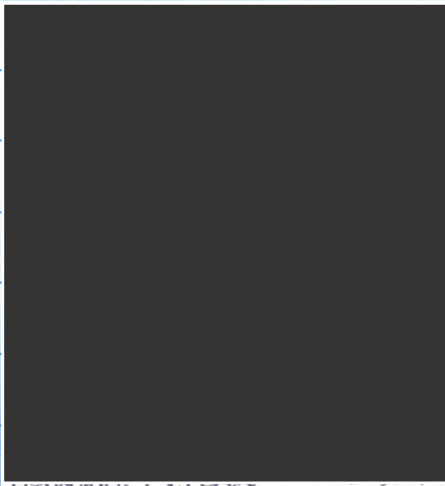
MEETING MINUTES

SUBJECT: Congressman Lieu meeting
Meeting Date: July 14, 2015
Meeting Time:
Location: VA WLA B257 Welcome Center
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the Congressman Lieu Representatives comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Room Introductions of each Team member and all participating Representatives • Abraham Mercado asked about stakeholder inclusion list • Janet Turner brought stakeholder reports with comments <ul style="list-style-type: none"> ✓ Smaller group meetings with people that are key persons • Vince Kane recapped the process of the Master Planning • Vince explained that we are in the data gathering phase <ul style="list-style-type: none"> ✓ Physical data, drawings, demographics, etc. ✓ Community engagement <ul style="list-style-type: none"> ○ Elected officials ○ VSO's, etc. ○ Web page ○ Social media ✓ Roll out ideas • Jon Sherin asked how do we create an army to get all the information <ul style="list-style-type: none"> ✓ Key town hall meetings ✓ Spread the word to come and participate • Abraham Mercado asked if Congressman Lieu's people can help get the word out about the Master Plan to key persons <ul style="list-style-type: none"> ✓ Website – www.helpouseLAvets.com ✓ Online tool kit so people can send information to others ✓ Monthly meetings • Janet Turner went over upcoming community meetings in July that would be participating in the Master Plan updates • Cynthia Keeffe suggested creating a steering committee for the bridge between plan and implementation of the Master Plan <ul style="list-style-type: none"> ✓ Janet Turner said there has been past community committees / advisory panels that worked, but who would decide which community persons will be on the panel ✓ Vince Kane stated there would be not community committee for the design process or implementation. The team will document all feedback and use information as input to the design process | Information |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ Representative's Staff (2) ✓ VA (1) ✓ Consultants (4) | |

END OF DISCUSSION

| Name | Organization | Contact |
|-----------------|-----------------|--|
| Cynthia Keefe | HOK | |
| Lisa Pinto | Rep Lieu |  |
| Jon Sherin | Consultant (TH) | |
| Vince Kane | VA | |
| Janet Turner | Rep Lieu | |
| CINDY BAGNELL | RAC | |
| Abraham Mercado | Consensus Inc. | |
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| <u>Phone</u> | | |
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| Michael Huff | VA | |
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MEETING MINUTES

SUBJECT: LA Mayor meeting
Meeting Date: July 28, 2015
Meeting Time: 10 am to 11 am
Location: Los Angeles
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the LA Mayor Office comments, questions, concerns and input.

| Item | Discussion | Action |
|------|---|-------------|
| 1 | <ul style="list-style-type: none"> • Room Introductions of each Team member and LA Mayor Office • LA Mayor Office expressed information, concerns and ideas for the campus <ul style="list-style-type: none"> ✓ How will the project be phased? ✓ Establish goals, existing conditions ✓ Parallel process of operational and physical study ✓ Bridge housing, transitional housing on and off campus. Converting low barrier and low demand housing. Approximately 180 units converted to low demand. Right now approximately 750 Veterans living on campus ✓ What is the goal for the number of bridge housing? <i>300 bridge housing on and off campus</i> ✓ Housing First approach ✓ Create a thriving community ✓ Magnetic for Veterans ✓ 21st century VA ✓ Mayor's office is strongly supportive of direction of providing permanent supportive housing. Need enhanced use lease authority, 75 year leases. Need support services authority ✓ Key decision makers – current Secretary of VA, State of California, Governor's Office. Now an HCD entity, housing department ✓ Existing leases – campus deeded to Veterans and will be used for Veteran direct benefit. Veteran centric activities will be on the campus, Non Veteran centric activities will not be on the campus | Information |
| 2 | <ul style="list-style-type: none"> • Follow up information <ul style="list-style-type: none"> ✓ Need numbers on low barrier demand beds on campus ideas for converting ✓ Need number of permanent supportive housing goal on campus ✓ What is the number of vulnerable Veterans? ✓ Copy of EUL language ✓ Prop 41 funding cannot be given to VA site without EUL authorization. Ask Vince Kane about conversations about Prop 41 – need written report ✓ HUD special pvb, CalVet – aske Sara M ✓ MHSA Prop 63 money? ✓ Brentwood Community Plan, San Vincente Corridor Plan. For | |

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| | land use concepts ✓ If state or city money is used, does it trigger CEQA? ✓ Masterplan process will help inform leases moving forward. City would like to be notified of direction on leases | |
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END OF DISCUSSION

MEETING MINUTES

SUBJECT: Open House #1
Meeting Date: July 21, 2015
Meeting Time: 1:30 pm to 4:30 pm
Location: VA WLA B257 Welcome Center
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the community comments, questions, concerns and input.

| Item | Discussion | Action |
|------|---|-------------|
| 1 | <ul style="list-style-type: none"> • Open House Topic – Vehicular and Pedestrian Circulation | |
| 2 | <ul style="list-style-type: none"> • Discussions with community – questions, comments and ideas <ul style="list-style-type: none"> ✓ The Pedestrian Tunnel under Wilshire is still there, condition is unknown – possible new path of travel ✓ Metro Station Status is still unknown. The Metro preferred location on Wilshire has been sent to DC awaiting a comment from the Secretary of VA. John D. and Vince K. are going to try and find out the status and give the Planning Team an update ✓ Open up the gates at the east and west entrances, have guardhouse type entry ✓ Include emergency call boxes ✓ Include a community center in the Recreation Area | Information |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ Veterans (1) ✓ Community Members (3) | |

END OF DISCUSSION

MEETING MINUTES

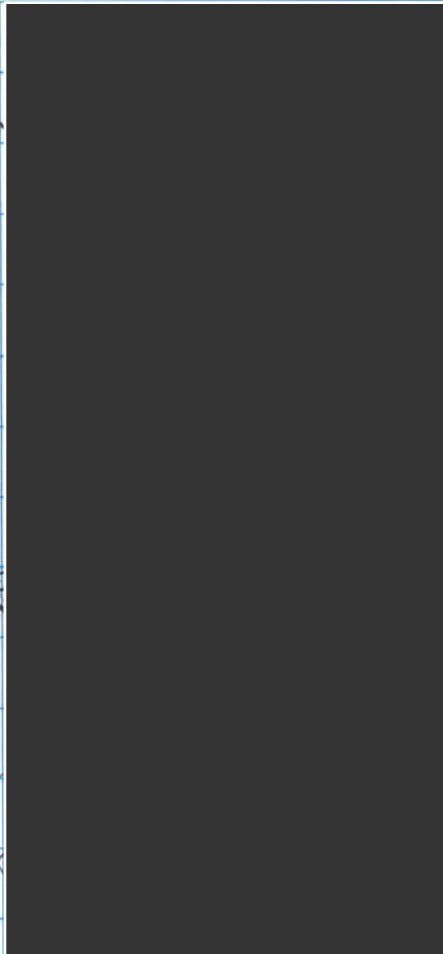
SUBJECT: Open House #2
Meeting Date: July 28, 2015
Meeting Time: 1:30 pm to 4:30 pm
Location: VA WLA B257 Welcome Center
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Teams designs and listen to the community comments, questions, concerns and input.

| Item | Discussion | Action |
|------|---|-------------|
| 1 | <ul style="list-style-type: none"> • Open House Topic – Opportunities and Constraints Mapping, Planners responded to comments and questions from open house attendees in response to exhibits shown | |
| 2 | <ul style="list-style-type: none"> • Discussions with community – questions, comments and ideas <ul style="list-style-type: none"> ✓ Needs to be clear access on and off of campus for Veterans that live on campus ✓ Basketball courts should be near the housing. Don't make the Veteran go to a "recreation" area for everything ✓ Redesign the road next to the Chapel, it is too close to the church and trucks have hit and damaged the edge of the church ✓ The north end of the North Campus is too far for Veterans to walk to for recreation space ✓ The Master Plan should be based on a net zero campus, focus on it being a healing center – include <ul style="list-style-type: none"> ○ Personal care ○ Housing ○ Vocational training ○ Garden ○ Bio-swales ○ Dense living area transitioning to vast meadow like areas ○ Native landscape ✓ Discussed concept diagrams with stakeholders <ul style="list-style-type: none"> ○ Circulation diagrams including concepts of developing around green space, moving parking to the edges of the campus and focusing internal on pedestrian and shuttle circulation ○ Access diagrams including concepts of gated /guard entrances at North campus. Residents would have automatic or card access, non residents would need to demonstrate reason to enter VA property ○ Proposed MTA station location and alternate station location diagrams. ○ Phased development zones within historic overlay district ○ Immediate term housing solutions include bridge housing | Information |

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| | <ul style="list-style-type: none"> ○ Short term options including renovation of existing buildings 205/208 and 156/157/158. ○ Short term options including proposed locations for new construction. ○ Mid and long term options for services and amenities | |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ Veterans (1) ✓ Community Members (12) | |

END OF DISCUSSION

| Name | Organization | Contact |
|-----------------------------|---|---|
| AVIVA Kraus | Heroes Golf Course Bandini Found'n |  |
| Andrew Carrillo | Bandini Foundation | |
| PETER HENDRICKSON | UCLA | |
| Bruce Rosen | Bandini Foundation Heroes Golf Course | |
| Peter Capone-Newton | VA Homeless programs | |
| Gene Anderson | The Sanberg Group, Inc. | |
| Steven Keeney | veteran | |
| JIM SINEMA | MICHAEL BAKER | |
| KYLE ORLEMANN (HAMILTON) | CITY OF HAWTHORNE VET. AFF. COMMIS VA/AVUA 53 | |
| DEAN R MEYER | CFM / VA | |
| JANNA VACCARINO, AIA | Palisades Beaufort | |
| KELVIN PARSON | GLA ENGINEER | |
| Pamela L Richardson | absolutely none | |
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MEETING MINUTES

SUBJECT: Open House #3
Meeting Date: August 4, 2015
Meeting Time: 1:30 pm to 4:30 pm
Location: VA WLA B257 Welcome Center
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Teams designs and listen to the community comments, questions, concerns and input.

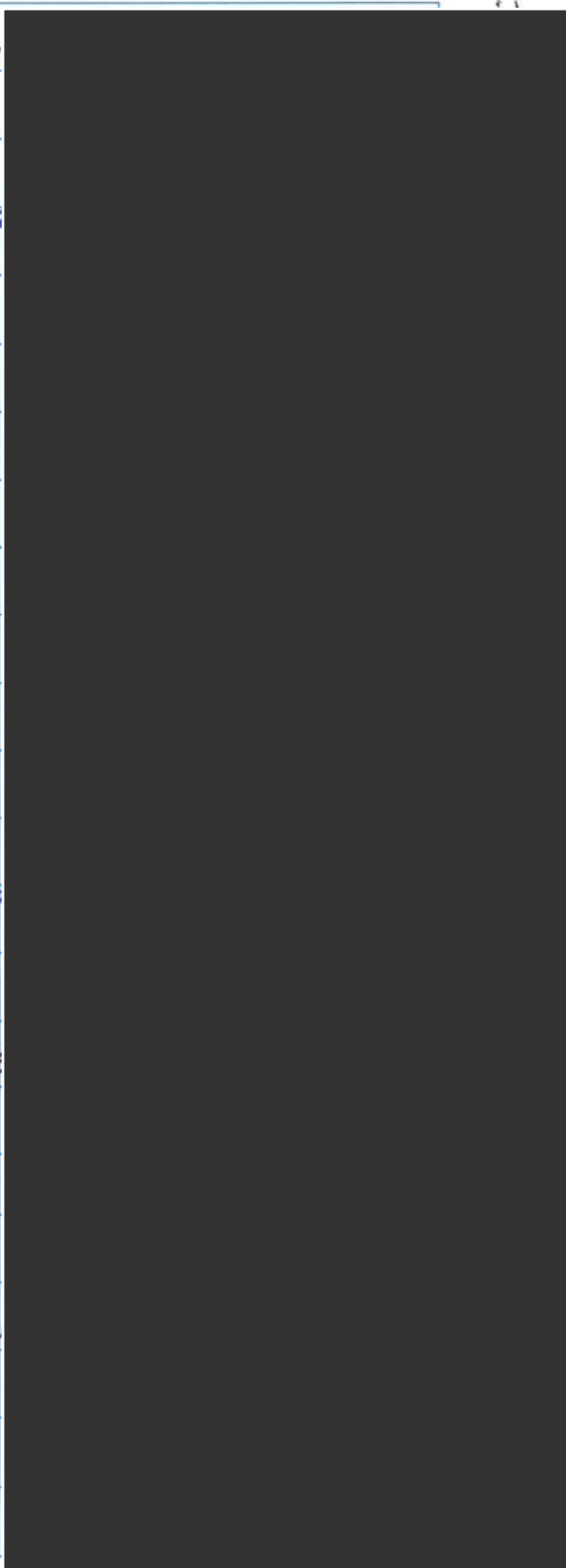
| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Open House Topic – “Spine” Concept, Planners responded to comments and questions from open house attendees in response to exhibits shown | |
| 2 | <ul style="list-style-type: none"> • Discussions with community – questions, comments and ideas <ul style="list-style-type: none"> ✓ Self-sustaining water catchment ✓ Gated community – guarded gates ✓ Keep out outside bicycles - non veteran pass thru ✓ Don't build a big wall around the property, it would feel like a POW camp ✓ Find a way to get through the campus for the surrounding community ✓ Have tags for campus residences on cars, bikes, etc. to get through the gated entrance ✓ Pay a “toll” to get onto campus if you are not a Veteran ✓ <i>Veterans took a vote</i> – Do not let community cut through the campus ✓ Do not open the side gates ✓ Have “Hubs” at certain intervals along the spine for restrooms, café, services i.e. pharmacy, etc ✓ Remove Director’s housing at south campus use as homeless intake, condense services to one area ✓ Need women’s area with security ✓ Daycare center ✓ At “Hubs” have veteran owned businesses – coffee shops, boutique shops, library, bowling, swimming, gym ✓ Food pantry, clothes collection and distribution area ✓ Recondition the chapel ✓ Should this design center around the auto? <ul style="list-style-type: none"> ○ Change focus to pedestrian ✓ Center for wellness / well being ✓ Veterans to create a committee to put together a list of wanted items on the campus ✓ Athletic complex ✓ Print shop – communication among Veterans on campus ✓ Improve access for Veteran in wheelchairs, etc. ✓ Spaces for small building / community meetings ✓ Retail elements | Information |

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| | ✓ Expand the commissary | |
| | <ul style="list-style-type: none">• Attendees<ul style="list-style-type: none">✓ Veterans (11)✓ Community Members (17) | |

END OF DISCUSSION

| Name | Organization | Contact |
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|-----------------------|---------------------------------|------------|
| Sue Pascoe | Post 283 News | |
| F. Kaye Oei | CAL VET HOME VETERAN | |
| NICHOLAS MASTROMATTEO | CAL VET. | |
| SHAWN DOENHECKER | VETERAN | 310.849.33 |
| Sol Liebster | VA Volunteer | |
| EDWARD COLLINS | CALVET. | |
| Stam Kenny | VAT | |
| RICKEY LANE | HAVEN1 | |
| Barry Silvertown | CAL VET | |
| JACK GODWIN | So. Brentwood Residents. Assoc. | |
| Maria Barne | | |
| David Mosier | SP Brentwood | |
| CARI MCNEILL | CAL VET | |
| Joseph Adamick | VA Veterans Adv | |
| Mike McClai | VA | |
| MARC THURSTON | JEWISH WAR VETS | |
| STANLEY WARNER | JEWISH | |
| She Sinter | UCLA | |
| LOU PESCE | METABOLIC STUDIO | |
| Bruce Rankin | Westside Food Bank bro | |
| Peter Capone - Newton | VA | |
| Howard Heinsuder | AGIF | |
| Donna Vaccarino | DAPSADCS Brentwood | |



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MEETING MINUTES

SUBJECT: Open House #4
Meeting Date: August 11, 2015
Meeting Time: 1:30 pm to 8 pm
Location: VA WLA B257 Welcome Center
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Teams designs and listen to the community comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Open House Topic – Access and “Neighborhood” amenities, Planners responded to comments and questions from open house attendees in response to exhibits shown | |
| 2 | <ul style="list-style-type: none"> • Discussions with community – questions, comments and ideas <ul style="list-style-type: none"> ✓ Separate the men and women Veterans ✓ RV hook ups ✓ Bring in a Haz Mat team to check all toxic areas ✓ Team should go to Skid Row ✓ Open the campus to the community, don’t close the campus to surrounding areas ✓ Add a driving range to the golf course ✓ Better signage at campus entrances ✓ Provide arts and crafts ✓ Provide vegetable gardens ✓ Bring the landscape character back to the original ravine planting ✓ Address grey water usage ✓ Make all Veterans welcome, not just Veterans living on the campus ✓ Design site so there is no access to outside community. No one can get on north campus unless you are a Veteran ✓ Veterans are here for recovery – when they are ready to integrate, they will go into the community ✓ Provide Veteran and caregiver housing ✓ Provide areas of refuge “turn outs” for Veterans to rest at steep grades ✓ There is no need for vocational services on campus. If Veterans are using the education benefits, they are not on campus | Information |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ Veterans (11) ✓ Community Members (19) | |

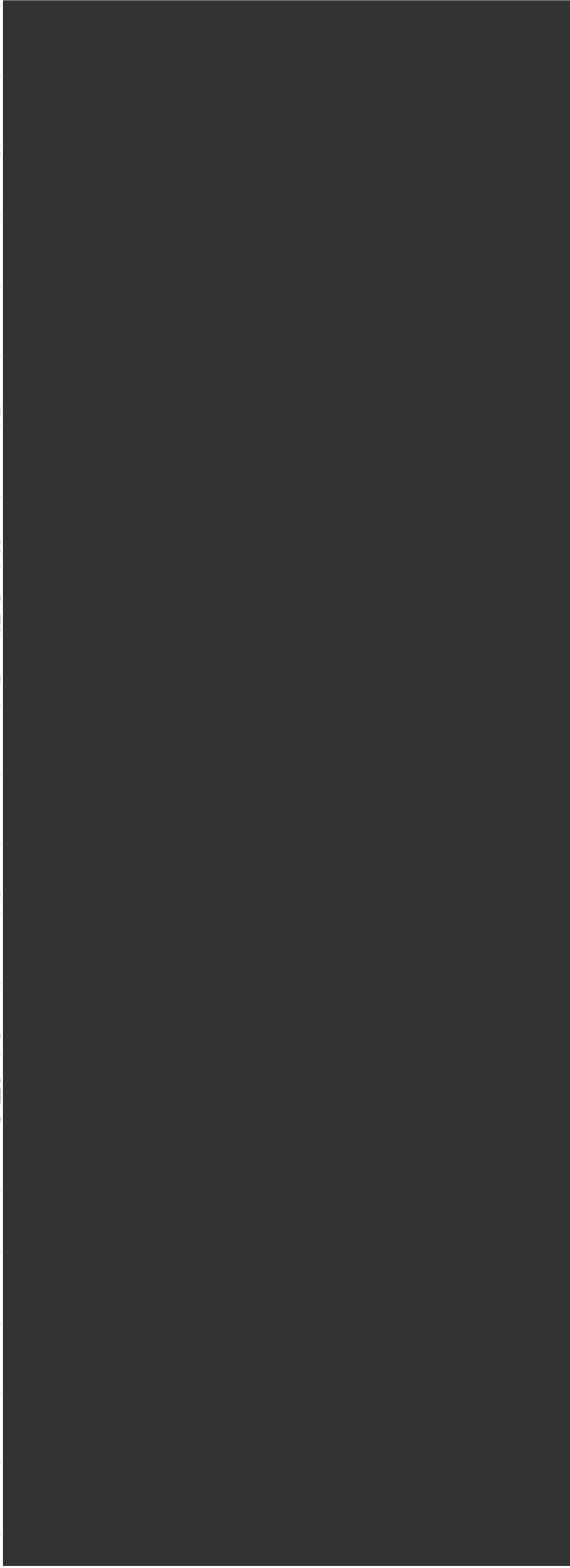
END OF DISCUSSION

| Name | Organization | Contact |
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| EARL L. GARDNER | Psyche | |
| ROBERT MARTIN | PURPLE HEART ^{camp 2} | |
| LARRY VAN KUDEN | American Legion | |
| Ron Delgado | Amvets | |
| Larry Williams | Amvets | |
| MARC JENKINS | AM LEAGION | |
| ART SHERMAN | WINGS OVER WOODS | |
| Gary Clouse | Westside Breaker | |
| SHANN DORNHECKER | Jenil Wade | |
| SHANN DORNHECKER | SHANN@UCLA.EDU | |
| PATRICK HART | PLHART22@GMAIL.COM | |
| Stevie Keeney | self | |
| JESSICA BROWN-MASON | SALVATION ARMY | |
| ANABEL SANCHEZ | SALVATION ARMY | |
| Joan Abrahamson | Vet | |
| Mangui Atia | VEMEC/VA | |
| Arlyne Elliot | | |
| Howard Hernandez | ACTF | |
| Larry Watts | Brentwood CC | |
| LOU PESCE | Metabolic Studio | |
| JOHN ISMAY | SOUTHERN CALIFORNIA PUBLIC RADIO | |
| BANDINI FD | | |

RICARDO BANDINI
JOHNSON

VA research
emp



MEETING MINUTES

SUBJECT: Open House #5
Meeting Date: August 18, 2015
Meeting Time: 1:30 pm to 4:30 pm
Location: VA WLA B257 Welcome Center
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

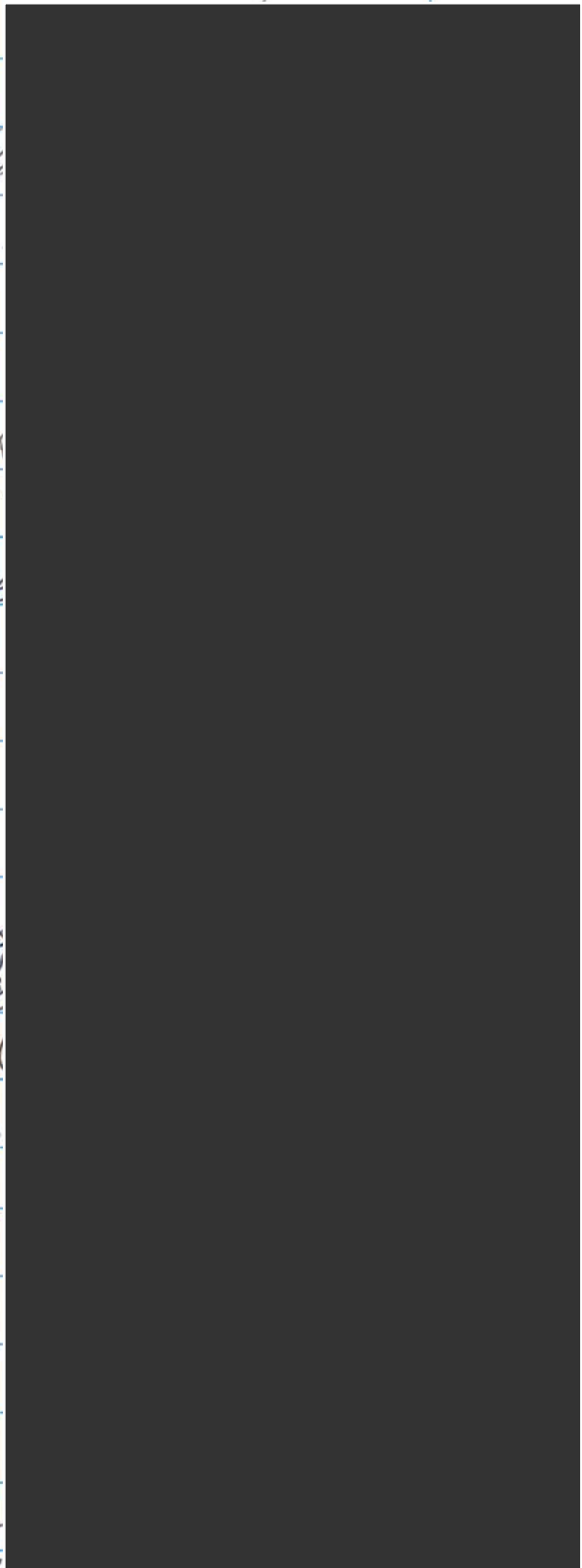
The purpose of this session was to introduce the Urban Master Planning Teams designs and listen to the community comments, questions, concerns and input.

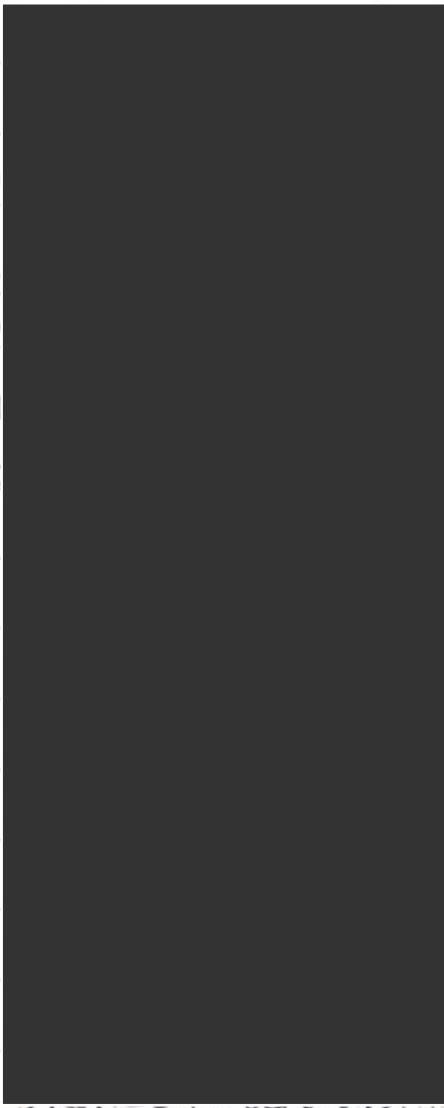
| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Open House Topic – Housing, supportive services, activity nodes, Planners responded to comments and questions from open house attendees in response to exhibits shown | |
| 2 | <ul style="list-style-type: none"> • Discussions with community – questions, comments and ideas <ul style="list-style-type: none"> ✓ Separate the men and women Veterans ✓ RV hook ups ✓ Provide vegetable gardens ✓ Make all Veterans welcome, not just Veterans living on the campus ✓ Design site so there is no access to outside community. No one can get on north campus unless you are a Veteran ✓ Veterans are here for recovery – when they are ready to integrate, they will go into the community ✓ There is need for vocational services on campus ✓ Drop in / outreach camp located off of Constitution ✓ Continuum of care applied to services and circulation ✓ Greater controlled access on North Campus, less so at South Campus ✓ Align housing types with population subgenres ✓ Align housing financing options with housing types ✓ Consider long term lease and purchase options to own home ✓ Provide safe and secure areas for vulnerable population without the feeling of confinement ✓ Provide one stop shop at Welcome Center near entrance to North Campus ✓ Link North and South Campus with scheduled shuttle service ✓ Improve connection between North and South Campus – pedestrian and vehicular ✓ Vision: provide permanent supportive housing exclusively for the homeless Veteran | Information |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ Veterans (13) ✓ Community Members (25) | |

END OF DISCUSSION

| Name | Organization | Contact |
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| Sharon Donatkecker | veteran | |
| Arlyne Elliott | | |
| SAMUEL WARNER | Jewish war Vet | |
| Francisco Juarez McEgahan | VSO Coalition Brentwood | |
| Claine Lawless | IAVA | |
| BRANDON WEXLER | VET/IAVA | |
| THEODORE BAZLEY | VA | |
| Ma Boutyht-Sin | | |
| MILK PEINEMANN | NDVES | |
| Katie VIVENTI | NDVES | |
| Kristine Hesse | National veterans Foundation | |
| Christ Kahn | BCC | |
| Scott Malsin | OFFICE OF ASM. RIDLEY-Thomas | |
| Rochelle FSS | Metabolic Studio | |
| VOU PESCIE | METABOLIC | |
| CAROLE MAGNUSON | Westwood Hills Prop. Owners Assn | |
| CHARLES MAGNUSON | W HOA | |
| RICHARD HAHN | EMERGENCY VOL-VAGLA DEPT | |
| Daniel Mosuer | LA LGBT | |
| Jose de Jesus Ortiz Barrios | LA LGBT | |
| Joe Halper | JWV-LA LEGION | |
| Patricia Jackson-Kelle | County of LA American Legion | |



| Name | Organization | Contact | |
|-------------------|----------------------------------|---|--|
| Waldo Tapia | Inner City Law Center |  | |
| L.AUREN DUNCAN | American Red Cross - Los Angeles | | |
| Rosalyn J. Petty | VA | | |
| ATHENA Nowak | | | |
| Laetra Lake | Coalition for Veterans' Land | | |
| Mangwi Afie | VENECA | | |
| Lidia Nahuel | Veterans Resource Org | | |
| Olivia Valentine | City of Hawthorne | | |
| PETER HENNRICKSON | UCLA | | |
| Sue Santon | UCLA | | |
| Doug McCormick | Pac. Patis. Task Force | | |
| MARC JENKINS | AMERICAN LEGION | | |
| JULIO CASASO | | | |
| Mike Stajura | UCLA Westwood | | |
| PAMELA RODRIGUEZ | LA GOLF Academy | | |
| SHAYNE KALEO | Anka BHI | | |
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Dr. J

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LA

MEETING MINUTES

SUBJECT: Open House # 6
Meeting Date: August 25, 2015
Meeting Time: 1:30 pm to 8 pm
Location: VA WLA B257 Welcome Center
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Teams designs and listen to the community comments, questions, concerns and input.

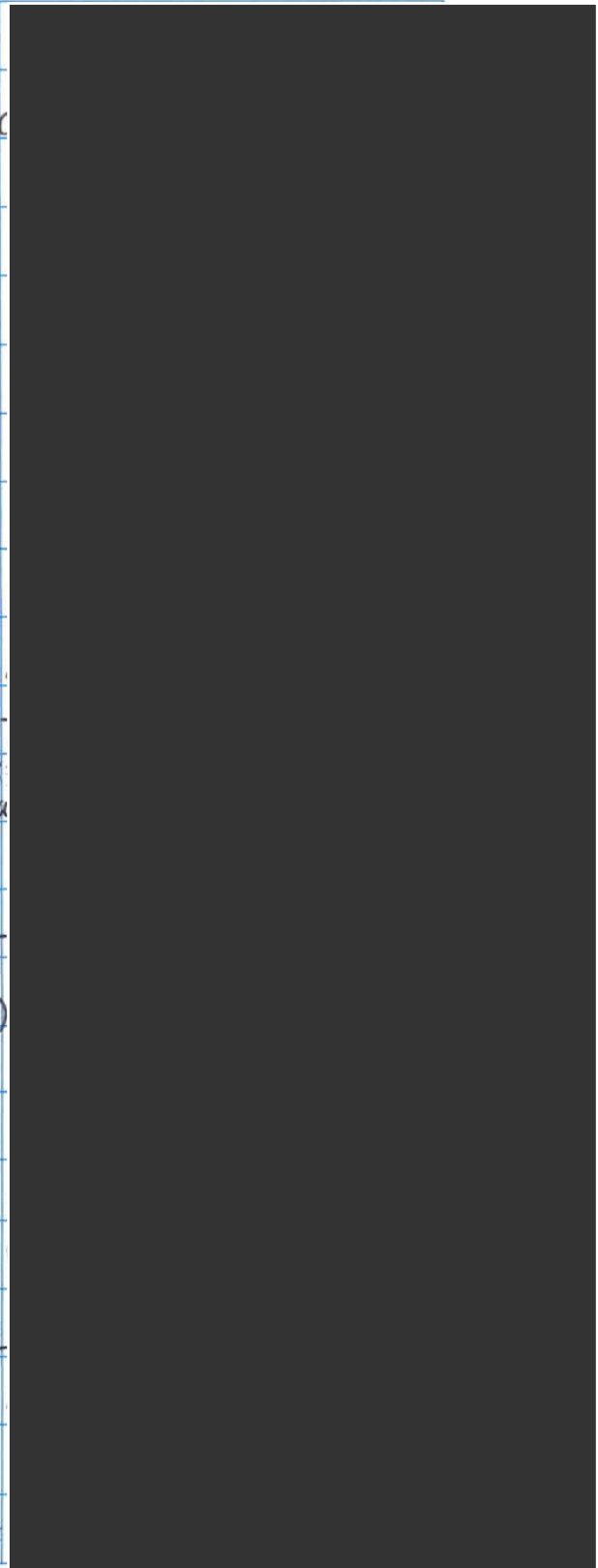
| Item | Discussion | Action |
|------|---|-------------|
| 1 | <ul style="list-style-type: none"> • Open House Topic – Overall Concept, Planners responded to comments and questions from open house attendees in response to exhibits shown | |
| 2 | <ul style="list-style-type: none"> • Discussions with community – questions, comments and ideas <ul style="list-style-type: none"> ✓ Enhanced pedestrian access ✓ Kennel facilities for pets ✓ Families – for Veterans with children ✓ Options for housing for Veterans going to college ✓ Offer internships ✓ Harm reduction facilities ✓ PX – reduced prices ✓ Blue light 24/7 safety system ✓ Improved lighting ✓ Wheelchair charging stations ✓ Signage needs improvement ✓ Address most vulnerable first <ul style="list-style-type: none"> ○ Phase development to address the in need first ✓ Address homeless first <ul style="list-style-type: none"> ○ Get homeless off the street now, let’s think about tents, rapid deployment dwellings, field showers ✓ Campus needs to be welcoming <ul style="list-style-type: none"> ○ Visitor center / welcome center locations key, should be 24/7, near campus entry, campus map and orientation ✓ Recognize alternative transportation <ul style="list-style-type: none"> ○ Homeless rely much more on bus and bicycle ✓ Connectivity is critical <ul style="list-style-type: none"> ○ 4 gates with controlled access ✓ Campus for Veterans, not cars <ul style="list-style-type: none"> ○ Regional garages, 2-5 min from units ○ 24/7 shuttle loop ✓ Housing variety is key <ul style="list-style-type: none"> ○ Provide a range of housing types ✓ Site restoration and remediation <ul style="list-style-type: none"> ○ “healing people and the land” ✓ Distribute services <ul style="list-style-type: none"> ○ Clinics, commissary, library, computer lab, fitness center, restrooms | Information |

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|--|---|--|
| | <ul style="list-style-type: none"> ✓ Storytelling and sharing <ul style="list-style-type: none"> ○ Expression, connection, oral history – VA newspaper ○ History museum, interactive center | |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ Veterans (27) ✓ Community Members (43) | |

END OF DISCUSSION

| Name | Organization | Contact |
|------|--------------|---------|
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| | | |
|--------------------------|--|--|
| Shann Doanwecker | VETERAN | |
| CHAPLAIN DOV COHEN | VETERAN | |
| Hiroko Robertson | | |
| Dave Mosler | VETERAN | |
| Gary Blasi | UCLA | |
| Kari Kollenberg | resident | |
| Orlyno Elliott | | |
| Dr. Robert Korman | INFERIA GARD-LA | |
| MARC JENKINS | VETERAN | |
| Alfred AKEYAYI | ARMY Vet | |
| BARBARA CHASE | VA | |
| Xochitl Munillo | CA State Assembly ADJ Assembly member Miguel Sa | |
| charles Horton | Navy | |
| Donna Ames | VA medical doctor | |
| DAMI OLUPOWSHE | city LAB (UCLA) | |
| HY ARNESTY | SEMI WAR VET AMERICAN LEGION | |
| MARSHALL H. ROE | VETERAN | |
| Peter Capone-Newton | VA | |
| James Zocchin | PRRC | |
| Tom Holsten | VA social worker | |
| Stu Kenny | cal-vet | |
| Doyle Troy | Veteran | |
| Nick Perdomo | leaders Am Legion Dist | |



| Name | Organization | Contact |
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| Martin Lesak | UTA | |
| CARL LEWIS | VA | |
| DR. PAGEDER | UTAH | |
| Mary Fintemull | UBH | |
| TEAN CLEVERDON | NONE | |
| DR. | MICHAELAS MASTROMATTEO (300) | |
| | ↑ Myna@earthlink.net - Ecologic | |
| | | |
| Noah B. Jacobsen | Aguerre Technologies | |
| Dolores Heffernan | Brentwood Homeown former employee | |
| Sam Moon | POINTMAN INTERNA | |
| HENRY NIETO | Pointman | |
| Daniel Hernandez | POINTMAN | |
| Rudy Aguirre | Point man | |
| Lidia Nahuel | Veteran Resource Com | |
| Julio Castro | Dept. of Veteran Aff | |
| PASTOR Joe Enriquez | POINTMAN | |
| Herb RYLANDER | VET | |
| Sylvia Rodin | Community | |
| DAVID BISCHOFF | | |
| Ken FLANDERS | | |
| A. Bury | | |
| Perry Goldberg | Thrive LA | |

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.col

| Name | Organization | Contact |
|------------------------|--|---------|
| DONALD & KELLER | BHA | |
| Maureen Smith | | |
| Kim Kovacs | | |
| MIKE METCALFE | WESTWOOD HOMEOWNERS | |
| JOHN KEAVENEY | VETERANS ADVOCACY SERVICE | |
| JOE ADAMCZAK | UAS INC. | |
| Sarah Scott | City of Santa Monica | |
| Arlene Glazman | Citizen | |
| SAMUEL WARRIOR | SWISS WAR VET | |
| Mary Shelton | | |
| PATRICIA JACKSON-KELLY | County of LA | |
| Geochelle Fess | Metabolic Studio | |
| Richard Valdez | DAV | |
| LOU PESCE | lou pesce | |
| Carla Cavafie | Women Veterans Round Table | |
| ERIKA WILLHITE | WESTSIDE MOTORCYCLE ACAD | |
| JIM BURNS | JET TO VET | |
| CHRISTINA SILVA | CRS Productions Media Platform ^{Educating} CRS | |
| Monica Marta | Org Kevin McCa | |
| TABIE L. BRUNOW | Cal-Vet | |
| STEVE MCCLINTOCK | BREXWOOD VILAGE | |
| PETER HENDRICKSON | NOVA | |
| Megan Rodriguez | State Senate | |

NAME

ORGANIZATION

CONTACT

CHARLES VIDES

News Frugo

[REDACTED]

MAT MILLER

Jewish War Vets

[REDACTED]

Steve Rich

U.S. VETS

[REDACTED]

MEETING MINUTES

SUBJECT: Outreach and Communications Planning meeting
Meeting Date: June 24, 2015
Meeting Time: 2 pm to 3 pm
Location: VA West LA
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was decide the outreach and communications that will take place for the duration of the Urban Master Plan project.

| Item | Discussion | Action |
|------|---|-------------|
| 1 | <ul style="list-style-type: none"> • Debrief <ul style="list-style-type: none"> ✓ Connect immediate need to Masterplan process which is future oriented ✓ Separate homeless issues from Masterplan issues ✓ Campus is enriched environment, focus on top percentage of high risk population, move to campus ✓ Agenda, needs to put issue in context. Balance between update on what we are doing here and now in addition to the Masterplan process <ul style="list-style-type: none"> ○ Update legislative action, operational and services issues related to homelessness ○ Update progress on historical buildings, especially Wadsworth Chapel ○ Update on Masterplan ✓ VA needs to have staff cover the town hall. Mental Health, Health Services and Prosthetics ✓ Better communication about purpose of town hall ✓ EUL – simplify message. Focus on housing and care needs ✓ Explain what EUL is. One tool in the toolbox, communicate public private aspect. Need to be careful about how we describe financing, developing and building. Use examples, land is committed to Veteran care and will always be owned by Veteran Administration. Tie back to local properties, specific examples that show that leases can be good • Messaging <ul style="list-style-type: none"> ✓ Stakeholders are diverse ✓ Consensus will develop draft Q/A ✓ Update staff at GLA ✓ GLA stakeholders <ul style="list-style-type: none"> ○ Leadership ○ Medical Services ○ PACT Teams ○ Mental Health Services ○ Dietary ○ Security ○ Engineering ○ EMS ✓ Veteran Groups stakeholders <ul style="list-style-type: none"> ○ Women | Information |

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| | <ul style="list-style-type: none"> ○ Children ○ Disabled ○ Mental Health ○ Single ○ LGBT ✓ Congress, State,, County, City stakeholders ✓ Academic stakeholders <ul style="list-style-type: none"> ○ Matt Collier – special assistant to the Secretary to get contact information ○ UCLA – Sue Santon ○ USC – Anthony Hassan, Joe Beck, John Soffa ✓ Local Neighbors stakeholders – Jon Sherin ✓ Business Leaders stakeholders – Jon Sherin ✓ Hold special event for media ✓ Summer of Service – kick off week from today – Theresa DiMaggio will send details to Cynthia Keeffe (HOK). Focus on the good news. Theresa DiMaggio will talk with VA leadership ✓ Veteran oriented event with food and drinks, work with VA to provide refreshments then follow up with meeting • Outcomes <ul style="list-style-type: none"> ✓ Transparency ✓ Feedback ✓ Establish level of trust ✓ Information from the Veterans ✓ Go beyond the homeless, talk about the healthcare • B256 Welcome Center - pip up and meeting space, traveling meeting space, B402, B500 Lobby • Data base management - Consensus | |
| 2 | <ul style="list-style-type: none"> • Follow up information <ul style="list-style-type: none"> ✓ Identify % of homeless Veterans who are most vulnerable ✓ Marc Waddell will develop Q/A based information to be uploaded to website ✓ Review Phil Thomas Masterplan ✓ Why is this Masterplan different from past Masterplans, speaks to short term/mid term/long term ✓ How do you restore trust? Actions need to follow the words ✓ Develop short term solution and have Jon Sherin deliver, stand side by side with Veterans ✓ Darci Palmer (CORE) will run point on the housing list | |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ VA (6) ✓ CONSULTANTS (5) | |

END OF DISCUSSION

MEETING MINUTES

SUBJECT: B209 Residents Group meeting
Meeting Date: July 1, 2015
Meeting Time: 5 pm to 6 pm
Location: VA West LA
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the B209 Residents Group comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • B209 Group expressed information, concerns and ideas for the campus, explained how their program works <ul style="list-style-type: none"> ✓ Most of the residents came from B242 ✓ B209 is surrounded by dilapidated buildings ✓ The whole place (campus) needs a change ✓ B209 is an impressive building given the state of decay that other buildings are in ✓ Thrilled not to have room mates ✓ Residents like having a kitchen – they enjoy coming home ✓ All of the residents are working on campus – laundry, shops, etc ✓ B205 and B208 are in design currently. Looking for funding at eh beginning of the year. 18 months construction ✓ Input about what is working and what is not: <ul style="list-style-type: none"> ○ John Dozois – labor of love. Proud of building ○ A pool would facilitate aqua therapy ○ Need full size refrigerators ○ Residents have been in the space for 1 month ○ Cell phone reception is very bad in B209, concrete structure – also need a cell tower on the campus ○ Need grocery store on site, no grocery within walking distance. Plan for B205 is to include a grocery store run by the Veteran canteen service ○ Would like more closet space, desk is wide, difficult to hang longer clothes. Plenty of drawer space, need more hanger space ○ Every bedroom should have a wardrobe ○ Need more lighting in the bathrooms ○ Future buildings need a quiet space for men as well as women ○ Would like a bbq area ○ Need more laundry facilities ○ Hood fans over the range not ducted to exterior, this causes odors to travel from room to room ○ Plumbing and pipe fitting, electrical running below piping and may cause a maintenance problem ○ Veterans would like bathtubs, men and women ○ Area for guest, area on second floor is not sufficient ○ Signage, parking places for guests | Information |

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| | <ul style="list-style-type: none"> ○ Open ceiling is not a desired look. ○ Like in unit cooking and unit design. Kitchens are too small, but functional. Appropriate for one person. Would like a central location where people can get together to cook ○ Light at night coming in above the doors. Would like to install translucent film to help block light ✓ B220 will start to teach yoga classes ✓ Provide a community kitchen ✓ Include a Whole Foods, Starbucks, etc ✓ Challenges of converting historic buildings and accommodating contemporary mechanical and plumbing systems in ceiling system ✓ Integrate wellness, walking trails, dry saunas or steam, recreation room, lockers ✓ Health is important, need a gym. Something like the outdoor exterior poly trauma ✓ Bike share program on campus ✓ Electronic information sign programs. Expand healthnet currently rolling out in B500. Library on mezzanine floor B209, elevator lobbies B500 ✓ Space for family to visit,, Fisher House or Hoptel ✓ Identify different cohorts, single parents, families ✓ Costly surprises during construction – mechanical issues, structural clashes. ✓ Coring all of the beams, changing ceiling heights to accommodate infrastructure, steam, low voltage network on campus nets expansion. Biggest issue is electrical capacity. 1 to 1-1/2 years to expand system (California Edison). All systems are at capacity ✓ Many women get HUD/VASH vouchers and do not need to come into transitional housing ✓ Intent was to create small corridors to create neighborhoods. Dwelling is you house, the in between areas are where the neighbors get together ✓ Like the idea of more housing available on the campus. Need programs like this, not as strict as the DOM, but with structure ✓ Concern about standard being reduced. Want program requirement to enter B209 to stay strict ✓ Concern about bringing Veterans onto campus ✓ Permanent housing is desirable ✓ Continuum of residence, start in the DOM, move to B209, then move to permanent housing ✓ Would like to stay connected, but want to move on ✓ CalVets long term. Place to get on track ✓ Pride of ownership for house ✓ Occupational training is desirable. Need to train Veterans to work in desired fields. Live nearby work and school ✓ Provide life skills training ✓ If there is hope, then there is a ray of light ✓ 1 year time frame for staying at B209 ✓ Photos of Veterans in their rooms along with their story. Story of where Veterans came from, how they feel and where they are going ✓ Tents on campus, not a good idea ✓ Connecting program to housing is important ✓ Need stability, shelter | |
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| | <ul style="list-style-type: none"> ✓ People who come straight off the streets have to be closely regulated. Bringing the elements with them , habits ✓ Provide ambassadors, walk through programs. Designated section for a stand down, tents, sleeping bags, shower, education, medical, food ✓ System in place seems to be working ✓ Have a 60 or 90 day stay facility – PTSD, drugs etc ✓ One person had not been anywhere else. Homeless, truck, stand downs. Met person at stand down who introduced program. Tired and need help, wanted to get well. Working the program. New chapter of his life, wants to make it count ✓ Family is important ✓ HUD/VASH is low income, not in good areas. Not safe ✓ Would lie permanent housing in an area like WLA campus. Want to be connected, connected on the campus, connection to resources ✓ Want to graduate from B209 to real neighborhood ✓ Building a community ✓ Connecting housing to discipline and programs, otherwise people will go back to the streets ✓ Expect military conduct, some people are not ready to get better ✓ Accountability ✓ Mentoring ✓ Need more than a dwelling ✓ B209 mimics life ✓ New Directions at WLA is very different than Sepulveda – no structure | |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ VA (5) ✓ HOK (1) | |

END OF DISCUSSION

MEETING MINUTES

SUBJECT: New Directions meeting
Meeting Date: July 8, 2015
Meeting Time: 3 pm to 4 pm
Location: Los Angeles
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the New Directions Group comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • New Directions Group expressed information, concerns and ideas for the campus, explained how their program works <ul style="list-style-type: none"> ✓ Medical services, initial assessment ✓ 90 day medical assessment, wellness assessment ✓ No walk-in services in Sepulveda ✓ Veterans have to go to B500 in WLA for medical services ✓ Unusual opportunities of being on campus should be utilized ✓ Homeless Patient Aligned Care Team HPACT on campus ✓ High risk behavior refusal to accept medical help ✓ Managers and staff meet with HPACT team ✓ HPACT Team – VA created a separate unit and hired people who had street experience ✓ 2 years of training for police ✓ HPACT teams developing relationships ✓ Connect to the campus ✓ Security – police need to operate differently than medical. Private residence, need support. When you call 911, who comes? Police need to be trained to deal with mental health issues ✓ Complaints about residents on campus from VA staff. Biggest problem is gossip ✓ Property managers need control, but need to have police support to deliver message ✓ 5150 authority. Need to have a conversation with mental health people ✓ 20 to 1 resident / staff ratio ✓ Services <ul style="list-style-type: none"> ○ Community building ○ Structured engagement ○ Tied to best practice goals ○ Connecting to medical services ○ Connecting to community ○ Activities ○ Support groups ○ Movie nights ○ Coffee night ○ Active space ✓ Build trust and relationships, so Veteran can deal with stress an change | Information |

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| | <ul style="list-style-type: none">✓ People in the building know how to hide behavior. Need to move people along✓ Permanent housing, turnover is 10% per year. Source of people leaving is incarceration. Usually tied to constraints in the system, no available rehab beds for example. Number of people have had their benefits restored✓ Focus on outcome, don't want it to be not ok for the type of people/behaviors to be in the facility✓ Flexible funding✓ Revitalize the campus✓ Issues that restrict development<ul style="list-style-type: none">○ Regulatory○ Financial○ Infrastructure✓ Building a community for Veterans by Veterans | |
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END OF DISCUSSION

MEETING MINUTES

SUBJECT: Blue Butterfly meeting
Meeting Date: July 9, 2015
Meeting Time: 10 am to 11 am
Location: Los Angeles
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the Blue Butterfly comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Blue Butterfly Group expressed information, concerns and ideas for the campus, explained how their program works <ul style="list-style-type: none"> ✓ Veterans not eligible for VA benefits not eligible for VASH ✓ Some Veterans qualify for Section 8 ✓ Can provide mixture of Veterans Section 8 and VASH ✓ Land needs to have a Veterans only restriction on the land ✓ Prop 41 funding can serve less than honorable discharge ✓ Outreach efforts challenge, non eligible Veterans ✓ DMH, department of mental health. DVMSC preference ✓ Design can drive the division of housing type population. Neighborhood concept. Avoid long corridors, pods are better. Learn from senior housing. Richard Niemeyer, architect, can provide information about rehab ✓ Blue Butterfly has 73 leasable units, 3 units used as supportive services office. 9-1/2 acres. On site manager, maintenance, support. Minimum household size based on 2 bedroom, 1 bath; have to be 2 or 3 residents. Need to lease up to meet tax credit requirements. 3 to 4 weeks to complete lease up. Recommend 2 bedroom, 2 bath units, double master for unsubsidized ✓ Grant per diem program, transitional for 2 years. Existing programs will be funded, no new programs anticipated. 2% vacancy rate for rental housing in LA difficult to find low income units to move to ✓ Working with the VA to define who provides case management services. Has to do with case management dollars and control. Ratio of 1 to 25 case management. Best option is to have VA subcontract, second best is to have 1 case manager assigned a property ✓ Security 24/7 ✓ Many homeless have vehicles ✓ Outreach strategies – Relationships with WLA and Long Beach VA. Community partners ✓ VSO outreach based on existing relationships | Information |
| 2 | <ul style="list-style-type: none"> • Follow up information <ul style="list-style-type: none"> ✓ How many grant per diem residents are there in LA County? ✓ How many units does LA County plan to build in the next 1, 5, 10 years? ✓ Can case management dollars be subcontracted to operation | |

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END OF DISCUSSION

MEETING MINUTES

SUBJECT: Inpatient meeting
Meeting Date: July 30, 2015
Meeting Time: 10 am to 11 am
Location: VA West LA
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the Inpatient Group comments, questions, concerns and input.

| Item | Discussion | Action |
|------|---|-------------|
| 1 | <ul style="list-style-type: none"> • Room Introductions of each Team member and Inpatient Group • Dr Li expressed information, concerns and ideas for the campus <ul style="list-style-type: none"> ✓ 2nd Quarter 2015 – 600+ admits rom homeless group. 300+ at ED ✓ Recent data projections – 900+ increase in ED ✓ Skilled nursing – additional 190 (State Veterans Home). 4-5 ED/daily <ul style="list-style-type: none"> ○ Total of 600 beds with 3 levels of care <ul style="list-style-type: none"> ➢ Assisted living ➢ SNF ➢ Dementia ✓ Most of the Veterans are outside GLA area for State Veteran Home ✓ ED and Inpatient services – no children. ED is at capacity now, can't handle any addition load. Need to increase Inpatient/ED services ✓ OB/GYN to UCLA ✓ Homeless have longer length of stay. Often because there are no transitional services available for them ✓ Have a 54 bed transitional care unit, 2/3 homeless ✓ Post 911 - mental health services increased ✓ Discharge planning meetings include Doctor, Social Worker, Case Manager, Nursing Home Coordinator. Items discussed for discharge: <ul style="list-style-type: none"> ○ Challenges ○ Drug / alcohol use ○ Patient unable to pay or don't want to pay (pension release) ○ Refuse to leave. 20-30 inpatients at any given time | Information |
| 2 | <ul style="list-style-type: none"> • Follow up information <ul style="list-style-type: none"> ✓ Bill Daniel to provide flow chart of how homeless navigate and enter VA system | |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ VA (2) ✓ HOK (3) | |

END OF DISCUSSION

MEETING MINUTES

SUBJECT: Leadership Group meeting
Meeting Date: July 29, 2015
Meeting Time: 2 pm to 3 pm
Location: VA West LA
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the Leadership Group comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Room Introductions of each Team member and Leadership Group • Leadership Group expressed information, concerns and ideas for the campus <ul style="list-style-type: none"> ✓ North and South division between healthcare and housing is good ✓ Darci Palmer (CORE) comment: Menlo Park, 2 acre site, interim ground lease. Created entity that is the future owner of the affordable housing development 60 units permanent affordable housing. City and County authority. Use of tax credits. What are rents vs VASH? Includes case management from VA. Financial feasibility of housing and support services ✓ Children on campus: <ul style="list-style-type: none"> ○ VA does not do pediatric health, joint commission regulations are different ○ Security ○ Adjacency to schools ○ Many Veterans are registered sex offenders, proximity issues ○ Impaired drivers on campus, off campus supervision ○ No daycare or while receiving care supervision for children ✓ Homeless group that do not have physical or mental issues ✓ Doms are abstinence programs ✓ Bridge housing not on programs, difficult to mix these groups ✓ What is the definition of a neighborhood? ✓ Separate types of issues ✓ Veterans who have family units ✓ B402 is current homeless intake, should this function move to north campus? ✓ Cycle of homeless Veterans: <ul style="list-style-type: none"> ○ Evaluate getting them off the street, bridge housing on campus, Veterans may be using substances ○ Lack of low income housing in IA ○ PIT count majority African American. What can be done to diversity the community? ○ This campus might be more of a way station ○ Resources are not close by ✓ Preference for at risk Veterans | Information |

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| | <ul style="list-style-type: none"> ✓ Identify range of Veterans. Identify pros and cons ✓ Housing First process: <ul style="list-style-type: none"> ○ Chronically ill, schizophrenia, reduction of harm ○ Transitional program moving toward housing, 1 year ○ Permanent housing, suggest split off from Federal property ○ HUD/VASH vouchers, demand high, availability is high, need HUD/VASH waiting space. The in between people who have nowhere to go More like temporary housing. Something does not require healthcare – VA focus in on healthcare not on urban planning ✓ EUL needs Veteran support | |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ VA (8) ✓ HOK (2) | |

END OF DISCUSSION

MEETING MINUTES

SUBJECT: Mental Health meeting
Meeting Date: August 6, 2015
Meeting Time: 11 am to 12 pm
Location: VA West LA
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the Mental Health comments, questions, concerns and input.

| Item | Discussion | Action |
|------|---|-------------|
| 1 | <ul style="list-style-type: none"> • Room Introductions of each Team member and Mental Health Group • Mental Health Group expressed information, concerns and ideas for the campus <ul style="list-style-type: none"> ✓ Vulnerable Categories (some who can live independent, some cannot) <ul style="list-style-type: none"> ○ Women ○ Frail ○ Elderly ○ Chronic psychotics ○ Cognitive impaired, physical limitations ✓ Original roots was a Barry Hospital psych buildings. Suggest going back to original charter ✓ Children can be on campus as long as there are no predatory groups ✓ Long term children tenants, may need to address pediatrics ✓ Well published statistics that quantify number of children in a given population ✓ These patients would be using inpatient and mental health services. Subspecialty services located at GLA ✓ Multiple diagnosis, more efficient and patients more likely to attend. Improve access to care for those who will be using it all the time ✓ Create nodes through the property and use shuttle on a loop. Improve access ✓ Bulk of mental health patients are domiciliary. Shifting from dom beds to bridge housing. Dom is part of community care, not part of mental health. Dom is used to discharge hospital patients, highly vulnerable. Component of substance abuse, working on 30 day residential program. Dom used as step down, reduced number is ok ✓ Gateway to services <ul style="list-style-type: none"> ○ Psych ER usually referred by clinician. Admitted for brief time for specific purpose ○ Community provider referral ○ Self referred ○ Homeless through social services ✓ There is no single portal for services <ul style="list-style-type: none"> ○ Part of the problem is that there is no single portal. Inpatient programs consolidated into B500 2nd floor | Information |

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| | <ul style="list-style-type: none"> ○ Mental health clinic moved to B401, plan is to move all remaining mental health activities in B401 and B402 ○ Most cognitively impaired – services distributed across campus. Optimal location for mental health is B500 once it is vacated. Mental health becomes another ambulatory clinic ✓ Mental health is part of Medicine. Location on north campus would further stigmatize mental health. Need access and adjacencies between mental health and medicine ✓ Mental health and case management is Medicine ✓ Case workers, social services are Housing ✓ Aggressive or predatory group <ul style="list-style-type: none"> ○ Put younger aggressive men/people in HUD VASH rather than concentrate them on campus ✓ Mentally ill young – aggregate housing to young men near CBOCS or at Supulveda. Expand sub specialty services to outlying areas ✓ Each decade of life another organ goes hay wire. Younger Veterans do not have as many physical issues ✓ Do not mix aggressive with vulnerable ✓ Integrate into work force. They want different amenities ✓ Physical disability <ul style="list-style-type: none"> ○ Diabetes is the strongest indicator for dementia – vulnerable ○ Those who have physical disability who have a history of violence should not be here ✓ High 70 to mid 80 percent of homeless have mental illness. Mentally ill homeless are a subset of larger group of mentally ill Veterans ✓ CWT programs: Grounds Keeping, Co-Op, Tree people ✓ North campus focus <ul style="list-style-type: none"> ○ Housing and social services ○ Mitigate traffic as a result of the mix of recommended north campus residents ○ Use parking nodes and inter campus shuttle ✓ South campus focus <ul style="list-style-type: none"> ○ Healthcare, mental health and research ○ Mitigate traffic as staff move to South campus. Consistent within integration of PACT model | |
| 2 | <ul style="list-style-type: none"> • Follow up information from Andy Kim and Kerry DeCourt <ul style="list-style-type: none"> ✓ Disruptive behavior committee ✓ Number of mental health patients who are homeless | |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ VA (2) ✓ HOK (2) | |

END OF DISCUSSION

Client: Greater Los Angeles VA Medical Center, Los Angeles, CA

Meeting Date: 6 August 2015

Project Name: New Urban Master Plan & Potential Enhanced Use Lease

Meeting Location: VA Welcome Center, Building 257, First Floor Conference Room

HOK Project No.: 15.24015.00

Meeting Time: 11:00 am - 12:00 pm

Meeting Name: DISCUSSION WITH DR. BARRY GUZE, CHIEF OF PSYCHIATRY

| Name | Affiliation | Phone | Email |
|----------------------|-------------|-------|-------|
| <i>Barry Guze</i> | | | |
| <i>Cynthia Grant</i> | | | |
| <i>John Doganis</i> | | | |
| <i>Craig</i> | | | |
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MEETING MINUTES

SUBJECT: Environmental Services meeting
Meeting Date: August 6, 2015
Meeting Time: 9 am to 10 am
Location: VA West LA
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to Environmental Services comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Room Introductions of each Team member and Environmental Services • Environmental Services expressed information, concerns and ideas for the campus <ul style="list-style-type: none"> ✓ Outside contracts <ul style="list-style-type: none"> ○ Arborist ○ Fire Prevention ○ Bio-Waste (Sharps) ○ Hazardous Materials, Safety ✓ Engineering – roads / blacktop ✓ Environmental Services average 220 FTE <ul style="list-style-type: none"> ○ Only preferenced Veterans ○ Veteran in conflict tour ○ 30% disabled ○ WG-2 to WG-6 ✓ All sanitation – inside and out. Trash, cleaning, etc ✓ Exterior maintenance ✓ Signage ✓ Painting ✓ Flooring ✓ Do not maintain: <ul style="list-style-type: none"> ○ DOM rooms ○ B209 (clean own rooms) ○ B207 (Salvation Army) ○ B212, B214, B116 and CA State Home ○ Laundry ○ Landscaping ✓ Use CWT's – live on campus, work off-sets rents ✓ Developer Buildings – analysis of most cost effective way to maintain, case by case. ✓ Primary Warehouse – B297 ✓ Secondary Warehouses <ul style="list-style-type: none"> ○ B210 (basement) ○ B500 ✓ Long Term Signage – South campus is done, North campus still incomplete. VA should have its own sign shop ✓ New buildings should have low water/low maintenance exterior ✓ B209 has 6 Housekeeping Aid Closets | Information |

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| | <ul style="list-style-type: none">• Attendees<ul style="list-style-type: none">✓ VA (3)✓ HOK (1) | |
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END OF DISCUSSION

MEETING MINUTES

SUBJECT: Dietary meeting
Meeting Date: August 12, 2015
Meeting Time: 1:30 pm to 2:30 pm
Location: VA West LA
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the Dietary Services comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Room Introductions of each Team member and Dietary Services • Dietary Team expressed information, concerns and ideas for the campus <ul style="list-style-type: none"> ✓ Building 300 is food production and administration offices ✓ B300 contains IT component ✓ B13 and B210 are former food service buildings ✓ Produce and tray for: GLA, Sepulveda and Long Beach ✓ Cafeteria , tray and made to order ✓ Bulk food service for State Home: 84 bed homeless of total 398 beds ✓ OP mental health Veterans, B206 and B207 dual diagnosis, outpatient day treatment: sack lunches (VA Handbook does not have authority to feed outpatients. Authorization is only for inpatients and outpatient day treatment program. Need to include food service into guidelines or include EUL criteria) ✓ 1.3 million meals per year ✓ VCS does canteen, stores, vending and food trucks ✓ Staffing challenges, more substance abuse and mental health issues ✓ Increase activity on North campus affecting Dietary. Food service employees in transitional housing, living in grant per diem programs, dom and transitional. Drama and tension in the workplace. Treatment in B206 and B207, across the street. Employees wandering into work areas. Not enough security, food safety, physical safety. Staff has too much interaction with transitional housing people ✓ Do not use CWT. Too many challenges. Treatment residents are ok, but those who are not in the treatment are at risk. The employee environment (place) is a trigger ✓ GLA future – room service program requires relocation closer to main hospital and additional space ✓ Long Beach reimburses for food services, cultural and political differences, inefficient ✓ Sepulveda - 35 beds in the CLC, 5 GLA staff located in kitchen on site ✓ State Home – 5 year sharing agreement. Existing kitchen serves 54 residents ✓ Sepulveda New Directions – security challenges ✓ Variety of patient needs, age range increasing, 70% of diets | Information |

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| | <p>are specialized</p> <ul style="list-style-type: none"> ✓ 1 dietician to 6,000 Veteran outpatients ✓ At capacity in current facility. Not enough storage, refrigeration ✓ Ideal kitchen environment is single level. Current environment is 3 level ✓ Total department size 280 people - nutrition and food services | |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ VA (4) ✓ HOK (2) | |

END OF DISCUSSION

Client: Greater Los Angeles VA Medical Center, Los Angeles, CA

Meeting Date: 12 August 2015

Project Name: New Urban Master Plan & Potential Enhanced Use Lease

Meeting Location: VA Welcome Center, Building 257, First Floor Conference Room

HOK Project No.: 15.24015.00

Meeting Time: 1:30 ^{PM} am - 2:30 am

Meeting Name: DISCUSSION WITH JENNIFER WORLEY, DIETARY SERVICES DIRECTOR

| Name | Affiliation | Phone | Email |
|-----------------|------------------|------------|------------|
| Diane Freyling | Nutrition & Food | [REDACTED] | [REDACTED] |
| Jennifer Karp | Nutrition & Food | [REDACTED] | [REDACTED] |
| Jana C. Dorais | NUTRITION HOK | [REDACTED] | [REDACTED] |
| CYNTHIA KEEFE | HOK | [REDACTED] | [REDACTED] |
| Jennifer Worley | NFS | [REDACTED] | [REDACTED] |
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MEETING MINUTES

SUBJECT: Emergency Services meeting
Meeting Date: August 13, 2015
Meeting Time: 3 pm to 4 pm
Location: VA WLA B257 Welcome Center
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the Emergency Services comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Room Introductions of each Team member and Dr Patel • Dr Patel expressed information, concerns and ideas for the campus <ul style="list-style-type: none"> ✓ Largest VA ER in the country and in the VISN ✓ ER is the only off duty care hours available to Veterans ✓ Veterans use ED as primary care provider, underserved population ✓ 35% homeless, tenuous housed Veterans. Census – 28,000 total visits last year. Projecting 30,000 this year ✓ See approximately 28 homeless Veterans per day ✓ Majority of patients come in evening and weekends ✓ 20 bed ED with 2 fast track beds. Open 24/7, 365 days a year ✓ DOM clinic staffed weekdays 8am to 4pm with primary care team in B402 ✓ Capacity to care already to overcapacity. ED renovation in 2016, 14to 24 month renovation schedule. 25 to 30 percent decrease in capacity ✓ Urgent care clinic needed in addition to the ER ✓ 6 to 9 hours wait if moving to inpatient bed – worst in VISN ✓ 5 to 10 ambulance visits per day ✓ Trauma cases are stabilized and transferred to UCLA ✓ Children will be taken to UCLA. Physicians are trained in pediatrics, but staff is not and there is no pediatric equipment available in the ED ✓ Women make up 8% of patients in ER. Predominant issues are not female specific ✓ Homeless come in the North entrance of B500. Veterans stay in lobby until police sweep the area, they then go to the ED ✓ No options for discharge to beds on campus. If beds are available at welcome center, there needs to be a shuttle available 24/7 from ED ✓ Need medical detox unit – 10 beds minumum | Information |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ VA (2) ✓ Consultants (3) | |

END OF DISCUSSION

MEETING MINUTES

SUBJECT: Patient Advisory meeting
Meeting Date: August 13, 2015
Meeting Time: 10 am to 11 am
Location: VA West LA
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the Patient Advisory Council comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Room Introductions of each Team member and Patient Advisory Group • Patient Advisory Council expressed information, concerns and ideas for the campus <ul style="list-style-type: none"> ✓ State of California on target per NPR report. Ending homelessness by 2015 is difficult due to transient nature of homeless population. Housed one year, may return to homelessness in future. Case load today, 48 beds, 4 case managers. Ranges from 9 to 13 depending on census. Housing families is more difficult in State of California. Single male with substance abuse easier to address because there is more funding. Housing for female Veterans with children. Need to identify mix and number of homeless women Veterans. Because of equal opportunity, certain grants were unavailable. Address issue before construction and target population ahead of time to avoid equal opportunity and fair housing ✓ Womens clinic and Womens Mental Health are good. All in one clinic, need more room ✓ Women feel that they are harassed they are here for medical care, not to buy drugs or pick up a date ✓ Masterplan Drivers <ul style="list-style-type: none"> ○ Housing ○ Safety ○ Separate clinical and recreational facilities for women, separate waiting rooms and entrances ✓ Operational Drivers <ul style="list-style-type: none"> ○ Staff training, specific to women issues ○ Increase primary care ○ Increase continuity of care ✓ In the military, all serve as one. Out of the military, women are not getting the respect they received in the military. Response is that in the military the treatment was biased. This attitude continues at the VA. At VA facility, men are aggressive toward women on campus. There is no accountability in the VA at WLA. Betrayal of trust ✓ Council charter is to make recommendations to provide a sense of well being for Veterans on campus <ul style="list-style-type: none"> ○ Vulnerable Veterans | Information |

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| | <ul style="list-style-type: none"> ○ TBI ○ Stroke ○ Mental Health ○ Women Elderly ✓ Urgent Care and ED <ul style="list-style-type: none"> ○ Women have problems being seen, any are turned away. Services needed to not align with clinical specialties. Info from MSA. Triage is occurring ○ Veterans go to ED so they have a place to stay ✓ Homeless access through bridge housing, 40% of patients in GMed are people with unstable housing. People who need medical care before they continue treatment. Bridge housing beds without behavioral or medical criteria. Post acute care discharge. 70 to 80% sleeping off site ✓ Comprehensive homeless center, B402. Integrated housing, 100 unique Veterans per day. Most have stable housing, 20 per day looking for housing ✓ Welcome campus for all Veterans. Bridge housing and Welcome Center. Intent is to run 24/7 ✓ Shuttle service between B402 and B257 ✓ Chronic homeless Veterans with complicated medical and psycho social, substance abuse – patients who do not want services. Using housing first model. No interest in coming in for healthcare or housing. Outreach needed. Programs in B257 are available to women, but not well attended. Staff training needed ✓ Goal is to have campus with large DOM patients, substantial programs including, training, vocational rehab, social services ✓ HPAC homeless patient aligned care team increased hours ✓ Women should be able to request escorts from are to clinic. Women have to traverse through a pack of men at DOM and Haven. Need to have safe secure access ✓ Culture at WLA is different. Survey, 25% of women report harassment on VA campus. Build on innovations from other VAs, college campuses, bystander interventions. Culture of hanging out (socializing) is detrimental to creating a safe environment. Is there a zoning solution to empower Veterans. Neighborhood watch, Veterans. It is a place for healthcare and a place for socialization. Focus on South campus as medical center. Need 360 view camera towers or red phone system on campus ✓ Veterans with children – Services on campus are currently lacking. Parameters for healthcare is possible. Population in recovery, need to figure out how to separate women and children geographically etc. Complete separation between women and children. Campus and potential housing, research buildings, turned into children quad. Separate transgender population from convicted sex offenders | |
| 2 | <ul style="list-style-type: none"> • Follow up information and questions <ul style="list-style-type: none"> ✓ % of chronic homeless who are receiving healthcare currently? Highest percentage of women homeless in country ✓ What are the barriers to bringing chronic vulnerable homeless? Target approach to what women and other vulnerable Veterans need Feeling of continued abuse ✓ Security – permanent housing criteria. What about legal substances, medical marijuana and alcohol on campus? | |
| | <ul style="list-style-type: none"> • Attendees | |

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| | ✓ VA (7) ✓ HOK (2) | |
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END OF DISCUSSION

MEETING MINUTES

SUBJECT: Domiciliary meeting
Meeting Date: August 26, 2015
Meeting Time: 9:30 am to 10:30 am
Location: VA West LA
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the Domiciliary Services comments, questions, concerns and input.

| Item | Discussion | Action |
|------|---|-------------|
| 1 | <ul style="list-style-type: none"> • Room Introductions of each Team member and Domiciliary Services • Domiciliary Team expressed information, concerns and ideas for the campus <ul style="list-style-type: none"> ✓ Domiciliary Services used to report to the President – under Geriatrics and Extended Care, now under Mental Health ✓ More complex needs, mental health residential and treatment programs are still DOM beds. Now doing EB practice, big umbrella for different types of DOM. Different beds depending on type of treatment ✓ DOM categorized by most prevailing criteria ✓ DOM currently in B214 and B217, new building B214 to be converted to bridge housing ✓ CLC, Nursing home B213 and B215 ✓ 4 bed sections – total 296 beds <ul style="list-style-type: none"> ○ 125 beds designated homeless Veterans, all issues, mental illness or displaced Single rooms, 2, 3 and 4 person rooms ○ 62 beds – SA beds, substance abuse ○ 20 beds for Women ○ 32 bridge beds, will increase – different approach, not sobriety requirements. HUD VASH step section was bridge housing. Need to be in stable environment while they find stable housing ○ 109 general beds. Trauma that occurred in the military, MST/PTSD, younger Veterans. Separate men and women ○ 57 remaining DOM beds, need some sort of care ✓ B209 is under the same authority as DOM, focus is work therapy. Veterans are taught to live independently They pay a program fee. Environment is individual focused. DOM is communal living. Continuum of Care ✓ Medical care is considered outpatient, staffing consists of psychologists, therapists, case workers, nursing staff, social workers,, pharmacist, dietitian, recreational therapy, social science techs and assistance, physical therapist vocational therapist. Treatment building within a residential setting ✓ Increased acuity in patients. Medication management. Safe medication management program ✓ Occupancy Rate – 82%. Womens unit is usually 50% full | Information |

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| | <ul style="list-style-type: none"> ✓ Patients enter through referral in B402. Enter through emergency, social work, HPACT, PACT, Outreach and telehealth. Consults come straight to DOM. Set up patient with face to face screening, working on telehealth screening. Require recent TB screen. Screen is basic health, mental health looking to see if the program can accept, can the program manage the Veteran, does the Veteran want to come into the program. Those who do not meet criteria, may need higher level of care. Physical and mental ability, dementia, effect of drugs - Veterans are referred to board and care, Mental Health. ✓ Veterans do not pay, average length of stay is 5 to 6 months ✓ Older Veterans are assisted to find housing, some go back to families. Increased number of Veterans trying to maintain housing, go back to own home ✓ Backlog – none. Initial contact to consult within a day due to increased hours and evening screening ✓ Program components for each of the beds <ul style="list-style-type: none"> ○ Close to 800 people admitted and discharged each year, 60% Veterans are completing program ○ SA increase in Veterans about to lose housing. Many Veterans in bridge housing want treatment. See an increase in need moving forward ○ Biggest challenge on homeless floors, multiple diagnosis issues. Treatment plan is organized in subset. Need basic money management, interpersonal skills, basic programming ○ Women, many treated for MST, some combat trauma, domestic violence. Cognitive behavior focused treatment. Women with children are not admitted, provide are where children can visit. DOM not appropriate to have children. Refer children into safe or protective custody while Veteran is in treatment ✓ greater presence of legal services on campus needed ✓ DOM wish list <ul style="list-style-type: none"> ○ Staffing ratio; <i>follow up</i> – staffing is not adequate for current need ○ More space to serve mental ill, need more staff to supervise. Patients need direct supervision. If services are centralized, still need staff managing the residential units. ○ Line of sight needed for higher acuity patients ○ Buildings are not configured appropriately, now require more staff because of existing conditions ○ Front entrance, Veterans coming off the street and in treatment, need storage for patient possessions. ○ Communal living requires clinician intervention. Include group rooms space for resident managers ○ Provide for recreational therapy, computer room, library, referral center (community center) ✓ Recommendation – DOM program focused on DOM, separate the Bridge function into a separate program. | |
| 2 | <ul style="list-style-type: none"> • Follow up information from Arzenia Redcross, John Dozois, George <ul style="list-style-type: none"> ✓ How does DOM address transgender Veterans ✓ How many people lived on campus in the mid 70s? ✓ Number of homeless not entering into the Homeless program | |

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| | ✓ Develop flow diagram for Veterans entering campus. Different path for different Veterans, include off campus | |
| | • Attendees ✓ VA (3) ✓ HOK (4) | |

END OF DISCUSSION

Client:

Greater Los Angeles VA Medical Center, Los Angeles, CA

Meeting Date:

26 August 2015

Project Name:

New Urban Master Plan & Potential Enhanced Use Lease

Meeting Location:

VA Welcome Center, Building 257, First Floor Conference Room #126

HOK Project No.: 15.24015.00

Meeting Time:

9:30 am - 10:30 am

Meeting Name: DISCUSSION WITH ARZENIA REDCROSS, DOMICILIARY CHIEF

| Name | Affiliation | Phone | Email |
|-------------------------|-------------------------|------------|------------|
| <i>Barci</i> | | | |
| <i>George</i> | | | |
| <i>CYNTHIA</i> | | | |
| <i>Blann Smith</i> | <i>AO DOM</i> | [REDACTED] | [REDACTED] |
| <i>Jacqueline Erwin</i> | <i>Asst. chief, DOM</i> | [REDACTED] | [REDACTED] |
| <i>Arzenia Redcross</i> | <i>Chief</i> | [REDACTED] | [REDACTED] |
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MEETING MINUTES

SUBJECT: Outpatient meeting
Meeting Date: August 26, 2015
Meeting Time: 1 pm to 2 pm
Location: VA West LA
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the Outpatient Services comments, questions, concerns and input.

| Item | Discussion | Action |
|------|---|-------------|
| 1 | <ul style="list-style-type: none"> • Room Introductions of each Team member and Outpatient Services • Outpatient Team expressed information, concerns and ideas for the campus <ul style="list-style-type: none"> ✓ Regular Dental Clinic in B500 ✓ Homeless Dental Clinic in basement of B213 located in space not set up for dental, 5 days a week ✓ Limited mental health on the North campus, could be moved to South campus ✓ Set up North campus as residential ✓ Consolidate mental health all in one place ✓ Scheduling patients – staff needs cross training, concern about being on both North and South campus ✓ PACTs on South campus ✓ Possible HPACT on North campus, services can more efficiently be located on South campus ✓ Point of entry for Veterans (including homeless) <ul style="list-style-type: none"> ○ Business office ○ ED ○ B402 referrals ○ NEAR list, new enrollee appointment report. Request for services. Either enrolling only or requesting an appointment. Added to NEAR list if asking for appointment ✓ 24/7 care – dependent on reliable shuttle or pick up service ✓ Roughly 30% of outpatients are homeless ✓ All of primary care providers already are treating homeless ✓ Workload is dropping, expect additional homeless will stabilize workflow. Trying to bring more Veterans back in to the system. Good success, approximately 10% success bringing Veterans into system. Decline in LA County by 50% by 2021, total Veteran decline ✓ Mental intensive case management becomes the link to North campus services ✓ If children are on campus they will go to UCLA. Concerned about families on campus. Children need to be protected from sex offenders. Need to separate money, determine eligibility. Need to not mix utilities etc. ✓ Need services for families, some VA facilities have mental health services, WLA does not | Information |

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| | <ul style="list-style-type: none"> ✓ OB/GYN paid for in community, not provided on campus ✓ Separate womens clinic ✓ Do not have spinal cord injury, they are at Long Beach ✓ Bariatric surgery is at Loma Linda ✓ Home health services, home based primary care <ul style="list-style-type: none"> ○ Contract agencies ○ Very successful program, will grow in the future ○ VA can provide in home care services. Bottom 3% of patients can be monitored by home telehealth services | |
| 2 | <ul style="list-style-type: none"> • Follow up information from Joy Edleson <ul style="list-style-type: none"> ✓ Purchased home health care services, home telehealth services | |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ VA (3) ✓ HOK (4) | |

END OF DISCUSSION

Client:

Greater Los Angeles VA Medical Center, Los Angeles, CA

Meeting Date: 26 August 2015

Project Name:

New Urban Master Plan & Potential Enhanced Use Lease

Meeting Location: VA Welcome Center, Building 257, First Floor Conference Room #126

HOK Project No.: 15.24015.00

Meeting Time: 1:00 pm to 2:00 pm

Meeting Name: DISCUSSION WITH DAVID HOLT, OUTPATIENT SERVICES CHIEF

| Name | Affiliation | Phone | Email |
|-------------------------------|-------------|-------|-------|
| Karen | | | |
| George | | | |
| Bill. Craig @.hok.com | | | |
| cynthia.keeffe@hok.com | | | |
| CHRISTINE GONZALES | | | |
| CHRISTINE GONZALES@VA.GOV | VA | | |
| DAVE HOLT | VA | | |
| Darryl Joseph | VA | | |
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MEETING MINUTES

SUBJECT: Welcome Center meeting
Meeting Date: August 27, 2015
Meeting Time: 1 pm to 2 pm
Location: VA West LA
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the Welcome Center comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Room Introductions of each Team member and Welcome Center Group • Welcome Center Group expressed information, concerns and ideas for the campus <ul style="list-style-type: none"> ✓ Eligible Veterans – MOA, if individuals come to VA for help and is not eligible for all services, then there should be services on site. VA needs to provide space for non VA services ✓ Legal services ✓ VOA, battle buddy team ✓ County and City services ✓ Not for profit groups ✓ Food ✓ Showers ✓ Computer access ✓ Social services ✓ GPD will grant for up to 24 months. Regulations require that individuals are working their programs. GPD has cap limit does not pay for entire program ✓ Doors will be open for all individuals who have served in some capacity. They will receive information about other non VA services | Information |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ VA (2) ✓ HOK (2) | |

END OF DISCUSSION

MEETING MINUTES

SUBJECT: Women Veteran Services meeting
Meeting Date: August 27, 2015
Meeting Time: 1:30 pm to 2:30 pm
Location: VA West LA
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the Women Veteran Services comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Room Introductions of each Team member and Women Veteran Services • Renee Andreassen expressed information, concerns and ideas for the campus <ul style="list-style-type: none"> ✓ Data management ✓ Uniques: Veterans who are using services, Veterans not using services ✓ Establishing focus groups ✓ Existing womens clinic <ul style="list-style-type: none"> ○ Too small – needs to be right sized for growth ○ Women have to go through B500, women do not feel safe ○ Not enough consistent medical staff ○ Layout is not user friendly, too many men hang out near entrance ○ Needs: Provide women with their own clinic, with all resources, separate from other clinics. Connect to main hospital. Each exam room should have a bathroom ✓ Master Plan should recognize that campus does provide a safe place for women <ul style="list-style-type: none"> ○ Staff training about sexual harassment needed ○ Need to have staff patrol and break up aggressive behavior ○ Concierge service ○ Cultural change is needed ✓ Men hang out at the canteen ✓ Listening to women, trouble shoot problems ✓ Fastest growing population, now up to 10%. Mens population declining ✓ Housing: Women should be off campus because on campus they are surrounded by men. Women do better with programs off campus. Try to keep women apart from men, provide a buffer. Need to have staff monitor for safety. Provide choice for women, mixed with men or isolated from men. Isolate women from sex offenders ✓ Interface between homeless programs. Triage at B402. Issues include mental health, not wanting to be seen in clinic, MST referrals, housing and money issues, help with | Information |

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| | <p>appointments</p> <ul style="list-style-type: none"> ○ B402 triage, referred to GPD or temporary transitional or HCHV transitional in community and ultimately a referral to VASH ○ Emergency Department - not a good separation for women in ED ○ No good solution for women needing detox beds on campus. Ideal would be to have a section that Veterans can stay in ○ Easier for men to find temporary housing than women ○ Cannot get into Dom at night ○ Discharge to the streets after hours – what are safety nets? This should not be happening, there should be beds available for women. Beds should be kept open for women and ED staff should be notified ○ Social workers go home at 11pm, suggest 24/7 social work <ul style="list-style-type: none"> ✓ Backlog – it is harder to get a woman to come to the VA until she has run out of resources. Usually by the time they come to the VA they have hit bottom ✓ Outreach – need a women’s outreach team. Women are less likely to take part of services offered, harder to engage ✓ Demographics are different on GLA campus. Transitional housing on campus leads to a street culture. This will become a greater issue as housing is increased. Skid row and WLA similar cultures. At hospital, Veterans are not in a program and behave badly. Prior lifestyle contributes to current behavior ✓ Disenfranchised groups – Transgender <ul style="list-style-type: none"> ○ Central office needs to have training for GLA staff. Housing should be based on gender identification. Provide options for transgender individuals. Shared housing is not appropriate for transgender population ✓ Need to provide for flexibility in housing options | |
| 2 | <ul style="list-style-type: none"> • Follow up information from Renee <ul style="list-style-type: none"> ✓ Data run regarding women Veterans in catchment area ✓ Age group breakdown ✓ Total number of women patients homeless and non-homeless | |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ VA (2) ✓ HOK (2) | |

END OF DISCUSSION

Client: Greater Los Angeles VA Medical Center, Los Angeles, CA

Meeting Date: 27 August 2015

Project Name: New Urban Master Plan & Potential Enhanced Use Lease

Meeting Location: VA Welcome Center, Building 257, First Floor Conference Room #126

HOK Project No.: 15.24015.00

Meeting Time: 1:30 pm to 2:30 pm

Meeting Name: DISCUSSION WITH RENEE ANDREASSEN, WOMEN VETERAN PROGRAM MANAGER

| Name | Affiliation | Phone | Email |
|--|-------------|-------|-------|
| BILL CRAIG | HOK | | |
| CYNTHIA KEEFFE | | | |
| RENEE ANDREASSEN | | | |
| RENEE ANDREASSEN JOHN DOZENS | | | |
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MEETING MINUTES

SUBJECT: Security meeting
Meeting Date: September 2, 2015
Meeting Time: 9 am to 10 am
Location: VA West LA
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the Security comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Room Introductions of each Team member and Home Health Group • Security expressed information, concerns and ideas for the campus <ul style="list-style-type: none"> ✓ Status of VA police: <ul style="list-style-type: none"> ○ 54 staff – all GLA ○ Authorized at 86, may need more ✓ Drop In Camp Issues: <ul style="list-style-type: none"> ○ Investigation / Sub Station ○ Baseline needs for Sub Station: <ul style="list-style-type: none"> ➢ Cameras ➢ Personnel, special security team, uniformed and un-uniformed ➢ Possibly outside group that police oversees ➢ Not all positions need to be armed ➢ VAPD would be armed ➢ Homeless outreach team made up of police officers. Name may be Community Police Force. Training with Santa Monica ➢ Need support from Law Enforcement Training Academy. (LETCE) ➢ How to determine Veterans and non Veterans – need to establish baseline eligibility ➢ Critical missing issue Veterans who go off campus. Cannot stop people from leaving ➢ Big issue is safety – need to zone camp for vulnerable populations ○ Would like to get more women officers ○ Camera systems that work, interface with dispatch system ○ Modular specific to families ○ Staff 24/7 working closely with B257 group ✓ General Campus Issues: <ul style="list-style-type: none"> ○ Separate entrances ○ Incorporate separate sub stations at South and North campus in addition to new sub station ○ Larger main station preferred over separate sub stations. Sub stations need to have containment facilities ○ Need to meet homeland security requirements | Information |

| | | |
|---|---|--|
| | <ul style="list-style-type: none"> ○ Triage ER area, homeless carry weapons, drugs etc. <ul style="list-style-type: none"> ➤ Patient effects turn in approach ➤ Sepulveda approach, alcohol is allowed in residence ➤ Medical marijuana ➤ What about pets and veterinary? ➤ Children – link to UCLA for healthcare ➤ Families with children, more long term approach needed for family approach,, long term in research quad ○ Good idea to have close circuit TV, license plate readers at all access points ○ Revisit fence line, need to have cameras at the gates for dispatch to pen gates remotely ○ Lighting on campus ○ Need psych response team ○ Need better transportation North / South ○ Existing security systems: <ul style="list-style-type: none"> ➤ Update systems similar to college campus systems ➤ Update server system, computer aided dispatch, add computers to care ➤ CA law enforcement tele communication outdated, will not be able to communicate with LA Sheriff and LAPD, CHPD, FBI ➤ Interface with local – VA Force is a complete jurisdiction, call if outside agency to support, when needed ➤ Outside agencies train with VA officers. Using B224 as training area, simulates a house. Need training station, agencies coming on site because there are not many training areas. Plan for building police station is undersized. Need to add training area. Possibly create a substation at South campus ➤ Regionalization of police officers for CBOCs | |
| 2 | <ul style="list-style-type: none"> ● Follow up information to Charles Leas <ul style="list-style-type: none"> ✓ Need security Plan for: <ol style="list-style-type: none"> 1) baseline needs B257 and B209 online. 2) immediate drop in camp, 6 months. 3) short term, B205, B208, B156, B157, B158 ✓ Structure needs to be in place, incremental addition through <ol style="list-style-type: none"> 4) mid term – long term. 5) South campus – metro station location and bus stop | |
| | <ul style="list-style-type: none"> ● Attendees <ul style="list-style-type: none"> ✓ VA (5) ✓ HOK (2) | |

END OF DISCUSSION

MEETING MINUTES

SUBJECT: Home Health meeting
Meeting Date: September 16, 2015
Meeting Time: 10 am to 11 am
Location: VA West LA
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the Home Health comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Room Introductions of each Team member and Home Health Group • Home Health Group expressed information, concerns and ideas for the campus <ul style="list-style-type: none"> ✓ Groups priority – intensive assistance Operation Enduring Freedom Operation (OEFOIF Veterans) ✓ Jo Everlson oversees: <ul style="list-style-type: none"> ○ Veterans who are placed in the community ○ Home based primary care ○ Adult daycare, where Veterans are enrolled ○ Community nursing home (5 nurses) ○ Matrix with medical social work program, work with Veterans and meet with them monthly ✓ Cathy Higgins oversees: <ul style="list-style-type: none"> ○ West LA campus and Sepulveda ○ Home based primary care people, staff works where patients are located ○ Contracts with community ✓ Programs <ul style="list-style-type: none"> ○ Home based primary care <ul style="list-style-type: none"> ➢ Multi disciplinary team sees complex patients ➢ Primary care clinic, see patients in their home environment ➢ Difficulty getting to care or care is not working ➢ Manage medically complex patients ➢ Reduce emergency room care ➢ Increased access ➢ Long terms, or when patients go to LTC ➢ All VA staff ➢ Over 200 patients and growing, limited by staff held up by leadership ➢ Generates reimbursement dollars for the program from Central office ➢ Fluid wait list, 25-35 patients ○ Purchased skilled home care <ul style="list-style-type: none"> ➢ VA staff RNs who receive consults from outside sources. VA provides clinical authorization receive information and then contract with outside sources for skilled care | Information |

| | | |
|--|---|--|
| | <ul style="list-style-type: none"> ➤ Short term care ➤ Controversy about where funds come from, how vendors are selected, national structure is needed ○ Homemaker, health aid, HHA <ul style="list-style-type: none"> ➤ VA nursing and social worker, non-skilled care, coordinated with outside vendor ➤ Long term care ➤ Veterans with 50 to 100% service related disability are prioritized ➤ Currently there is a wait list ○ ADHC Sepulveda <ul style="list-style-type: none"> ➤ In B99, LTC, about 80 Veterans participate in program. M-F program. Authorized or 2 to 3 days per week , based on need ➤ Enables Veterans to stay at home ➤ Veterans use access or are transported to ADHC by assisted living facility ➤ Bathing and showering ➤ Program manager is social worker, nursing provides staff ➤ Wait list ○ Wound care <ul style="list-style-type: none"> ➤ Partner with podiatry, many are homeless, need follow up treatment. Need a space to see these patients on a follow up care – identify in transition zone. Add wound care clinic, little urgent and maintenance clinic ○ Community Nursing Program <ul style="list-style-type: none"> ➤ 259 Veterans in community nursing homes, majority are SNFs, some are locked IMD intensive mental disability. Some are locked facilities for cognitively impaired. See program growing. Hospice in nursing home. Need 70% service connected disability unless it is hospice care. LTC patients with less than 70%, VA tries to get them enrolled in Medicare or medical. Need for skilled care ✓ Homeless among Veterans is a top priority. Concerns about an open campus are the programs to get off drugs and alcohol ✓ Veterans do not want to get car in the community ✓ It is a lifelong connection and a social experience when they get care ✓ Veterans prefer to be on a waiting list ✓ Safety net ✓ Goal is to keep Veteran at home for as long as possible ✓ Community is eager to engage the Veterans and Veterans re not eager to engage the community ✓ The best way for the community to engage is to volunteer ✓ Campus Needs: <ul style="list-style-type: none"> ○ Need to include ADHC program on WLA campus ○ Need recreation therapy, basketball, surfing, skiing connected to physical rehab and public relations department ○ Need vocational ○ B213 geriatric clinic | |
|--|---|--|

| | | |
|---|--|--|
| | ○ Need rehab on north campus | |
| 2 | <ul style="list-style-type: none"> • Follow up information <ul style="list-style-type: none"> ✓ Stop codes for wound care 142 ✓ Should VA address Veterans who need nursing home, SNF for Veterans who have less than 70% disability? Can the land meet the need? How much is the VA providing to the Veterans? This is a policy issue | |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ VA (3) ✓ HOK (4) | |

END OF DISCUSSION

TODAY'S AGENDA

- WELCOME / INTRODUCTION
- GOALS + OBJECTIVES
- KEY PRINCIPLES
- 'PARKWAY' FRAMEWORK
- OVERALL VISION,
- CONNECTIVITY,
- ACTIVITY + NODES
- CHARACTER + CONTEXT

- TOPOGRAPHY + WATER MANAGEMENT
- LANDSCAPE GUIDELINES
- OCT 15 DEADLINE
- HOW DO WE DISINCENTIVIZE SPEED THROUGH
- WHY NOT HAVE GUARDED GATES AT ALL ENTRIES?
- SIMILAR TO AIBOUR, CYCLISTS GOING TOO FAST, ENDANGERING VETERANS

- WILSHIRE TRAFFIC:

- ACCESS:

- CONTROL ACCESS

- SHOW A PARCEL MAP.

- TRAFFIC: NO WESTWOOD FROM

WILSHIRE TO SUNSET

DUE TO UCLA

HISTORY

CULTURAL
EDUCATION

SOCIAL

- LINKAGES

UCLA / USC

HELP HOUSE LAVETS.COM

- TABLE 2

- CONCERN ABOUT SECURITY FOR WOMAN'S AREA! MOST WOMEN DON'T HAVE CHILDREN
- 150-4,000 UNITS OVER TIME
- AT HUB BY CANTREAN - VETERAN OWNED
REVENUE GENERATION \$\$\$
- COMPUTER CENTER / GYM / POOL / THEATER
- NEED FOR SOCIAL SUP.
 - CLOTHES COLLECTION
 - DOLLAR STORE
 - VOCATIONAL TRAINING
 - CHILDREN'S SPACE
 - RECREATION
- MAKE ALL LAWD AVAILABLE!
- WE NEED TO RENOVATE THE CHAPEL!
- WE SHOULDN'T DEVOTE TOO MUCH LAWD + ATTENTION ON THE AUTOMOBILE
- DEPRIORITIZE PRIORITIZE PED/BIKE ACCESS!

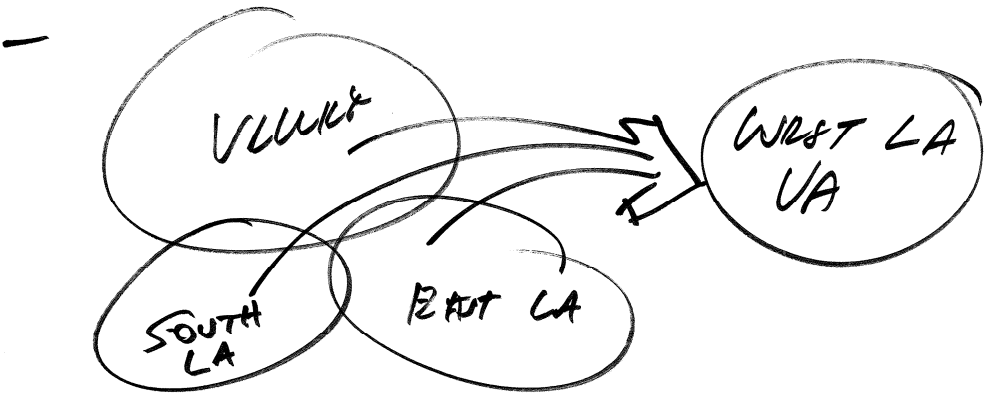
- TABLE 3:

- LRT'S NOT 'WALL' OURSELVES OFF.
 - CONNECTIONS BRING IN RESOURCES/CULTURE, EDU.
 - WHAT ABOUT A CARLESS COMMUNITY?
 - WHAT ABOUT ON SITE POWER/WATER GENERATION
 - WHERE IS OUR WELLNESS INSTITUTE?
 - WELL-BRINGING!
-

- TABLE 4:

- + WE NEED TO FOCUS ON BODY + MIND
 - THEATER, SILK SCREEN SHOP, KITCHEN,
- + MASS TRANSIT TO SITE IS POOR: WE NEED MORE TRANSIT ACCESS TO AN EN SITE.
- + WE NEED COMMUNITY CENTERS.
- + WHAT SHOPS DO WE NEED ONSITE VS. OFFSITE?
 - THE VA/APHS ALLOWS LOWER PRICE + THAT FREE GOODS. WE CAN ALSO BRING ON STARBUCKS, BUT REQUIRE ALL VA EMPLOYEES.

- OUR RETAIL SHOULD BE VETERAN OWNED/OPERATED.
- WE NEED TO USE APPS/NEWS TO INCREASE COMMUNICATION BETWEEN VETERAN GROUPS.



- WHAT IS THE DIFF. BTWN LA VETS + VETS WHO CAME TO LA? - WE ARE A NATIONAL HOME FOR VETS!
- PLEASE INCREASE PAPERING!

TABLE 2
2015/16/17



PRIORITIES

SAFETY/SECURITY

- Review of all buildings
- Review of all roads
- Review of all services
- Review of all facilities
- Review of all equipment
- Review of all records
- Review of all documents
- Review of all data
- Review of all information
- Review of all knowledge
- Review of all skills
- Review of all resources
- Review of all assets
- Review of all liabilities
- Review of all risks
- Review of all opportunities
- Review of all threats
- Review of all vulnerabilities
- Review of all weaknesses
- Review of all strengths
- Review of all capabilities
- Review of all competencies
- Review of all performance
- Review of all quality
- Review of all efficiency
- Review of all effectiveness
- Review of all productivity
- Review of all innovation
- Review of all leadership
- Review of all management
- Review of all governance
- Review of all compliance
- Review of all ethics
- Review of all integrity
- Review of all transparency
- Review of all accountability
- Review of all responsibility
- Review of all stewardship
- Review of all sustainability
- Review of all resilience
- Review of all adaptability
- Review of all flexibility
- Review of all agility
- Review of all speed
- Review of all accuracy
- Review of all precision
- Review of all consistency
- Review of all reliability
- Review of all dependability
- Review of all predictability
- Review of all measurability
- Review of all comparability
- Review of all benchmarking
- Review of all best practices
- Review of all standards
- Review of all protocols
- Review of all procedures
- Review of all processes
- Review of all systems
- Review of all frameworks
- Review of all models
- Review of all theories
- Review of all concepts
- Review of all principles
- Review of all laws
- Review of all rules
- Review of all regulations
- Review of all policies
- Review of all strategies
- Review of all plans
- Review of all programs
- Review of all initiatives
- Review of all projects
- Review of all tasks
- Review of all activities
- Review of all operations
- Review of all functions
- Review of all services
- Review of all products
- Review of all outputs
- Review of all results
- Review of all achievements
- Review of all successes
- Review of all milestones
- Review of all landmarks
- Review of all turning points
- Review of all inflection points
- Review of all pivot points
- Review of all crossroads
- Review of all junctures
- Review of all confluences
- Review of all intersections
- Review of all junctions
- Review of all nodes
- Review of all hubs
- Review of all centers
- Review of all cores
- Review of all nuclei
- Review of all seeds
- Review of all roots
- Review of all foundations
- Review of all bases
- Review of all pillars
- Review of all supports
- Review of all structures
- Review of all frameworks
- Review of all scaffolds
- Review of all templates
- Review of all models
- Review of all patterns
- Review of all designs
- Review of all blueprints
- Review of all plans
- Review of all maps
- Review of all diagrams
- Review of all charts
- Review of all graphs
- Review of all tables
- Review of all lists
- Review of all indexes
- Review of all directories
- Review of all catalogs
- Review of all inventories
- Review of all registries
- Review of all databases
- Review of all archives
- Review of all repositories
- Review of all libraries
- Review of all collections
- Review of all holdings
- Review of all assets
- Review of all resources
- Review of all materials
- Review of all supplies
- Review of all equipment
- Review of all tools
- Review of all instruments
- Review of all devices
- Review of all machines
- Review of all systems
- Review of all networks
- Review of all platforms
- Review of all applications
- Review of all software
- Review of all hardware
- Review of all components
- Review of all parts
- Review of all pieces
- Review of all elements
- Review of all factors
- Review of all variables
- Review of all parameters
- Review of all constants
- Review of all coefficients
- Review of all exponents
- Review of all powers
- Review of all roots
- Review of all reciprocals
- Review of all inverses
- Review of all opposites
- Review of all complements
- Review of all supplements
- Review of all angles
- Review of all shapes
- Review of all forms
- Review of all figures
- Review of all images
- Review of all pictures
- Review of all photos
- Review of all videos
- Review of all audio
- Review of all music
- Review of all art
- Review of all culture
- Review of all heritage
- Review of all traditions
- Review of all customs
- Review of all practices
- Review of all rituals
- Review of all ceremonies
- Review of all events
- Review of all occasions
- Review of all milestones
- Review of all landmarks
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- Review of all libraries
- Review of all collections
- Review of all holdings
- Review of all assets
- Review of all resources
- Review of all materials
- Review of all supplies
- Review of all equipment
- Review of all tools
- Review of all instruments
- Review of all devices
- Review of all machines
- Review of all systems
- Review of all networks
- Review of all platforms
- Review of all applications
- Review of all software
- Review of all hardware
- Review of all components
- Review of all parts
- Review of all pieces
- Review of all elements
- Review of all factors
- Review of all variables
- Review of all parameters
- Review of all constants
- Review of all coefficients
- Review of all exponents
- Review of all powers
- Review of all roots
- Review of all reciprocals
- Review of all inverses
- Review of all opposites
- Review of all complements
- Review of all supplements
- Review of all angles
- Review of all shapes
- Review of all forms
- Review of all figures
- Review of all images
- Review of all pictures
- Review of all photos
- Review of all videos
- Review of all audio
- Review of all music
- Review of all art
- Review of all culture
- Review of all heritage
- Review of all traditions
- Review of all customs
- Review of all practices
- Review of all rituals
- Review of all ceremonies
- Review of all events
- Review of all occasions





2015.09.25

Tag 04 4



TABLE 3
208-08-04

LA. LIBRARY?
VETERANS VILLAGE
BBQ
JAZZ

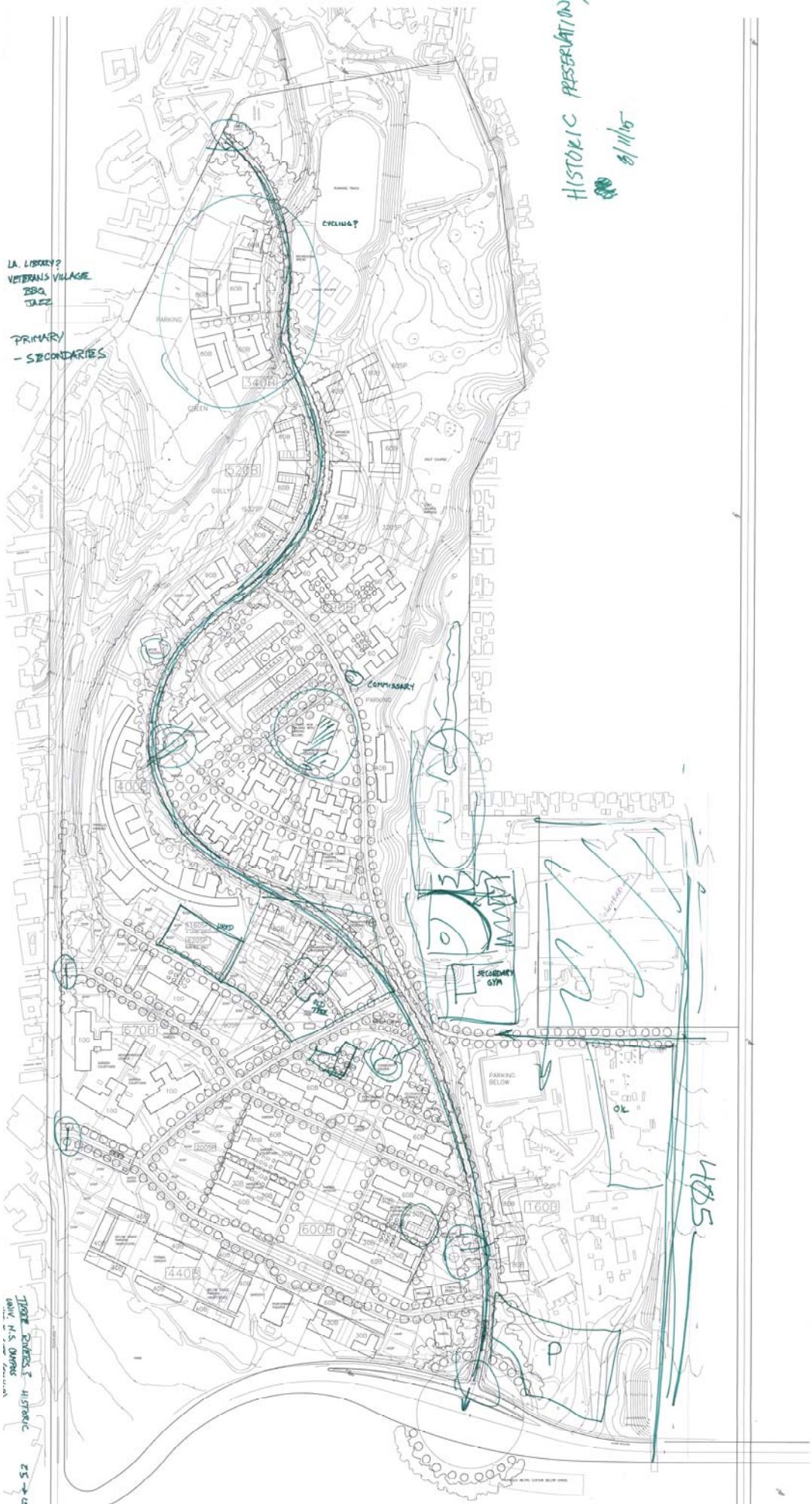
PRIMARY
- SECONDARIES

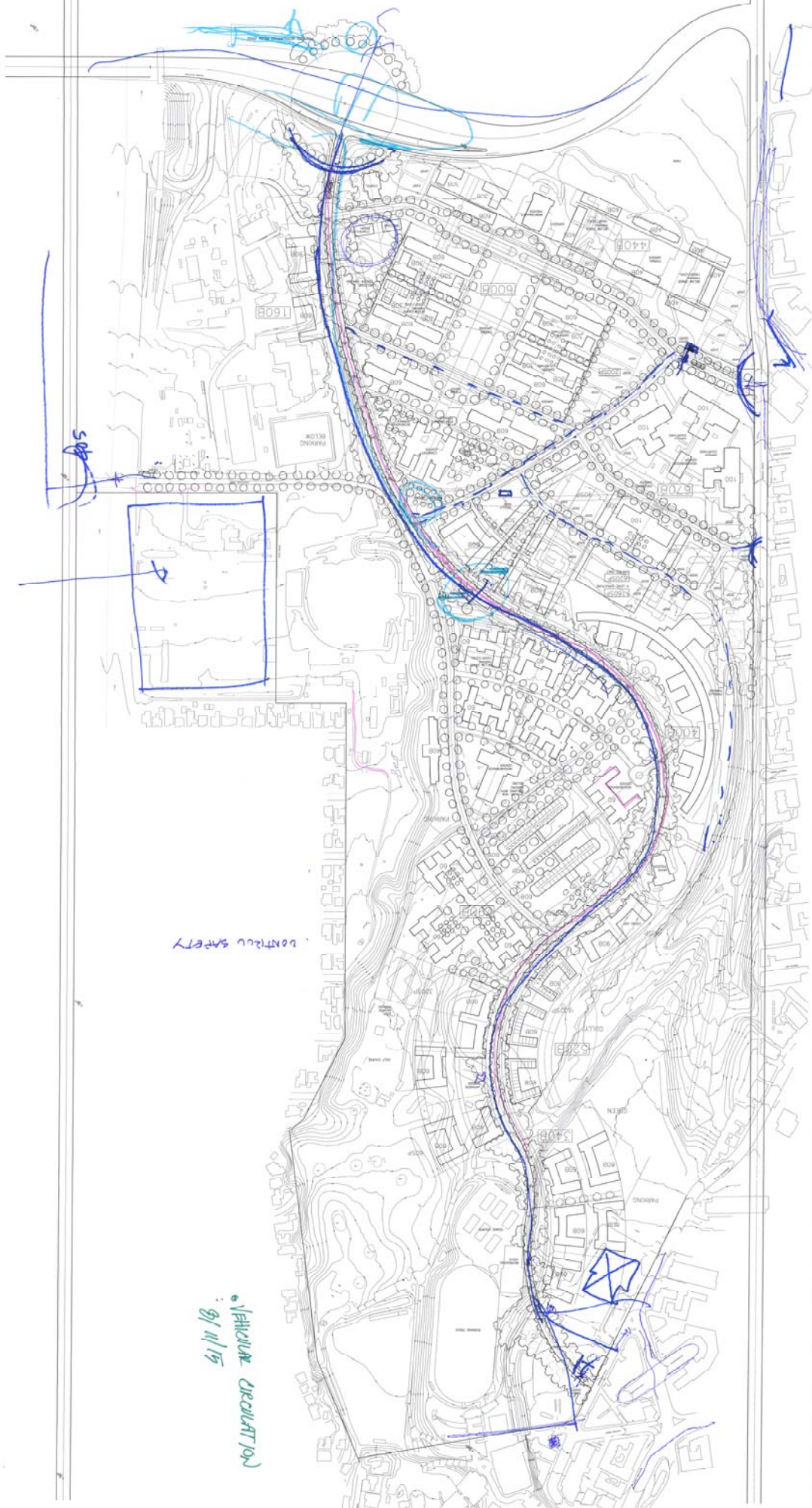
THOMAS DENNIS - HISTORIC
PLAN, N.S. DENNIS

25 - 45 MIN

HISTORIC PRESERVATION

8/1/15





VENTILATION SAFETY

VENTILATION CIRCULATION
9/11/15



HISTORIC PRESERVATION

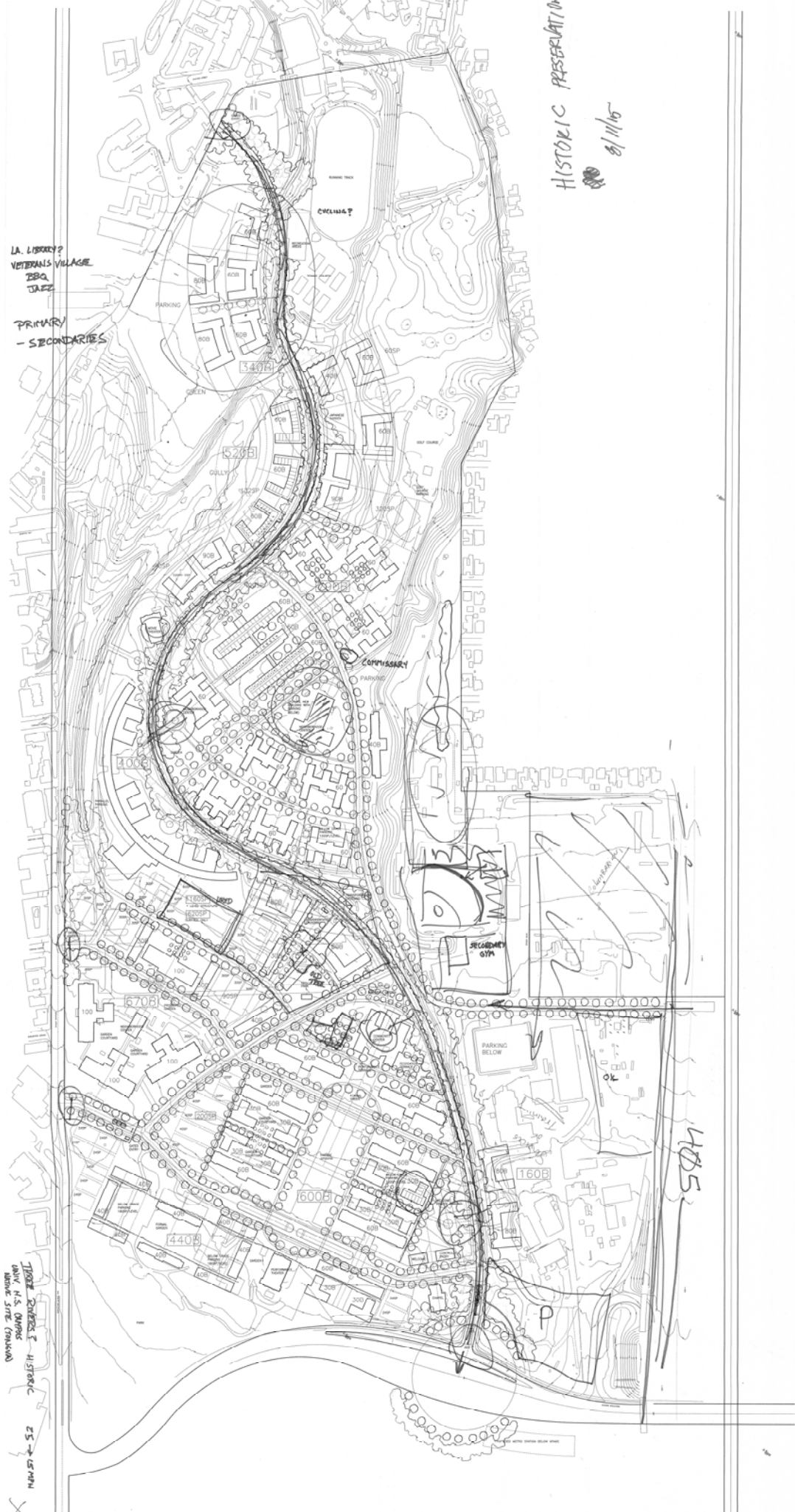
8/11/65

LA. LIBRARY?
VETERANS VILLAGE
BBQ
JAZZ

PRIMARY
- SECONDARIES

THOSE OWNERS & HISTORIC
NAME N.S. OWNERS
NAME SITE (PARKING)

25 - 40' MIN



405

P

SECONDARY 07M

COMMISSARY

CYCLING?

PARKING

GREEN

OSLYN

TACSP

PARKING

PARKING BELOW

160B

440B

600B

670B

400B

520B

600B

600B

600B

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EXH MEDICAL CENTER

THE SHAW FOUNDATION
MURRI, CA
SERVICE ZONE
LIBRARY CENTER
HISTORICAL
CRUISE
IN-PROCESSING
VSOs
TEXT-10-1000

REAR TRAIL OF CENTER STREET

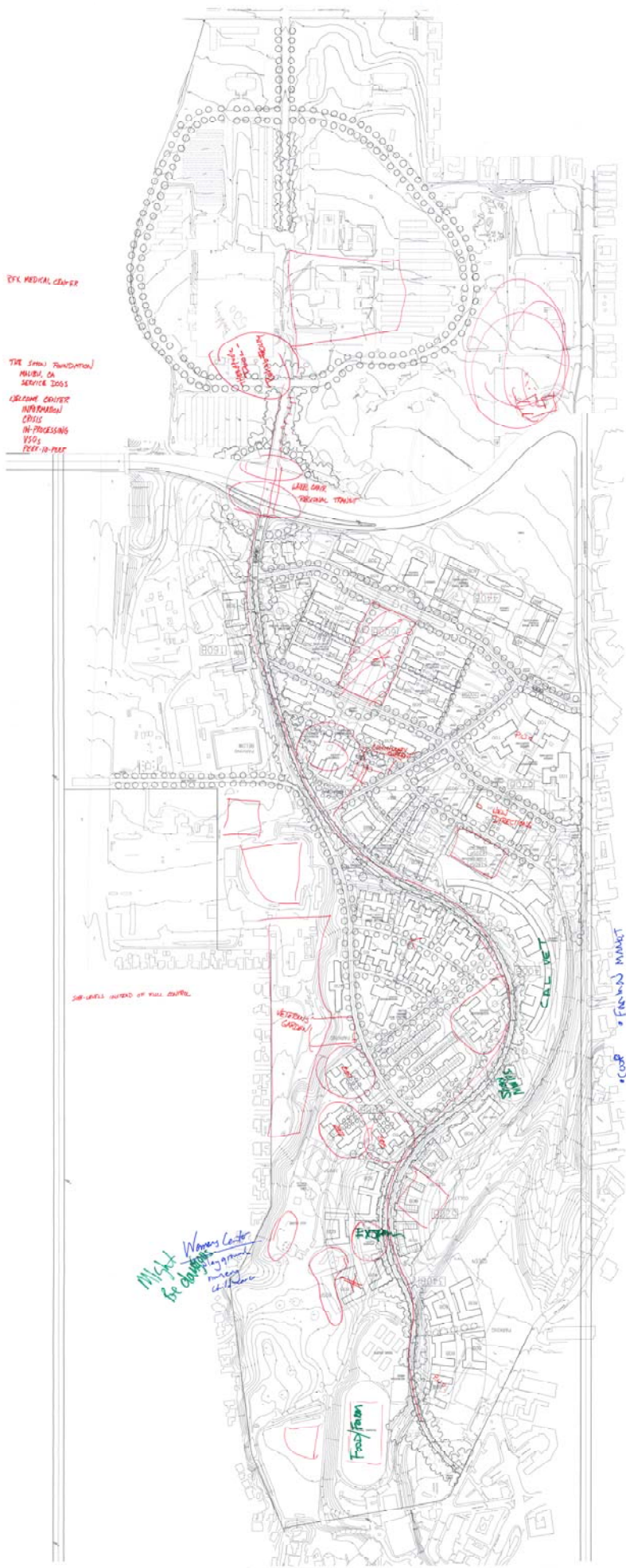
WESTERN CORNER

Might Women Center
for children
management
museum
of history

Franklin

FRANKLIN MARKET

COOP





Why Are We Not Doing More? What are the constraints? Why are we not doing more?

Having fun with the program

A requirement of all units

High Reduction in Housing program

No mech. plants - what is the result?

RV - separate

Relax in studying

UPGRADE OFF COURSE

PARKING LOT

Facilities for cooking classes in association with the Southern Va. Hort. program, targeting would less 2 other needs.

Garage / car repair (not too big) + hand access + vehicle that can be used for maintenance

Need activities

Single parents?

Operations/ human resources

Handwritten notes in red ink on the right side of the plan, including 'Operations/ human resources', 'Handwritten notes in red ink', and 'Handwritten notes in red ink'.

Handwritten notes in red ink on the right side of the plan, including 'Operations/ human resources', 'Handwritten notes in red ink', and 'Handwritten notes in red ink'.

Handwritten notes in red ink on the right side of the plan, including 'Operations/ human resources', 'Handwritten notes in red ink', and 'Handwritten notes in red ink'.

Handwritten notes in red ink on the right side of the plan, including 'Operations/ human resources', 'Handwritten notes in red ink', and 'Handwritten notes in red ink'.

TOWN HALL MEETINGS

| | |
|--------------|--------------------|
| Town Hall #1 | June 23, 2015 |
| Town Hall #2 | July 23, 2015 |
| Town Hall #3 | August 20, 2015 |
| Town Hall #4 | September 17, 2015 |

COMMUNITY MEETINGS

| | |
|-------------------|-----------------|
| Plaintiff | June 17, 2015 |
| VSO | July 14, 2015 |
| Mr Rosbrock | July 17, 2015 |
| Westwood | July 21, 2015 |
| West LA | July 22, 2015 |
| Pacific Palisades | July 23, 2015 |
| Brentwood | July 28, 2015 |
| Homeless Summit | August 19, 2015 |

ELECTED OFFICIALS MEETINGS

| | |
|-------------------|---------------|
| Congressman Lieu | July 14, 2015 |
| LA Mayor Garcetti | July 28, 2015 |

OPEN HOUSES

| | |
|---------------|-----------------|
| Open House #1 | July 21, 2015 |
| Open House #2 | July 28, 2015 |
| Open House #3 | August 4, 2015 |
| Open House #4 | August 11, 2015 |
| Open House #5 | August 18, 2015 |
| Open House #6 | August 25, 2015 |

USER GROUP MEETINGS

| | |
|---------------------------------|-----------------|
| Outreach and Community Planning | June 24, 2015 |
| Building 209 | July 1, 2015 |
| New Directions | July 8, 2015 |
| Blue Butterfly | July 9, 2015 |
| Inpatient | July 28, 2015 |
| Leadership Group | July 29, 2015 |
| Mental Health | August 6, 2015 |
| Environmental Services | August 6, 2015 |
| Dietary | August 12, 2015 |
| Emergency Services | August 13, 2015 |
| Patient Advisory Council | August 13, 2015 |
| Domiciliary | August 26, 2015 |
| Outpatient | August 26, 2015 |
| Welcome Center | August 27, 2015 |

Women's Veteran Services
Security
Home Health

August 27, 2015
September 2, 2015
September 16, 2015

Community Kick Off Meeting Minutes
 Date: June 23, 2015
 Location: West Los Angeles VA

VA Greater Los Angeles Healthcare System
 Urban Master Plan
 VA Project Number: VA101CFM-P-0043
 Date: June 29, 2015

MEETING MINUTES

SUBJECT: Community Kick Off
Meeting Date: June 23, 2015
Meeting Time: 6 pm to 8 pm
Location: VA WLA Wadsworth Theatre
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

Panel Participants:

| Name | Title | Contact |
|------------------|---|------------|
| Marie Weldon | VA Director Pacific Healthcare Network | [REDACTED] |
| Michael Murphy | Acting Director VA GLA | [REDACTED] |
| Vincent Kane | Director Department of Veterans Affairs | [REDACTED] |
| Cynthia Keeffe | Project Director - HOK | [REDACTED] |
| Steve Morton | Planning Director - HOK | [REDACTED] |
| Willie Nishizawa | Landscape Architect - HOK | [REDACTED] |
| Andrea Campbell | Community Outreach - Consensus | [REDACTED] |
| Chris Neale | Veteran Housing – The Core Companies | [REDACTED] |
| Michael Zari | Walsh Construction | [REDACTED] |
| Donald Wetzel | Walsh Investors | [REDACTED] |
| Karen Wise | Behavioral Health - Anka | [REDACTED] |
| Jason Smith | Environmental Assessment – Castle Rose | [REDACTED] |
| Diana Skidmore | Traffic Studies – Crain and Associates | [REDACTED] |
| Robert Chattel | Historic Preservation – Chattel | [REDACTED] |
| Steve Downs | Civil – Michael Baker International | [REDACTED] |
| Ian Slight | Cost Estimator – Saylor | [REDACTED] |
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If this report does not agree with your records or understanding of the meeting, or if there are any questions, please advise the writer in writing within 5 working days of issuance; otherwise we will consider the comments to be correct.

The purpose of this session was to introduce the Urban Master Planning Team.

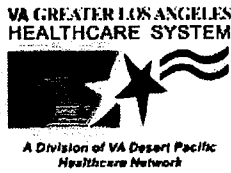
| Item | Discussion | Action |
|------|---|-------------|
| 1 | <ul style="list-style-type: none"> • Introductions of the offices of: Senate, Congressman/woman, State Senators, Assembly members, LA County Supervisors, LA Mayor, LA City Council, Dr. Jonathan Sherin, Matt Collier • Pledge of Allegiance • Rules of the Evening: Be polite and courteous, speak one at a time, no personal information revealed • Introduction of VISN 22 Director Marie Weldon • Introduction of Acting Director GLA Michael Murphy • Introduction of Director Vince Kane – provided an overview of the action the VA is taking to address homeless issues announced award of Urban Master Plan to the HOK/Walsh/Core Team | Information |
| 2 | <ul style="list-style-type: none"> • Introduction of Cynthia Keeffe – HOK <ul style="list-style-type: none"> ○ Thanked Veterans for their service and making sure they are a part of the process ○ Explained how the process will unfold with opportunities for housing, health, and social components ○ Explained that each Team Member has experience with the WLA Campus ○ Introduced the HOK Design Team – Steve Morton and Willie Nishizawa ○ Introduced the Walsh Team – Michael Zari and Donald Wetzel • Introduction of Karen Wise - Anka <ul style="list-style-type: none"> ○ Explained their experience with behavioral health for Veterans ○ Their role is to advise and provide input for the design to help benefit Veterans • Introduction of Robert Chattel - Chattel <ul style="list-style-type: none"> ○ Explained their experience on the WLA campus and role providing historical input for the urban design • Introduction of Jason Smith – Castle Rose (SDVOSB) <ul style="list-style-type: none"> ○ Explained that their role is to determine any environmental impact with the new urban design • Introduction of Andrea Campbell - Consensus <ul style="list-style-type: none"> ○ Their job is community outsource – to find ways to engage entire community, including Veterans, campus neighbors, and interested parties • Introduction of Steve Downs – Michael Baker International <ul style="list-style-type: none"> ○ Explained they would be responsible for the archival civil scope and input to the Urban Master Planning Team • Introduction of Diane Skidmore – Crain and Associates <ul style="list-style-type: none"> ○ Responsible for traffic and parking studies ○ Experience on the West LA campus, Healthcare and VA facilities ○ Existing Space Utilization Plan provides all parking information and they will be updating changes to the existing Plan • Introduction of Hinman – Physical Security (WOSB) <ul style="list-style-type: none"> ○ <i>Not represented at this meeting</i> • Introduction of Ian Slight – Saylor Consulting (DVBE) <ul style="list-style-type: none"> ○ Will be responsible for the cost estimating | Information |

| | | |
|---|---|--|
| | <ul style="list-style-type: none"> • Cynthia Keeffe – HOK <ul style="list-style-type: none"> ○ The Team is not starting this project with any preconceived ideas ○ There will be community meetings each month ○ A live video stream will be available ○ Several meeting with key Stakeholders – Veterans are the #1 Stakeholder ○ Visioning sessions – what is the vision of the Veteran for the campus ○ What services are needed ○ What is the population of the Campus ○ Develop an operational program – what type of housing is needed ○ Integrate services on Campus <ul style="list-style-type: none"> ✓ Home Health ✓ TeleHealth ✓ Primary Care ✓ Acute Care ✓ Emergency Department ○ Identify goals – filter decisions for final Master Plan • Steve Morton and Willie Nishizawa – HOK <ul style="list-style-type: none"> ○ Discussed the master planning process – 6 stages of work for basis of decisions <ul style="list-style-type: none"> ✓ Work Stage 1 – Project Initiation and Kick Off, 4 weeks ✓ Work Stage 2 – Data Collection, Site Visit and Site Analysis, 4 weeks ✓ Work Stage 3 – Master Plan Frameworks and Case Studies, 3 weeks ✓ Work Stage 4 – Preferred Master Plan and Diagrams, 3 weeks ✓ Work Stage 5 - Final Master Plan and Diagrams, 2 weeks ✓ Work Stage 6 – Final Master Plan Report, 1-2 weeks • Donald Wetzel and Michael Zari - Walsh <ul style="list-style-type: none"> ○ Discussed the goals of enhanced use lease approach <ul style="list-style-type: none"> ✓ Get the money for 150 units as in initial start ✓ Build the affordable housing – permanent long term housing ✓ 75 year lease ✓ Will help decide the number and type of units to be built ✓ There is an assumption that legislation will be in place to move forward ✓ Will explain the complexity of the financing, understanding the goals ✓ Will be a public/private collaboration • Cynthia Keeffe – HOK <ul style="list-style-type: none"> ○ Thanked everyone, introduced Michael Huff who led questions and comments | |
| 3 | <ul style="list-style-type: none"> • Michael Huff – Communications for VA <ul style="list-style-type: none"> ○ Started the list of participants that wished to speak • John Keaveny <ul style="list-style-type: none"> ○ Campus is a dark place to come, wants the Chapel to be the first item refurbished ○ 3,000 Veterans need permanent housing ○ Self-sustaining community | |

- Does not like the enhanced lease
- Wants Veterans to have veto power on all items
- Job program
- Earl Grissiom
 - Church must be a priority
- Joe Adaminski
 - Who is the veteran community? Individual vets? Service groups?
 - ✓ Vince Kane responded – all of the above, feedback from everyone and relayed back to everyone
 - Get the Veterans off the street
- Mike McClain
 - Chapel is very important
 - He was homeless, can relate to the Vets out there
- John Aaron
 - Disturbed by the lack of emergency housing, food and healthcare for Veterans
 - Why not have temporary facilities now?
 - Enhanced use lease could be illegal
- Aretta Gottke
 - Inclusion is key
 - Need to have women, single parent families input
 - No sense of trust yet, need actual engagement from teams
 - B209 is seriously problematic for wheelchair people
 - Teams should think about hiring Veterans
 - Communication
- Elizabeth Shaddix
 - Swimming pool for water therapy
 - Safety – lights, emergency phones, etc
- Francisco Juarez
 - Applauds the team that has been put together
 - Veterans need to be included, want to be at the table
 - Veterans are all together on this project
 - Veterans Board of Governors should oversee the process
- Ernie Hilger
 - The land must be used for Veterans as intended
 - Annenberg Paper – design team needs to review
 - Ask the Veteran – practical common sense issues that the Vet faces
 - Thick out of the box
 - To Jason Smith – are you aware of the oil being pumped on this campus? Get educated.
- Ernest Cowell
 - Hearing questions to the panel, but no answers
 - All talk, no action
 - Where did all the lease money go from car rental, bus rental, etc?
 - ✓ Vince Kane responded – VA is addressing leases, if not part of the master plan they will be leaving. It is process
- Mitchell Martin
 - Accessibility is non-existent on the Campus now
 - *Issues not related to the Urban Master Plan*
 - ✓ *Vince Kane responded – We say Veterans first, but opportunities get missed*
- Watson

| | | |
|--|--|--|
| | <ul style="list-style-type: none"> ○ <i>Issues not related to the Urban Master Plan</i> <ul style="list-style-type: none"> ✓ <i>Vince Kane responded – Will be addressed first thing in the morning</i> ● Charlotte <ul style="list-style-type: none"> ○ Nothing about immediate relief housing for the homeless/disabled ○ Veteran owned contractor should do the project building ○ What is the timeline? ○ <i>Issues not related to the Urban Master Plan</i> <ul style="list-style-type: none"> ✓ <i>Vince Kane responded – Tonight was to introduce the Team, not go thru problems of the homeless</i> ● Michael Gannon <ul style="list-style-type: none"> ○ More Veterans involved in the process ○ Veterans hired by Team ○ Look into the Helmets into Hardhats program ● Robert Rosebrock <ul style="list-style-type: none"> ○ <i>Issues not related to the Urban Master Plan, referred to VA personnel</i> ● Salvatore Grammatico <ul style="list-style-type: none"> ○ Make an environmental impact study ○ Address nuclear dump ○ Address homeless problem as a whole ○ Money should go to VA, not a developer ● Vince Kane - VA <ul style="list-style-type: none"> ○ Heard loud and clear that VA needs to address the urgency of the homelessness ○ Tonight was to make introductions and start the process ○ Thank you for coming | |
| | <ul style="list-style-type: none"> ● Attendees <ul style="list-style-type: none"> ○ Community Members (117) ○ Veterans (10) ○ Elected Official Staff (12) ● Speakers <ul style="list-style-type: none"> ○ Community Members (18) ○ Veterans (10) | |

END OF DISCUSSION



West Los Angeles Urban Master Plan
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Elected Officials

| Name | Organization | Address | Phone | E-mail |
|-----------------------------|-------------------------------------|-------------------------------------|------------|------------|
| Joseph Camp | CD11 - Councilmember Bonin's Office | [REDACTED] #475, Los Angeles | [REDACTED] | [REDACTED] |
| PATRICIA PUGLIESE | CSL | | | |
| Gemma Jimenez | Congressman Beerra | [REDACTED] LA CA 90017 | | [REDACTED] |
| Sharon Shapiro | City of LA - Councilman Bonin | | | [REDACTED] |
| Trevor Daley State Director | US Senator Dianne Feinstein | [REDACTED] Los Angeles, CA 90025 | | [REDACTED] |
| Nicolas Rodriguez | Senator Boxer | [REDACTED] | | [REDACTED] |
| Kristine Hase | District 8013 | [REDACTED] LA | | [REDACTED] |

Joseph Chicas Mayor Garcetti's office

[REDACTED]



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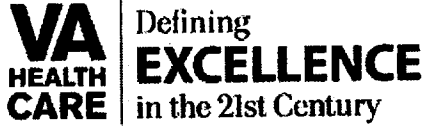
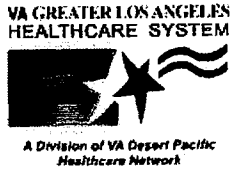
SIGN - IN
Elected Officials

| Name | Organization | Address | Phone | E-mail |
|----------------|--|--|------------|------------|
| Janet Turner | Congressman Ted Lieu | | [REDACTED] | [REDACTED] |
| Joan Kelico | COUNCILMAN PAUL KORETZ | CITY HALL | [REDACTED] | [REDACTED] |
| ANTONIO CHAPA | LA COUNTY VETERANS' ADVISORY COMMISSIONER 1ST DISTRICT | | [REDACTED] | [REDACTED] |
| Norman Kulla | Councilman Mike Romo | [REDACTED] Los Angeles, CA 90025 | [REDACTED] | [REDACTED] |
| Sarah Scott | City of Santa Monica | City hall | [REDACTED] | [REDACTED] |
| Brian Clavidia | Congressman Tony Cardenas | [REDACTED] | [REDACTED] | [REDACTED] |
| Brian Campbell | Rancho Palms Veggies | [REDACTED] Rancho Palos Verdes, 90275 | [REDACTED] | [REDACTED] |

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General

| Name | Organization | Address | Phone | E-mail |
|--------------------|---|--------------------------|------------|------------|
| David Huder | CSH | [REDACTED] | [REDACTED] | [REDACTED] |
| LARRY WILLIAMS | New Directions | [REDACTED] | [REDACTED] | |
| Laura Lake | Coalition for Veterans Hand Muller House | [REDACTED] LA 91024 | [REDACTED] | |
| Flora Gil Kristoff | public | [REDACTED] LA 90049 | [REDACTED] | [REDACTED] |
| Whitney Howard | Pathways National | [REDACTED] CA | | |
| DAVID BISCHOFF | N/A | [REDACTED] LA 90048 | [REDACTED] | [REDACTED] |
| Judy Leonard | Vet | [REDACTED] MDR, CA 90292 | [REDACTED] | |



Defining
EXCELLENCE
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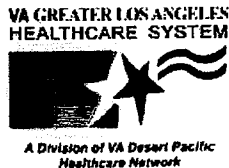
SIGN - IN
General

| Name | Organization | Address | Phone | E-mail |
|--------------------|----------------------|-----------------------------------|--------------------------|------------|
| Lanell Garrett | MSA-VA Union-Rep. | [REDACTED] Lancaster CA 93535 | [REDACTED] [REDACTED] | [REDACTED] |
| DAMI Olufowoshe | City Lab | [REDACTED] 90036 | [REDACTED] | [REDACTED] |
| Eric Greier | Metro | [REDACTED] LA, CA 90036 | [REDACTED] | [REDACTED] |
| AROLYN Williams | Business Office | WLA GREATER LA VA | [REDACTED] | [REDACTED] |
| VERSHEL Cosby | Domiciliary SUC | [REDACTED] L.A. 90073 | [REDACTED] | [REDACTED] |
| MEHRDAD FARIVAR | - | [REDACTED] [REDACTED] LA 90017 | [REDACTED] | [REDACTED] |
| | | | | |

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SIGN - IN
General

| Name | Organization | Address | Phone | E-mail |
|-------------------------------|---------------------------------|--------------------------------------|------------|------------|
| MITCHELL MARTIN | USA | [REDACTED] L.A. CA 90073 | [REDACTED] | [REDACTED] |
| SANDY BROWN | HOLMBY WESTWOOD, POA | [REDACTED] LA 90024 | [REDACTED] | [REDACTED] |
| RICHARD BANDINI JOHNSON | BANDINI FD | [REDACTED] AGOURA HILLS, CA 91301 | [REDACTED] | [REDACTED] |
| FRANK FRAZIE | SANTA MONICA EIKS 906 | [REDACTED] SANTA MONICA 90405 | [REDACTED] | [REDACTED] |
| Michelle Hickey | VA | GLA | [REDACTED] | [REDACTED] |
| MICHAEL F. ROSS | BRENTWOOD GREEN HOMEOWNER | [REDACTED] LA CA 90049 | [REDACTED] | [REDACTED] |
| Nicole Deid | VASH | Haha | [REDACTED] | [REDACTED] |



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| Name | Organization | Address | Phone | E-mail |
|---------------------|--|-------------------------------------|------------|------------|
| Jack Godwin | citizen | | | [REDACTED] |
| ERNE Hilge | DAV Chapter 13 | [REDACTED] North Hills CA 91343 | [REDACTED] | [REDACTED] |
| STEVE McCLINTOCK | MEMBER OWNER OF BREWSTER VILLAGE | [REDACTED] LOS ANGELES, CA 90048 | [REDACTED] | [REDACTED] |
| Sierra deSousa | UCLA Daily Bruin | [REDACTED] Glendale, CA 91201 | [REDACTED] | [REDACTED] |
| Bob Pratt | UOA LA | [REDACTED] LA 90010 | [REDACTED] | [REDACTED] |
| FRANK COWELL | LANC AL Post 283 | [REDACTED] 90292-7212 | [REDACTED] | [REDACTED] |
| Carolina Barrie | | | | |

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| Name | Organization | Address | Phone | E-mail |
|-----------------------|----------------------------------|-------------------------------------|------------|------------|
| Hopson D Hernandez | American GE Forum | [REDACTED] Wtb 90640 | [REDACTED] | [REDACTED] |
| Kathleen Hadfield | longtime westside resident | [REDACTED] LOS Angeles, CA 90025 | [REDACTED] | [REDACTED] |
| SUSAN Blacker | | [REDACTED] L.A., CA 90034 | [REDACTED] | [REDACTED] |
| Robert Rojas | Veteran | [REDACTED] LOS Angeles, Ca | [REDACTED] | [REDACTED] |
| Tazmin Bolanos | VA | [REDACTED] L.A. - Ca. 90073 | [REDACTED] | [REDACTED] |
| Alex Shueby | Vet | [REDACTED] | [REDACTED] | [REDACTED] |
| ISAAC CARROLL | VA | [REDACTED] | [REDACTED] | [REDACTED] |

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| Name | Organization | Address | Phone | E-mail |
|--------------------------|--|-------------------------------------|------------|------------|
| Elizabeth Shaddix | 4018 Alhambra Street ACB Vol 147 YFW Amvets 2 DAV # 123 | [Redacted] Los Angeles, CA 90004 | [Redacted] | [Redacted] |
| CHAPLAIN DOV COHEN | VIP Post 1 | [Redacted] LA CA 90049 | [Redacted] | [Redacted] |
| David Hoff | GLA | Wilshire | [Redacted] | [Redacted] |
| Timothy Duff | VPC | Cash | [Redacted] | [Redacted] |
| Jim & Constance Demerise | Bandini Foundation | Heroes Golf Course | [Redacted] | [Redacted] |
| Kay Messers | VA | [Redacted] Granada Hills CA | [Redacted] | [Redacted] |
| Reece Rosen | BANDINI FOUNDATION HEROES GOLF COURSE | [Redacted] PAL PAL, CA 90272 | [Redacted] | [Redacted] |

[Redacted]
LA 90004

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Contractor Community Kick-off
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| Name | Organization | Address | Phone | E-mail |
|---------------------|-----------------------------------|----------------------------|------------|------------|
| JAMES MADDOX | VIETNAM VETERANS OF AMERICA | [REDACTED] PASADENA, CA | [REDACTED] | [REDACTED] |
| CHARLES KIBBY | PRESERVATION Arts | [REDACTED] L.A. 90034 | [REDACTED] | [REDACTED] |
| LISA [Signature] | VA | | [REDACTED] | [REDACTED] |
| HY ARNETHY | SENIOR AMERICAN LEGION | [REDACTED] | [REDACTED] | |
| [Signature] | | | | |
| [Signature] | | | | |
| [Signature] | Brentwood School | | | |

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| Name | Organization | Address | Phone | E-mail |
|-------------------------|--------------------------------|------------------------------|------------|------------|
| Jonathan Castillo | PATH | [REDACTED] LA 90004 | [REDACTED] | [REDACTED] |
| Scott Kafman | BHA | [REDACTED] | [REDACTED] | [REDACTED] |
| Pilar Buelna | The Salvation Army | [REDACTED] Long Beach, CA | [REDACTED] | [REDACTED] |
| Arcenia Redcross | VIA | VAMC Los Angeles CA | [REDACTED] | [REDACTED] |
| Ryan Lyden-Mysore | VIA | [REDACTED] | [REDACTED] | [REDACTED] |
| Katie Viventi | New Directions for Veterans | [REDACTED] LA, CA | [REDACTED] | [REDACTED] |
| SALVATORE GRAMMATICO | [REDACTED] | [REDACTED] CA CA 90230 | [REDACTED] | [REDACTED] |

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| Name | Organization | Address | Phone | E-mail |
|------------------------------|----------------------------------|---------|------------|------------|
| Jean Sedillos | Bobby Shneider rep. | | | [REDACTED] |
| William Daniels | VA | | | [REDACTED] |
| Niti Anand | VA | | | [REDACTED] |
| RICHARD DAVIS | UNITED NATIONS BERKELEY HILLS | | [REDACTED] | [REDACTED] |
| PERRY DILLER | 1888 FUND | | [REDACTED] | [REDACTED] |
| J. Post | VA | | [REDACTED] | |
| CAM GORE Chore | VA | | [REDACTED] | |

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General

| Name | Organization | Address | Phone | E-mail |
|------------------|----------------------------------|--------------------------------------|------------|------------|
| Shirley Hsu | | [Redacted] CA 90042 | | |
| Nancy Polier | Barrington Pl. Group LLC | [Redacted] | | [Redacted] |
| Keith Tarkenton | W.VA Facility | [Redacted] | [Redacted] | [Redacted] |
| Paul Puzan Gheno | TEAM.E.D. | [Redacted] | [Redacted] | [Redacted] |
| MIKE METCALFE | WESTWOOD COMMUNITY COUNCIL | [Redacted] | [Redacted] | [Redacted] |
| Chandler McCay | — | [Redacted] Beverly Hills CA 90210 | | [Redacted] |
| Kirk Rose | HMC Architects | [Redacted] LA, CA 90071 | [Redacted] | [Redacted] |
| JULIAN MANALO | CAL VET WEST LA | [Redacted] | | [Redacted] |

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| Name | Organization | Address | Phone | E-mail |
|---------------------|-------------------------------------|--------------------------------------|------------|------------|
| Michael J. McLean | Veterans Advocacy Group | [Redacted] Lo An CA 90066 | [Redacted] | [Redacted] |
| Rex Kern | National Cemetery Administration | [Redacted] Los Angeles CA 90099 | [Redacted] | [Redacted] |
| JOHN AARON | self Vietnam-era Veteran | [Redacted] LA CA 90049 | [Redacted] | [Redacted] |
| Francisco Javier | veteran at LARGE | [Redacted] SM CA 90405 | [Redacted] | [Redacted] |
| Hector Ortiz | AECOM | [Redacted] N. Hollywood, CA 91602 | [Redacted] | [Redacted] |
| Dick Littlestone | | [Redacted] 90272 | [Redacted] | [Redacted] |
| Scott Selby | | [Redacted] LA CA 90069 | [Redacted] | [Redacted] |

West Los Angeles Urban Master Plan
Contractor Community Kick-off

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S. Call

general public

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Electoral Officials

| Name | Organization | Address | Phone | E-mail |
|----------------------|--|-----------------------|------------|------------|
| Arela Gottke | GLA, VA, HCS WOMEN VETERAN Patient Advisory Council | GLA VA | [REDACTED] | [REDACTED] |
| JAN [REDACTED] | VETERAN ADVOCATE | | | |
| Patricia K. J. Cault | | | [REDACTED] | |
| Bridget Stermer | Veteran Advocate, Inc | Sh. Oaks, CA 91423 | [REDACTED] | [REDACTED] |
| WATSON | VA Patient | [REDACTED] | [REDACTED] | [REDACTED] |
| B. Guze | V/A | GLA | [REDACTED] | |
| S. Resnick | WHA | [REDACTED] L.A. 90024 | | [REDACTED] |
| O'MEARA, Emmet | VBA | [REDACTED] | [REDACTED] | |

West Los Angeles Urban Master Plan
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| Name | Organization | Address | Phone | E-mail |
|-----------------|------------------------------|----------------------------|------------|------------|
| Ben Rosen | Mercy Housing | [REDACTED] LA, CA 90019 | [REDACTED] | [REDACTED] |
| Ed Holder | " | " | [REDACTED] | [REDACTED] |
| Joan Abrahamson | Jefferson Institute | [REDACTED] LA 90077 | [REDACTED] | [REDACTED] |
| Sue Santon | UCLA | [REDACTED] LA, CA 90077 | [REDACTED] | [REDACTED] |
| Julie Freeman | Coalition for Veterans Lands | [REDACTED] LA 90024 | [REDACTED] | [REDACTED] |
| Sam Kemgens | Vet | [REDACTED] | [REDACTED] | [REDACTED] |
| Chris Joyce | VA | [REDACTED] | [REDACTED] | [REDACTED] |

West Los Angeles Urban Master Plan
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| Name | Organization | Address | Phone | E-mail |
|--------------------|-------------------------------|-------------------------------------|------------|------------|
| Andrew Carrillo | Bandini Foundation | [REDACTED] | [REDACTED] | [REDACTED] |
| Karen Perea Gannon | Community Veteran Family | [REDACTED] Sherman Oaks CA 91411 | [REDACTED] | [REDACTED] |
| Michael Gannon | Community Veteran Family | [REDACTED] Sherman Oaks CA 91411 | [REDACTED] | [REDACTED] |
| Jennifer Karp | VA GLA | [REDACTED] | [REDACTED] | [REDACTED] |
| DAN SWENTON | CFM | [REDACTED] Vallejo, CA 94592 | [REDACTED] | [REDACTED] |
| Curtis Mack | VPC | [REDACTED] Los Angeles 90049 | [REDACTED] | [REDACTED] |
| Wendy-Sue Rosen | Brentwood Residents Coalition | [REDACTED] LA CA 90049 | [REDACTED] | [REDACTED] |

West Los Angeles Urban Master Plan
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| Name | Organization | Address | Phone | E-mail |
|---------------|------------------------|---|------------|------------|
| Erin Gray | UCLA | [REDACTED] | [REDACTED] | [REDACTED] |
| Scott MALSIN | SYTH AD | [REDACTED] CULVER CITY, CA 90230 | [REDACTED] | [REDACTED] |
| Norman Abrams | UCLA | [REDACTED] Los Angeles, 90095 | [REDACTED] | [REDACTED] |
| [Signature] | Self | [REDACTED] 90241 | [REDACTED] | [REDACTED] |
| Ann Scully | SM Corp SM (nubler) | [REDACTED] | [REDACTED] | [REDACTED] |
| Mike Page | Westside Breakers | [REDACTED] Pacific Palisades, CA 90272 | [REDACTED] | [REDACTED] |
| JOE ADAMS/ER | UAS INC. | [REDACTED] JA CA 90066 | [REDACTED] | [REDACTED] |

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| Name | Organization | Address | Phone | E-mail |
|-----------------|---|-----------------------------------|------------|------------|
| Tech Hayes | / | [REDACTED] Venice, 90291 | [REDACTED] | [REDACTED] |
| Kyle Orlemann | CITY OF HAWTHORNE VET. AFFAIRS COMM AVVA - So Bay Liaison | [REDACTED] HAWTHORNE, CA 90250 | [REDACTED] | [REDACTED] |
| Anthony Chia | Cervell ASSOC. | [REDACTED] LA, CA 90004 | [REDACTED] | [REDACTED] |
| Bob Friedman | VA | [REDACTED] LA-CA 90073 | [REDACTED] | [REDACTED] |
| Joe | | | | |
| Claire Bowlin | Los Angeles Dept of City Planning | [REDACTED] | [REDACTED] | [REDACTED] |
| Stephanie Reich | resident | [REDACTED] LA CA 90044 | [REDACTED] | [REDACTED] |

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| Name | Organization | Address | Phone | E-mail |
|----------------|-----------------------|-----------------------------------|------------|------------|
| JOSHUA GREEN | MANDEVILLE FOUNDATION | [REDACTED] LA 90049 | [REDACTED] | [REDACTED] |
| Rochelle Felt | Metabolic Studio | [REDACTED] LA, CA 90012 | [REDACTED] | [REDACTED] |
| Gary Clouse | Westside Breakers | [REDACTED] LA 90045 | [REDACTED] | [REDACTED] |
| MILO PEINGMANN | NDVETS | [REDACTED] | [REDACTED] | [REDACTED] |
| Kyle Smith | Salvation Army | [REDACTED] Long Beach CA 90802 | [REDACTED] | [REDACTED] |
| MARTIN K. LEE | MERCY HOUSING | [REDACTED] | [REDACTED] | [REDACTED] |
| Susan Heldman | [REDACTED] | [REDACTED] 90049 | [REDACTED] | [REDACTED] |



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| Name | Organization | Address | Phone | E-mail |
|--------------------|----------------------------|-------------|------------|------------|
| Joseph Cuevas | Mayor Garcetti's office | - | | [REDACTED] |
| MICHELLE | UCLA | WEST LA VA. | | |
| Audrey Lind | | | | [REDACTED] |
| ANABEL SANCHEZ | ORINATION ARMY HAVEN | WEST LA VA | [REDACTED] | [REDACTED] |
| ISAAC CALHOUN | | | [REDACTED] | [REDACTED] |
| BRIAN WILKINSON | | | | |
| | | | | |



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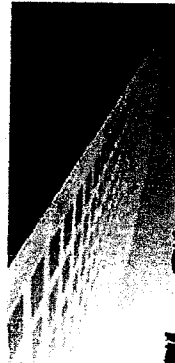
Media

| Name | Organization | Address | Phone | E-mail |
|---------------|--------------|------------|-------|------------|
| Daniel Halper | LA City | [REDACTED] | | [REDACTED] |
| Dreamer | | | | |
| | | | | |
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| Name | Organization | Address | Phone | E-mail |
|------------------|-------------------|----------------------------|-------------------------|------------------------------------|
| Toni Reinis | | Westwood HDR | | toni@hdr.com |
| SBO Hall | Brentwood News | | 310-341-1111 | shall@brentwoodnews.com |
| Anthony Almas | POS REP | | 310-341-1111 | anthony@posrep.com |
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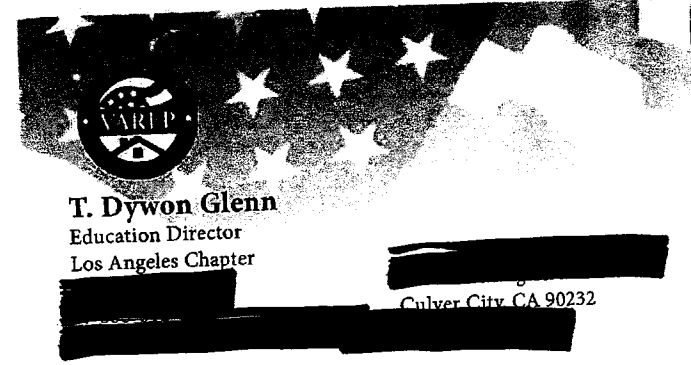


BC Urban + LLC

Commercial Real Estate Brokerage + Advisory
Services

Brian T Campbell
Managing Partner

DVBE CA Certified
SDVOSB Federally Verified



T. Dywon Glenn
Education Director
Los Angeles Chapter

Culver City, CA 90232

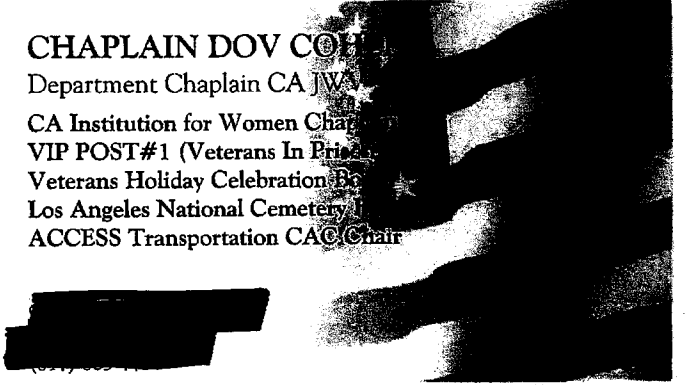
[Redacted]
Los Angeles, CA
90012-2952

metro.net

Eric Geier
Community Relations Manager



Los Angeles County
Metropolitan Transportation Authority



CHAPLAIN DOV COV
Department Chaplain CA JWA
CA Institution for Women Chap
VIP POST#1 (Veterans In Prison)
Veterans Holiday Celebration Ba
Los Angeles National Cemetery
ACCESS Transportation CAC Chair



U.S. Bank Home Mortgage
Santa Monica, CA 90405

T. Dywon Glenn
Mortgage Loan Originator



usbank.com



The Salvation Army
Southern California Divisional Headquarters

Pilar Buelna, MSW / LCSW
Executive Director of Social Services

[Redacted]
Long Beach, CA 90802-4709
[Redacted]
Long Beach, CA 90809-9355
[Redacted]



MEETING MINUTES

SUBJECT: Community #2 meeting
Meeting Date: July 23, 2015
Meeting Time: 1:30 pm to 3:30 pm
Location: VA Sepulveda Campus
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the Community comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Introduction of the Master Plan Team <ul style="list-style-type: none"> ✓ Vince Kane, VA ✓ Jon Sherin, Plaintiff Representative ✓ Dr Dean Norman, VA ✓ Michael Huff, VA ✓ Cynthia Keeffe, HOK ✓ Michael Murphy, VA ✓ Theresa DiMaggio, VA ✓ Charles Green, VA • Michael Murphy introduced himself as the acting director of the GLA system, explained what the campus is doing for the homeless – open B209 and B257, making it easier to get help • Vince Kane explained what the VA is doing for the homeless <ul style="list-style-type: none"> ✓ Street outreach ✓ Transitional housing ✓ The desire to get everyone into permanent housing ✓ Addition of bridge / emergency beds • Jon Sherin explained the new VA outlook, the new direction GLA is moving. The collaboration of VA and local housing agencies and the chance to give Veterans education legal information, etc • Cynthia Keeffe explained the Master Plan process | Information |
| 2 | <ul style="list-style-type: none"> • Opened up the floor for comments and questions from the Community <ul style="list-style-type: none"> ✓ How will the VA help with permanent move in – bad credit, etc? <ul style="list-style-type: none"> ○ Vince response: VA is helping with deposits, getting legal resources to help ✓ How will the VA maintain the Veteran after bringing them off the street, what will keep them from ending up back on the street? <ul style="list-style-type: none"> ○ Vince response: VA has added employment specialists to the team ✓ How will you get young Veterans out of the campus housing, support? <ul style="list-style-type: none"> ○ Vince response: Education, training, recreation ○ Dr Norman response: Medical services, yoga, etc ○ Jon response: VA must create opportunities for the Veterans – not just services or training ✓ What is the percentage of Veterans hired by the VA? What is | Information |

| | | |
|--|---|--|
| | <p>the oversight of the service organizations?</p> <ul style="list-style-type: none"> ○ Vince response: 30% overall Veteran employees, service providers do not get paid until service is rendered ✓ Is the best way to engage with the Master Plan team the open house? ✓ What are some of the educational programs going to be, Masters etc. ✓ Need more Veteran centers on college campuses <ul style="list-style-type: none"> ○ Charles response: VA has an outreach program for all college campuses ✓ Landlords need to respect the Veterans money ✓ Actors Veterans Action Alliance <ul style="list-style-type: none"> ○ Acting for suicide prevention ○ Outreach to homeless ✓ Clear the field of non-profit services that are not performing. Should have legal services collaboration with UCLA, USC, etc. like the medical side of the VA ✓ Provide safe housing for women away from other population ✓ Female Veterans need help – treat the women Veteran differently from other Veterans. Women need tailored specific treatment ✓ VA needs to prepare out coming Veterans better ✓ Where is the money, reports ect. For the non-profits? <ul style="list-style-type: none"> ○ Vince response: Grant program has oversight by VA ✓ Why not help the Veteran before they are homeless? <ul style="list-style-type: none"> ○ Vince response: VA is building support systems to keep Veterans from being homeless ✓ Are there after hours services available? Is there a way to match homeless Veterans without identity paperwork to someone that can help? Is there some way the Veteran can get help doing resumes – access to computers etc? <ul style="list-style-type: none"> ○ Dr Norman response: There are people and phone numbers available. The welcome center will be 24/7 and the outreach has been ramped up ✓ Create a way to get ALL Veterans to come to the campus. Engage brands like Gold’s Gym, USAA, etc. Provide co-lifting facility ✓ How can the community / neighborhoods help? <ul style="list-style-type: none"> ○ Vince response: talk to your Representatives, etc | |
| | <ul style="list-style-type: none"> • Speakers <ul style="list-style-type: none"> ✓ Community Members (12) ✓ Veterans (10) | |

END OF DISCUSSION

MEETING MINUTES

SUBJECT: Community #3 meeting
Meeting Date: August 20, 2015
Meeting Time: 6 pm to 8:30 pm
Location: El Monte
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the El Monte Community comments, questions, concerns and input.

| Item | Discussion | Action |
|------|---|-------------|
| 1 | <ul style="list-style-type: none"> • Charles Green introduced key dignitaries and the Master Plan Team <ul style="list-style-type: none"> ✓ Andre Quintero, Mayor ✓ Hilda Solis, LA County Supervisor ✓ Ruth Wong, LA County Department of Veterans and Military Affairs ✓ Danielle Hannel, Homeless Services ✓ Michael Murphy, GLA ✓ Vince Kane, VA ✓ Jon Sherin, Plaintiff Representative ✓ Cynthia Keeffe, HOK • Michael Murphy welcomed everyone, introduced his staff members that were attending the meeting • Andre Quintero spoke about honoring Veterans • Hilda Solis spoke about homeless Veterans, the San Gabriel Veterans and what LA County is doing for the Veterans • Ruth Wong spoke about what the county Veterans and Military Affairs does for Veterans and their families • Danielle Hannel spoke on continuum of care for Veterans, ending homelessness • Jon Sherin spoke about the VA changing how they take care of the Veteran, everyone must participate in the process • Vince Kane introduced the Master Plan process and what the VA is doing to revitalize the Campus • Cynthia Keeffe explained what the Master Plan is and how HOK is engaging the community and Veterans | Information |
| 2 | <ul style="list-style-type: none"> • Opened up the floor for comments and questions from the El Monte Community <ul style="list-style-type: none"> ✓ How can service organizations get lists / names of homeless to the VA? <ul style="list-style-type: none"> ○ Danielle gave speaker her name and number ✓ The problem with the Master Plan is we don't live in West LA, we live in the San Gabriel Valley ✓ The Master Plan team has their hearts in the right place – how do the Veterans get to the services? ✓ What are the entities involved in the Master Plan? ✓ What are the checks and balances for the Master Plan? ✓ Have you reached out to the Veteran organizations? <ul style="list-style-type: none"> ○ Vince response: Team has met with all Veteran organizations in reference to the change in the VA | Information |

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|--|---|--|
| | <ul style="list-style-type: none"> ✓ Why are there no Veteran owned entities involved? ✓ The Veterans here do not have the UStream like Brentwood to view the meetings and plan progress ✓ Thank you for taking Veteran ideas for the Master Plan – make campus only for Veterans and closed to neighboring communities ✓ Veterans want all the west side amenities brought to the San Gabriel Valley ✓ VSO wants to continue their influence after the Master Plan is complete ✓ VA Long Beach and GLA need to communicate better ✓ Outside providers are not giving good care <ul style="list-style-type: none"> ○ Vince response: An audit will be done to make sure all providers give the Veterans quality care ✓ Veterans care needs to be the start of this change process – the VA medical system is broken ✓ Does UCLA get to keep the ballpark? ✓ How many on the panel are doing outreach? <ul style="list-style-type: none"> ○ Vince response: The team is doing outreach every day ✓ How is the VA going to bring the Veterans in for Housing? No services are available late night and on weekends <ul style="list-style-type: none"> ○ Vince response: The VA is ramping up to have bridge / emergency housing 24/7 ✓ Veterans need resources in the San Gabriel Valley ✓ VA should be 24/7 – being homeless on the weekend is a bad thing ✓ Partner with Metro to let Veterans use empty seats to get to West LA ✓ As long as the pattern of mistrust exists, nothing will change <ul style="list-style-type: none"> ○ Vince response: Understood, hopefully moving forward, the trust can be rebuilt ✓ Need housing for women, women with children, families with children, programs to put Veterans back to work, get Veterans certification for skills (electricians, construction, etc) ✓ How do you get people to respond to calls at service organization? ✓ Will there be an arts program in the Master Plan? A gallery for Veterans to show their artwork <ul style="list-style-type: none"> ○ Cynthia response: It is up to the Veterans if they want to have art programs and galleries to show their work ✓ What will the policy be for visitors to the campus visiting Veterans living there? ✓ Veterans need housing in El Monte ✓ Veterans must get involved | |
| | <ul style="list-style-type: none"> • Speakers <ul style="list-style-type: none"> ✓ Veterans (24) ✓ Community (1) | |

END OF DISCUSSION

MEETING MINUTES

SUBJECT: Community #4 meeting
Meeting Date: September 17, 2015
Meeting Time: 4:30 pm to 6 pm
Location: Long Beach
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Plan to Secretary McDonald and receive comments, questions, concerns and input.

| Item | Discussion | Action |
|------|---|-------------|
| 1 | <ul style="list-style-type: none"> • Private Meeting with Secretary McDonald, Marie Weldon, Dan Sweinton, John Dozois, Jon Sherin, GLA and HOK team members • Cynthia Keeffe briefed the Secretary on the Master Plan status and the plan to complete the submittal • Secretary McDonald responded with the following comments: <ul style="list-style-type: none"> ✓ The relationships with UCLA and USC are very important ✓ For all Veterans, a one-stop shop for all information is essential ✓ The Master Plan should have several mission statements <ul style="list-style-type: none"> ➢ Medical ➢ The Disabled ➢ The Homeless ➢ Etc ✓ UCLA medical is critical, USC to perhaps add more to the VA in the future <ul style="list-style-type: none"> ➢ Research ➢ Students becoming VA Residences ✓ How much of each kind of housing does the VA need? ✓ Include all of the VA entities in the report; Health, Benefits, Cemetery, etc. ✓ The plaintiff partners are equal partners with the VA – HOK must engage them in the process ✓ Veterans can teach at Brentwood School / Brentwood School can teach Veteran children | Information |
| 2 | <ul style="list-style-type: none"> • Town Hall starts with Rich Beam hosting • Louise Oliver welcomed everyone and explained what Century Villages at Cabrillo is about • Brian D'Andrea discussed the collaborations with others that help the Villages work • Brenda Threatt spoke on the collaborations that will help the homeless Veteran. US Vets is a one-stop shop organization • Long Beach Mayor Robert Garcia thanked the VA for helping the City of Long Beach with the homeless population • Sarah Mahin reported on the progress on ending Veteran homelessness in LA County <ul style="list-style-type: none"> ✓ 300 Veterans off the street each month ✓ Collaborations being used ✓ Bridge housing ✓ Community entry events | Information |

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| | <ul style="list-style-type: none"> ✓ Stand down scheduled ✓ Using data to ensure best resources are being used • Peter Lynn discussed the continuum of care – getting everyone connected to the people that can help. Targeting ineligible Veterans so they can receive housing • Secretary McDonald spoke about the Los Angeles homeless Veteran help is key to helping the entire country with the Veteran homelessness <ul style="list-style-type: none"> ✓ 5 Strategies for improvement <ul style="list-style-type: none"> ➢ Provide a better Veteran experience ➢ Provide a better employee experience ➢ Improve internal support services ➢ Change the culture ➢ Strategic partnerships • Greg Spiegel reported about the LA Mayor's office working to help end homelessness for Veterans | |
| 3 | <ul style="list-style-type: none"> • Opened up the floor for comments and questions <ul style="list-style-type: none"> ✓ How can you let the public know the VA is working and helping the Veterans, stopping the negative publicity that is occurring? ✓ Help women Veterans to have their own space and be respected, better privacy for housing ✓ Once Veterans are in the programs, they are neglected ✓ Dental care is non-existent. Why won't anyone help with dental care? | Information |

END OF DISCUSSION

Plaintiff Meeting Minutes
 Date: June 17, 2015
 Location: Los Angeles

VA Greater Los Angeles Healthcare System
 Urban Master Plan
 VA Project Number: VA101CFM-P-0043
 Date: June 17, 2015

MEETING MINUTES

SUBJECT: Plaintiff meeting
Meeting Date: June 17, 2015
Meeting Time: 12 pm to 1 pm
Location: Los Angeles
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the Plaintiff's comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Room Introductions of each Team member and Plaintiff Group • JLL Scope: <ul style="list-style-type: none"> ✓ BURR and capital asset management ✓ Support HOK team, QA role – vetting VA information • Stakeholders: Veteran centric VA, what are the efforts <ul style="list-style-type: none"> ✓ Homeless Veterans with disabilities, how do we listen? ✓ Who are the decision makers? ✓ Talk to current lease holders ✓ Align opportunities and constraints, does it align with opportunities ✓ Fix this problem, authorized by Secretary McDonald ✓ Prop 41 funding cycle ✓ Projected needs for Veterans, homeless Veterans, female housing ✓ Stakeholders within the VA and outside of VA ✓ EUL is not legal on the campus, scenarios must address change in legislation as well as no change ✓ Authority to raise funds to restore structures | Information |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ VA (10) ✓ Plaintiff (7) ✓ Consultants (4) | |

END OF DISCUSSION

MEETING MINUTES

SUBJECT: VSO meeting
Meeting Date: July 14, 2015
Meeting Time: 10 am to 11 am
Location: VA WLA B257 Welcome Center
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the VSO comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Room Introductions of each Team member and all participating VSO members • Vince Kane introduced the process of the Master Planning • Vince explained that we are in the data gathering phase <ul style="list-style-type: none"> ✓ Physical data ✓ Veteran and stakeholder data and input | Information |
| 2 | <ul style="list-style-type: none"> • Introduction of Cynthia Keeffe – HOK <ul style="list-style-type: none"> ✓ Cynthia explained how HOK is looking at the physical components of the site and design, not any of the legal items that are part of the settlement • Introduction of Abraham Mercado – Consensus <ul style="list-style-type: none"> ✓ Abraham explained what Consensus will be doing during the Planning process <ul style="list-style-type: none"> ○ Website ○ Social media ○ Hot lines ○ Responsible for the Public Outreach | Information |
| 3 | <ul style="list-style-type: none"> • Opened up the floor for comments and questions from the VSO participants <ul style="list-style-type: none"> ✓ Has money been set aside for the implementation of the plan? <ul style="list-style-type: none"> ○ Vince explained how the budget process works. Phases submitted to Congress for funding of each Fiscal Year ✓ Needs to be a location of service organizations central to campus so Veterans can do a “one stop shop” for their questions and needs ✓ Wayfinding is very important – need to keep Veterans from getting lost on the large campus ✓ There is a need for long term care (24 hour nursing) near the Veterans home and support ✓ Hoteling for families ✓ The Planning Team needs to take into consideration using all the areas: Brentwood School, all recreation spaces, Salvation Army area, drilling zones ✓ There is a need and want for a pool ✓ Can there be affordable housing for Staff? The State Home cannot keep staff because of the high cost of living on the west side | |

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| | <ul style="list-style-type: none"> ✓ Permanent housing is a must ✓ Housing for the disabled and chronic homeless housing is necessary ✓ Veterans with no other choice of housing need to be included in on campus living ✓ This land is for Veterans only – no place for civilians (Brentwood, UCLA, etc) ✓ Veterans are in charge of their land – citizen soldiers ✓ Need a women’s center on campus <ul style="list-style-type: none"> ○ Gender specific facilities ○ Far north quadrant would be a good place for the women’s area ✓ Continuance of the implementation is important – should be a committee to be the watchdog ✓ Educational / vocational services – certifications ✓ Clothing – area for donations, retail space for display ✓ Park settings with paths ✓ Community gardens ✓ Mini mall concept – farmers market ✓ Entrance to campus should be welcoming and calming <p>Remember the past – Plan the present – Enhance the future</p> | |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ Veterans (8) ✓ VA (3) ✓ Representative’s Staff (2) ✓ Consultants (6) | |

END OF DISCUSSION

West Los Angeles Urban Master Plan
Meeting with VSO Coalition
Tuesday, July 14, 2015

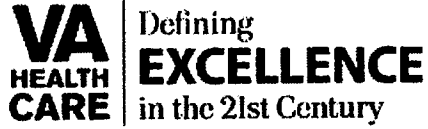
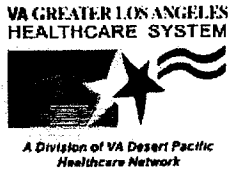
SIGN - IN

| Name | Organization | Address | Phone | E-mail |
|------------------------------|---|--------------------------------------|------------|------------|
| * MAREC THUSION | JEWISH WAR VETERANS COMMUNICATOR ACCIDENTED VSO | [REDACTED] N. Hills, CA 91343 | [REDACTED] | [REDACTED] |
| SAMUEL WARNER | JEWISH WAR VET 138 | [REDACTED] Castaño, CA 91784-4774 | [REDACTED] | [REDACTED] |
| * Howard Hernandez | AGEF | [REDACTED] Montebello, CA 90640 | [REDACTED] | [REDACTED] |
| CINDY BAGNELL | RAC | [REDACTED] PASADENA CA 91104 | [REDACTED] | [REDACTED] |
| Abraham Morales | Consensus Inc. | [REDACTED] Los Angeles, CA 90007 | [REDACTED] | [REDACTED] |
| Jon Sherin | VA, Inc | | [REDACTED] | [REDACTED] |
| - Janet Turner Lisa Pinto | Rep Ted Lieu | | [REDACTED] | [REDACTED] |

West Los Angeles Urban Master Plan
Meeting with VSO Coalition
Tuesday, July 14, 2015

SIGN - IN

| Name | Organization | Address | Phone | E-mail |
|-----------------------|------------------------------|--------------------------------------|------------|------------|
| ★ MARC JENKINS | LACC AMERICAN LEGION | [REDACTED] SIMI VA 93065 | [REDACTED] | [REDACTED] |
| - FRANCISCO JUAREZ | AMVETS, CA CA VA Land-USE | [REDACTED] Santa Monica, CA 90405 | [REDACTED] | [REDACTED] |
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West Los Angeles Urban Master Plan
Meeting with VSO Coalition
Tuesday, July 14, 2015

SIGN - IN

| Name | Organization | Address | Phone | E-mail |
|------------------|--------------|-------------------------------------|------------|------------|
| * RAY Delgado | AMUW's | [REDACTED] Inglewood Ca | [REDACTED] | [REDACTED] |
| Richard Valdez | DAV | [REDACTED] | [REDACTED] | [REDACTED] |
| * ERNIE Nilger | DDV | [REDACTED] NORTH HILLS, CA 91343 | [REDACTED] | [REDACTED] |
| STEVEN CHRISTIAN | HOK | [REDACTED] CULVER CITY, CA 90232 | [REDACTED] | [REDACTED] |
| WILLIE NISTOZKA | HOK | [REDACTED] CULVER CITY CA 90232 | [REDACTED] | [REDACTED] |
| | | | | |
| | | | | |

West Los Angeles Urban Master Plan
Meeting with VSO Coalition
Tuesday, July 14, 2015

SIGN - IN

| Name | Organization | Address | Phone | E-mail |
|--------------------|--------------|---------|------------|------------|
| John D'Agos | VA-WLA | | [REDACTED] | [REDACTED] |
| Charles Green | GLA | | [REDACTED] | [REDACTED] |
| VINCE KANE | | | | |
| JOHN SHERIN | | | | |
| CHRISTINA KEEFE | | | | |
| | | | | |
| | | | | |

MEETING MINUTES

SUBJECT: Bob Rosebrock meeting
Meeting Date: July 17, 2015
Meeting Time:
Location: VA WLA B500
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to Bob Rosebrock and Ted Hager comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Room Introductions of each Team member and Bob Rosebrock, Ted Hager • Bob Rosebrock made a few statements regarding his thoughts as a Veteran <ul style="list-style-type: none"> ✓ There are more homeless veterans on the street than was killed in the Vietnam war ✓ A soldiers duty is never done ✓ It would be nice if the team could come to the 5th annual Summer Celebration on Aug 1, 2015 – Tribute to Vietnam Veterans • Bob Rosebrock expressed his ideas for the campus <ul style="list-style-type: none"> ✓ Don't restore old buildings, they look like asylums ✓ The mansion on the south campus should be a grand space – restaurant, etc a place where Veterans can bring guests ✓ Accessibility to the bus stops must be improved ✓ Chapel restored, not the first thing, but part of the Master Plan ✓ Welcome center at the front gate ✓ A place for an eternal flame ✓ B257 is not a good reception center, the building has bad history ✓ Include a bed and breakfast style home by the meditation gardens for Veterans and families ✓ Introduce a "big brother" concept for homeless Veterans to reach out to ✓ Include a hospitality center to provide shower, bed, food, clothes ✓ Need a sense of military ✓ Gardens for Veterans to work ✓ Focus on severely disabled and mental health of Veterans ✓ Don't leave anyone behind – bring Veterans to the campus | Information |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ Veterans (2) ✓ VA (3) ✓ Consultants(3) | |

END OF DISCUSSION

MEETING MINUTES

SUBJECT: Westwood Community meeting
Meeting Date: July 21, 2015
Meeting Time: 7 pm to 9 pm
Location: Westwood
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the Westwood Community comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Lisa Pinto introduced the Master Plan Team <ul style="list-style-type: none"> ✓ Vince Kane, VA ✓ Jon Sherin, Plaintiff Representative ✓ Dr Sam Tsemberis, Housing First ✓ Michael Huff, VA ✓ Cynthia Keeffe, HOK ✓ Abraham Mercado, Consensus • Vince Kane explained what the status is of the parts of the lawsuit • Cynthia Keeffe explained the Master Plan process • Jon Sherin explained how the VA needs the input from everyone to make the campus better • Dr Tsemberis discussed the Housing First Model <ul style="list-style-type: none"> ✓ Since starting there has been a 36% reduction in homelessness nationwide | Information |
| 2 | <ul style="list-style-type: none"> • Opened up the floor for comments and questions from the Westwood Community <ul style="list-style-type: none"> ✓ How many homeless veterans are in LA? ✓ Include children, schools, recreation ✓ Landscape / farming ✓ Drop-in Center ✓ Chapel restoration ✓ Are supportive services part of the plan? ✓ MTA stops ✓ Have community involvement – professors, businessmen, etc ✓ No long term leasing or selling land ✓ Take the numbers off the buildings – have names instead ✓ Better signage ✓ Address the traffic ✓ VA is not an island unto itself – community needs to be invited in, not just for the Veteran ✓ Are you going to prevent access to the public? ✓ Are you following the Davis Bacon Act? ✓ VA should refocus on Veteran housing ✓ Will there be construction next to neighborhoods? ✓ Build kitchens ✓ Include benches, water fountains ✓ Provide trade training – plumbing, electrical ✓ What is the funding? ✓ Why are Veterans afraid to go on campus? | Information |

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| | <ul style="list-style-type: none"> ✓ Provide services for legal issues for Veterans ✓ Will there be a large investment in infrastructure? ✓ Are there wetlands? ✓ Provide safety for women and families ✓ Is there a Veteran court on campus? ✓ Student Center – just like college ✓ Rehab the old buildings ✓ Enhanced Use – what does it mean? ✓ Public Private Partnership – what does it mean? ✓ Include a ware history museum ✓ Use the Wadsworth and Brentwood Theaters ✓ What is the use of Post Office, Ballpark, School? ✓ History plaques at important areas ✓ If drugs, etc are not cleaned up first, what will happen when more Veterans come on campus? ✓ The homeless on perimeter need help ✓ Get women help ✓ Civilian caregivers need a place to learn the VA system ✓ Training for caregivers | |
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END OF DISCUSSION

MEETING MINUTES

SUBJECT: West LA Neighborhood meeting
Meeting Date: July 22, 2015
Meeting Time: 7 pm to 9 pm
Location: West LA
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the West LA Community comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Lisa Pinto introduced the Master Plan Team <ul style="list-style-type: none"> ✓ Vince Kane, VA ✓ Jon Sherin, Plaintiff Representative ✓ Dr Sam Tsemberis, Housing First ✓ Michael Huff, VA ✓ Cynthia Keeffe, HOK ✓ Abraham Mercado, Consensus • Vince Kane explained what the status is on the parts of the lawsuit • Cynthia Keeffe explained the Master Plan process • Jon Sherin explained how the VA needs the input from everyone to make the campus better • Dr Tsemberis discussed the Housing First Model <ul style="list-style-type: none"> ✓ Since starting there has been a 36% reduction in homelessness nationwide | Information |
| 2 | <ul style="list-style-type: none"> • Opened up the floor for comments and questions from the West LA Community <ul style="list-style-type: none"> ✓ Provide VA loans so Veterans can buy their own homes ✓ VA needs to hire Veterans coming out of college ✓ Focus shouldn't just be on single parent – many single women Veterans are living below poverty level ✓ Is the campus changing policy of only clean and sober? ✓ Where does the homeless data come from? ✓ How will the VA prove they will do what they are saying they will do ✓ Why is there not a VA representative on the neighborhood council. The council asked 10 years ago, VA said they could not participate. Just have a representative speak once a month <ul style="list-style-type: none"> ○ VA to respond with a point of contact ✓ Need to do better outreach ✓ What is the budget? ✓ How many units will there be? ✓ How can you keep the campus clean and sober and have regular Veterans housed there? ✓ Don't let UCLA use the land ✓ Low income housing in the city should go to the Veterans ✓ There are not very many Veterans at this meeting, are you listening to the Veteran? ✓ Worried that the culture at the VA has not changed | Information |

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| | <ul style="list-style-type: none">✓ When will this plan take effect✓ It would be inhuman putting Veterans into tents or trailers – only thing worse is on the street in a cardboard box✓ What is the VA going to do with homeless Veterans today?✓ VA should put your Veterans on your property | |
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END OF DISCUSSION

MEETING MINUTES

SUBJECT: Pacific Palisades Community Council meeting
Meeting Date: July 23, 2015
Meeting Time: 7 pm to 9 pm
Location: Pacific Palisades
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the Pacific Palisades Community comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Lisa Pinto introduced the Master Plan Team <ul style="list-style-type: none"> ✓ Vince Kane, VA ✓ Jon Sherin, Plaintiff Representative ✓ Michael Huff, VA ✓ Cynthia Keeffe, HOK ✓ Abraham Mercado, Consensus • Vince Kane explained what the status is on the parts of the lawsuit • Cynthia Keeffe explained the Master Plan process • Jon Sherin explained how the VA needs the input from everyone to make the campus better • Abraham Mercado discussed the outreach effort | Information |
| 2 | <ul style="list-style-type: none"> • Opened up the floor for comments and questions from the Pacific Palisades Community <ul style="list-style-type: none"> ✓ Don't play backroom politics ✓ Is the VA working with the LA mayor? ✓ What is the funding? ✓ Use the existing buildings ✓ Need to include the columbarium annex ✓ Temporary housing – what is the plan? ✓ Will any of the leases be extended? ✓ How is the VA making the campus more interesting for younger Veterans? ✓ What are the requirements for Veterans to be in the housing? ✓ Will spaces be used for Veterans that are "non-focused" spaces? ✓ How does the VASH voucher fit into the VA plan? ✓ Should the community send homeless Veterans to non-profits or the VA? ✓ What is the status of Veteran records – what happens if the Veteran does not have their paperwork? ✓ What are the protections for the surrounding communities? <ul style="list-style-type: none"> ○ Traffic ○ Additional people ✓ Will there be dental services available? ✓ Will the traffic study be complete before ground is broken? ✓ Will the Master Plan be transparent? ✓ Will the VA provide a point of contact for contacting VA for getting homeless off the street? | Information |

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| | <ul style="list-style-type: none">✓ Funding is also needed for non-veteran homeless✓ The VA will be missing a big opportunity if the community is not involved | |
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END OF DISCUSSION

MEETING MINUTES

SUBJECT: Brentwood Community meeting
Meeting Date: July 28, 2015
Meeting Time: 7 pm to 9 pm
Location: Brentwood
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the Brentwood Community comments, questions, concerns and input.

| Item | Discussion | Action |
|------|---|-------------|
| 1 | <ul style="list-style-type: none"> • Introduction of the Master Plan Team <ul style="list-style-type: none"> ✓ Vince Kane, VA ✓ Jon Sherin, Plaintiff Representative ✓ Michael Huff, VA ✓ Cynthia Keeffe, HOK ✓ Andrea Campbell, Consensus • Vince Kane explained what the status is on the parts of the lawsuit • Cynthia Keeffe explained the Master Plan process • Jon Sherin explained how the VA needs the input from everyone to make the campus better • Andrea Campbell discussed the outreach effort | Information |
| 2 | <ul style="list-style-type: none"> • Opened up the floor for comments and questions from the Brentwood Community <ul style="list-style-type: none"> ✓ How will this be funded? ✓ What is the input you want from the Veterans? ✓ Bring the meetings to the San Gabriel valley to talk to Veterans there ✓ Is the VA working with all congressmen? ✓ How is the VA updating people on the input from the community and Veterans? ✓ Does the data gathering for operations end in October? ✓ How will the confluence of number of Veterans be handled at the campus? ✓ What can we do as a community? ✓ Is the VA reaching out to outside Veteran groups? ✓ Westside Food Pantry wants to expand their services moving forward with the new Master Plan ✓ Provide nutrition classes ✓ Is the VA providing space for single women with children? ✓ What make the VA think they will be successful when others have not been successful? ✓ How can the VA make the government make this happen? ✓ What is going on with the EUL's? ✓ Has the VA gotten any push back from people not wanting homeless Veterans around? ✓ Can the community build recreation places? ✓ What is the maximum amount of people that can be housed? ✓ Can the gates be reopened for the surrounding communities to use? | Information |

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| | <ul style="list-style-type: none"> ✓ If a Veteran has a RV, can there be a KOA type area for them to park? ✓ If every community acts and brings in the Veteran homeless, we can end homelessness immediately ✓ There is no information for these meetings on the campus ✓ What is the need for fixing the chapel when people in the hospital can't get care? ✓ Community should volunteer and talk with the Veterans ✓ Community wants to see the plan – how can they give feedback without seeing what is designed? ✓ Is the VA looking to just take and not give back? Why can't the community cut through the campus? ✓ Will there be opportunity to give feedback on real plans? ✓ Battle Buddy model is the best way to get homeless Veterans help ✓ The closed gates are indicative of the VA closed mind set ✓ This meeting is premature – there is nothing to respond to | |
| | <ul style="list-style-type: none"> • Speaker Participants <ul style="list-style-type: none"> ✓ Westside Food Bank (1) ✓ Veterans Advocacy Service (1) ✓ Community member (5) ✓ Veteran (1) ✓ VA Volunteer (1) ✓ San Gabriel Valley Veterans (1) ✓ Old Veterans Guard (2) ✓ Vet to Vet (1) ✓ BCC (1) | |

END OF DISCUSSION

MEETING MINUTES

SUBJECT: Homeless Summit meeting
Meeting Date: August 19, 2015
Meeting Time: 1 pm to 3 pm
Location: Los Angeles
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to discuss the VA campus Urban Master Plan with participants providing comments, questions, concerns and input.

| Item | Discussion | Action |
|------|---|-------------|
| 1 | <ul style="list-style-type: none"> • 3 P concept, provide kennels for Veterans with pets • Make campus wheelchair accessible and bike friendly • Bike share system • The campus has slopes. Fix slopes to public transportation at Wilshire. Provide a bridge across Wilshire. Improve and increase internal shuttle bus service. Partner with providers who will provide services at low or no cost. Need to provide space • Provide community gardens, access to grow and make their own food. Provide for public art created by Veterans • Permanent supportive housing, most difficult to reach Veterans. How to create a safe environment where Veterans do not feel judged. Housing First model • New Directions, female program. Medical services for females are lacking. Need separate facilities. Women are surrounded by men in B500. Urgent care and ER, beds are not available for women, filled by men • Nurse transitional health. Need respite care in WLA for older Veterans. Need intermediate care facility for pot acute care short stay until Veterans can be placed at home or in permanent care situation • Network homeless coordinator. Green home model homes. Gap in housing for 55 to 75 year range. Need housing, but not ready for nursing home. Some monitoring available with green home model • LA campus already a community, keep a theme of safe and secure facility like on base. For many Veterans, being in the service was the safest time of their life. Parking, roads, open space should be considered. Neighborhood feeling needs to be enhanced with signage • Affordable housing developer, consider mixed use. Facilities for stores, low and fixed incomes with reduced cost structure for necessities • Outreach, first contact. Low income and GR income. Need life skills classes. Veterans move into housing and pitch tent in their living room. Need help understanding utility bills • GPD program. Flexibility to address changes in Veteran needs. Multipurpose facilities that can change over time • Building on campus focused on mental health services. Single point of contact. Too many hoops for Veterans to jump through become a barrier to receiving help | Information |

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| | <ul style="list-style-type: none"> • Move Welcome Center close to Wilshire, provide better signage and campus navigation • Library and computer lab • Post office for homeless to have their own mailbox / address (drop in center) • Provide showers and salons for Veterans who are preparing for interviews • Employment center • Partner with local community colleges to provide classes on campus, skills and trade workshop. Education and training center • West Side Food Bank envisions a wellness center and food pantry run by Veterans. Expansion of gardens to grow produce. Culinary training program, provide clubhouse restaurants. Make space for people to learn how to cook healthy • Provide a sports facility. Basketball hoops • Revitalize theaters on campus, outreach to Hollywood community to host writing, performance and theatrical opportunities • Incorporate covered bus and shuttle stops • HC provider perspective. Provide healthy food • Need a swimming pool for exercise • Khoi pond and Zen garden • New Directions, 2 housing facilities on Sepulveda, blended sobriety model not a high acuity model. It has transitioned as a housing first, high acuity model. Tough transition for VA community that is rules driven. HPAC has saved lives. Resources of VA combined with programs is a great opportunity. Masterplan should think big. Expect high acuity on the WLA campus. Provide HPAC unit • 95% men 5% women constraint with studio units. Think about modular units that can flex with changes on campus • Health and wellbeing. Veteran group concern about the campus being a safe place, a place of healing. Core concept of reintegration into society. Parts of the campus can be open parts can be closed. Need to change culture of VA police to address community housing standards not enforce VA regulations • Housing first model with lease structure. Need to understand financing structures • West side of campus are great locations to place women and families, less institutional • On Sepulveda campus, it is very hard for Veterans to get health food. No complaints from community off campus. Only complaints have been from staff on campus related to work flow. Downside of being in the middle of the campus is that it is a fish bowl. Constant rumors about behavior. Need to trace back to find the truth. Reality is that chronically homeless population do have issues and the VA needs to change their culture to expect and deal with realities • Keep Veterans in the middle of every conversation. Dialog between long time providers and Veterans • Implementing change that transforms a medical campus to a home is a long term activity • Free laundry facilities for Veterans. Opportunity and safe access to clean clothes • Space for DMH to be on campus so that there is an opportunity for Veterans who are not eligible for healthcare can find resources • Interconnectivity of rooms can provide flexibility • Childcare center with affordable childcare, also parent training | |
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| | <p>opportunities</p> <ul style="list-style-type: none"> • Address transgender populations • Sports complex with pool, basketball courts, YMCA • Rehab facility with OT/PT for geriatric facility, Home health and aid services • Partner with rescue organizations to provide opportunities for Veterans to interface with animals • Provide wellness center for staff, after hours work out areas • Career development, training kitchen with multi use function, classroom • Transportation to and on campus. LBVA uses golf carts driven by Veterans transport visitors. Wonderful resource, Veterans feel useful. Make shuttle service ore user friendly • Art – have opportunities for Veterans to provide • Space for providers social security, DPP etc • Provide a dog park • Difficult for homeless Veterans to transition, provide a campground for temporary outreach | |
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END OF DISCUSSION

MEETING MINUTES

SUBJECT: Congressman Lieu meeting
Meeting Date: July 14, 2015
Meeting Time:
Location: VA WLA B257 Welcome Center
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the Congressman Lieu Representatives comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Room Introductions of each Team member and all participating Representatives • Abraham Mercado asked about stakeholder inclusion list • Janet Turner brought stakeholder reports with comments <ul style="list-style-type: none"> ✓ Smaller group meetings with people that are key persons • Vince Kane recapped the process of the Master Planning • Vince explained that we are in the data gathering phase <ul style="list-style-type: none"> ✓ Physical data, drawings, demographics, etc. ✓ Community engagement <ul style="list-style-type: none"> ○ Elected officials ○ VSO's, etc. ○ Web page ○ Social media ✓ Roll out ideas • Jon Sherin asked how do we create an army to get all the information <ul style="list-style-type: none"> ✓ Key town hall meetings ✓ Spread the word to come and participate • Abraham Mercado asked if Congressman Lieu's people can help get the word out about the Master Plan to key persons <ul style="list-style-type: none"> ✓ Website – www.helphouseLAvets.com ✓ Online tool kit so people can send information to others ✓ Monthly meetings • Janet Turner went over upcoming community meetings in July that would be participating in the Master Plan updates • Cynthia Keeffe suggested creating a steering committee for the bridge between plan and implementation of the Master Plan <ul style="list-style-type: none"> ✓ Janet Turner said there has been past community committees / advisory panels that worked, but who would decide which community persons will be on the panel ✓ Vince Kane stated there would be not community committee for the design process or implementation. The team will document all feedback and use information as input to the design process | Information |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ Representative's Staff (2) ✓ VA (1) ✓ Consultants (4) | |

END OF DISCUSSION

| Name | Organization | Contact |
|-----------------|-----------------|-----------------------|
| Cynthia Keefe | HOK | cynthia.keefe@hok.com |
| Lisa Pinto | Rep Lieu | [REDACTED] |
| Jon Sherin | Consultant (T-) | [REDACTED] |
| Vince Kane | VA | [REDACTED] |
| Janet Turner | Rep Lieu | [REDACTED] |
| CINDY BAGNELL | RAC | [REDACTED] |
| Abraham Mercado | Consensus Inc. | [REDACTED] |
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| <u>Phone</u> | | |
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| Michael Huff | VA | |
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MEETING MINUTES

SUBJECT: LA Mayor meeting
Meeting Date: July 28, 2015
Meeting Time: 10 am to 11 am
Location: Los Angeles
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the LA Mayor Office comments, questions, concerns and input.

| Item | Discussion | Action |
|------|---|-------------|
| 1 | <ul style="list-style-type: none"> • Room Introductions of each Team member and LA Mayor Office • LA Mayor Office expressed information, concerns and ideas for the campus <ul style="list-style-type: none"> ✓ How will the project be phased? ✓ Establish goals, existing conditions ✓ Parallel process of operational and physical study ✓ Bridge housing, transitional housing on and off campus. Converting low barrier and low demand housing. Approximately 180 units converted to low demand. Right now approximately 750 Veterans living on campus ✓ What is the goal for the number of bridge housing? <i>300 bridge housing on and off campus</i> ✓ Housing First approach ✓ Create a thriving community ✓ Magnetic for Veterans ✓ 21st century VA ✓ Mayor's office is strongly supportive of direction of providing permanent supportive housing. Need enhanced use lease authority, 75 year leases. Need support services authority ✓ Key decision makers – current Secretary of VA, State of California, Governor's Office. Now an HCD entity, housing department ✓ Existing leases – campus deeded to Veterans and will be used for Veteran direct benefit. Veteran centric activities will be on the campus, Non Veteran centric activities will not be on the campus | Information |
| 2 | <ul style="list-style-type: none"> • Follow up information <ul style="list-style-type: none"> ✓ Need numbers on low barrier demand beds on campus ideas for converting ✓ Need number of permanent supportive housing goal on campus ✓ What is the number of vulnerable Veterans? ✓ Copy of EUL language ✓ Prop 41 funding cannot be given to VA site without EUL authorization. Ask Vince Kane about conversations about Prop 41 – need written report ✓ HUD special pvb, CalVet – aske Sara M ✓ MHSA Prop 63 money? ✓ Brentwood Community Plan, San Vincente Corridor Plan. For | |

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| | land use concepts ✓ If state or city money is used, does it trigger CEQA? ✓ Masterplan process will help inform leases moving forward. City would like to be notified of direction on leases | |
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END OF DISCUSSION

Open House #1 Meeting Minutes
 Date: July 21, 2015
 Location: West Los Angeles VA

VA Greater Los Angeles Healthcare System
 Urban Master Plan
 VA Project Number: VA101CFM-P-0043
 Date: July 21, 2015

MEETING MINUTES

SUBJECT: Open House #1
Meeting Date: July 21, 2015
Meeting Time: 1:30 pm to 4:30 pm
Location: VA WLA B257 Welcome Center
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the community comments, questions, concerns and input.

| Item | Discussion | Action |
|------|---|-------------|
| 1 | <ul style="list-style-type: none"> • Open House Topic – Vehicular and Pedestrian Circulation | |
| 2 | <ul style="list-style-type: none"> • Discussions with community – questions, comments and ideas <ul style="list-style-type: none"> ✓ The Pedestrian Tunnel under Wilshire is still there, condition is unknown – possible new path of travel ✓ Metro Station Status is still unknown. The Metro preferred location on Wilshire has been sent to DC awaiting a comment from the Secretary of VA. John D. and Vince K. are going to try and find out the status and give the Planning Team an update ✓ Open up the gates at the east and west entrances, have guardhouse type entry ✓ Include emergency call boxes ✓ Include a community center in the Recreation Area | Information |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ Veterans (1) ✓ Community Members (3) | |

END OF DISCUSSION

MEETING MINUTES

SUBJECT: Open House #2
Meeting Date: July 28, 2015
Meeting Time: 1:30 pm to 4:30 pm
Location: VA WLA B257 Welcome Center
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Teams designs and listen to the community comments, questions, concerns and input.

| Item | Discussion | Action |
|------|---|-------------|
| 1 | <ul style="list-style-type: none"> • Open House Topic – Opportunities and Constraints Mapping, Planners responded to comments and questions from open house attendees in response to exhibits shown | |
| 2 | <ul style="list-style-type: none"> • Discussions with community – questions, comments and ideas <ul style="list-style-type: none"> ✓ Needs to be clear access on and off of campus for Veterans that live on campus ✓ Basketball courts should be near the housing. Don't make the Veteran go to a "recreation" area for everything ✓ Redesign the road next to the Chapel, it is too close to the church and trucks have hit and damaged the edge of the church ✓ The north end of the North Campus is too far for Veterans to walk to for recreation space ✓ The Master Plan should be based on a net zero campus, focus on it being a healing center – include <ul style="list-style-type: none"> ○ Personal care ○ Housing ○ Vocational training ○ Garden ○ Bio-swales ○ Dense living area transitioning to vast meadow like areas ○ Native landscape ✓ Discussed concept diagrams with stakeholders <ul style="list-style-type: none"> ○ Circulation diagrams including concepts of developing around green space, moving parking to the edges of the campus and focusing internal on pedestrian and shuttle circulation ○ Access diagrams including concepts of gated /guard entrances at North campus. Residents would have automatic or card access, non residents would need to demonstrate reason to enter VA property ○ Proposed MTA station location and alternate station location diagrams. ○ Phased development zones within historic overlay district ○ Immediate term housing solutions include bridge housing | Information |

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| | <ul style="list-style-type: none"> ○ Short term options including renovation of existing buildings 205/208 and 156/157/158. ○ Short term options including proposed locations for new construction. ○ Mid and long term options for services and amenities | |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ Veterans (1) ✓ Community Members (12) | |

END OF DISCUSSION

| Name | Organization | Contact |
|-----------------------------|---|------------|
| AVIVA Kraus | Heroes Golf Course Bandini Found'n | [REDACTED] |
| Andrew Carrillo | Bandini Foundation | [REDACTED] |
| PETER HENDRICKSON | UCLA | [REDACTED] |
| Bruce Rosen | Bandini Foundation Heroes Golf Course | [REDACTED] |
| Peter Capone-Newton | VA homeless programs | [REDACTED] |
| Gene Anderson | The Sanberg Group, Inc. | [REDACTED] |
| Steven Keeney | veteran | [REDACTED] |
| JIM SINNEMA | MICHAEL BAKER | [REDACTED] |
| KYLE ORLEMANN (HAMILTON) | CITY OF HAWTHORNE VET. AFF. COMMISSION VA/ADVA 53 | [REDACTED] |
| DEAN R MEYER | CFM / VA | [REDACTED] |
| DONNA VACCARINO, AIA | palisades Beaufort | [REDACTED] |
| KELVIN PARSON | GLA ENGINEER | [REDACTED] |
| Pamela L Richardson | absolutely none | [REDACTED] |
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MEETING MINUTES

SUBJECT: Open House #3
Meeting Date: August 4, 2015
Meeting Time: 1:30 pm to 4:30 pm
Location: VA WLA B257 Welcome Center
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Teams designs and listen to the community comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Open House Topic – “Spine” Concept, Planners responded to comments and questions from open house attendees in response to exhibits shown | |
| 2 | <ul style="list-style-type: none"> • Discussions with community – questions, comments and ideas <ul style="list-style-type: none"> ✓ Self-sustaining water catchment ✓ Gated community – guarded gates ✓ Keep out outside bicycles - non veteran pass thru ✓ Don't build a big wall around the property, it would feel like a POW camp ✓ Find a way to get through the campus for the surrounding community ✓ Have tags for campus residences on cars, bikes, etc. to get through the gated entrance ✓ Pay a “toll” to get onto campus if you are not a Veteran ✓ <i>Veterans took a vote</i> – Do not let community cut through the campus ✓ Do not open the side gates ✓ Have “Hubs” at certain intervals along the spine for restrooms, café, services i.e. pharmacy, etc ✓ Remove Director’s housing at south campus use as homeless intake, condense services to one area ✓ Need women’s area with security ✓ Daycare center ✓ At “Hubs” have veteran owned businesses – coffee shops, boutique shops, library, bowling, swimming, gym ✓ Food pantry, clothes collection and distribution area ✓ Recondition the chapel ✓ Should this design center around the auto? <ul style="list-style-type: none"> ○ Change focus to pedestrian ✓ Center for wellness / well being ✓ Veterans to create a committee to put together a list of wanted items on the campus ✓ Athletic complex ✓ Print shop – communication among Veterans on campus ✓ Improve access for Veteran in wheelchairs, etc. ✓ Spaces for small building / community meetings ✓ Retail elements | Information |

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| | ✓ Expand the commissary | |
| | <ul style="list-style-type: none">• Attendees<ul style="list-style-type: none">✓ Veterans (11)✓ Community Members (17) | |

END OF DISCUSSION

| Name | Organization | Contact |
|-----------------------|---------------------------------|------------------|
| Sue Pascoe | Post 283 News | [REDACTED] |
| F. Kay & Dei | CAL VET HOME VETERAN | [REDACTED] |
| NICHOLAS MASTROMARTEO | CAL VET. | [REDACTED] |
| SHAWN DOENHECKER | VETERAN | [REDACTED] |
| Sol Liebster | VA Volunteer | [REDACTED] |
| EDWARD COLLINS | CALVET. | [REDACTED] |
| Stu Kenny | VET | [REDACTED] |
| RICKY LANE | HAVEN1 | HAVEN1 |
| Barry Livingston | CAL VET | CALVET |
| Jack Godwin | So. Brentwood Residents. Assoc. | [REDACTED] |
| Maria Barne | | [REDACTED] |
| David Mosier | SP Pasadena | calvet |
| CARI MCNEILL | CAL VET | [REDACTED] |
| Joseph Adams | VA Veterans Advocacy Society | [REDACTED] |
| Mike McClai | VA | [REDACTED] |
| MARC THURSTON | JEWISH WAR VETS | [REDACTED] |
| ARNOLD WARNER | JEWISH | [REDACTED] |
| The Senter | UCLA | [REDACTED] |
| LOU PESCE | METABOLIC STUDIO | [REDACTED] |
| Bruce Rankin | Westside Food Bank | bruce [REDACTED] |
| Peter Capone - Newton | VA | [REDACTED] |
| Howard Heinsuder | AGIF | [REDACTED] |
| Donna Vaccarino | Pasadena Branch | donna [REDACTED] |

MEETING MINUTES

SUBJECT: Open House #4
Meeting Date: August 11, 2015
Meeting Time: 1:30 pm to 8 pm
Location: VA WLA B257 Welcome Center
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Teams designs and listen to the community comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Open House Topic – Access and “Neighborhood” amenities, Planners responded to comments and questions from open house attendees in response to exhibits shown | |
| 2 | <ul style="list-style-type: none"> • Discussions with community – questions, comments and ideas <ul style="list-style-type: none"> ✓ Separate the men and women Veterans ✓ RV hook ups ✓ Bring in a Haz Mat team to check all toxic areas ✓ Team should go to Skid Row ✓ Open the campus to the community, don’t close the campus to surrounding areas ✓ Add a driving range to the golf course ✓ Better signage at campus entrances ✓ Provide arts and crafts ✓ Provide vegetable gardens ✓ Bring the landscape character back to the original ravine planting ✓ Address grey water usage ✓ Make all Veterans welcome, not just Veterans living on the campus ✓ Design site so there is no access to outside community. No one can get on north campus unless you are a Veteran ✓ Veterans are here for recovery – when they are ready to integrate, they will go into the community ✓ Provide Veteran and caregiver housing ✓ Provide areas of refuge “turn outs” for Veterans to rest at steep grades ✓ There is no need for vocational services on campus. If Veterans are using the education benefits, they are not on campus | Information |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ Veterans (11) ✓ Community Members (19) | |

END OF DISCUSSION

| Name | Organization | Contact |
|---------------------|----------------------------------|------------|
| EARL L. GARDNER | Psyche | [REDACTED] |
| ROBERT MARTIN | PURPLE HEART ^{CAMP 2} | [REDACTED] |
| LARRY VAN KUDEN | American Legion | [REDACTED] |
| Ron Delgado | AMUETS | [REDACTED] |
| LARRY WILLIAMS | AMUETS | [REDACTED] |
| MARC JENKINS | AM LEGION | [REDACTED] |
| ART SHERMAN | WINGS OVER WOODS | [REDACTED] |
| Gary Clouse | Westside Breakers | [REDACTED] |
| SHAWN DORNHEKER | SHAWN@UCLA.EDU | [REDACTED] |
| PATRICK HART | PLHART22@GMAIL.COM | [REDACTED] |
| Stevie Keeney | self | [REDACTED] |
| JESSICA BROWN-MASON | SALVATION ARMY | [REDACTED] |
| ANABEL SANCHEZ | SALVATION ARMY | [REDACTED] |
| Joan Abrahamson | Jefferson Institute | [REDACTED] |
| Mangui Afia | VEMEC/VA | [REDACTED] |
| Arlyne Elliot | | [REDACTED] |
| Howard Hernandez | ACIF | [REDACTED] |
| Henry Watts | Brentwood CC | [REDACTED] |
| LOU PESCE | Metabolic Studio | [REDACTED] |
| JOHN ISMAY | SOUTHERN CALIFORNIA PUBLIC RADIO | [REDACTED] |
| BANDINI FD | | |

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RICARDO BANDINI JOHNSON

MEETING MINUTES

SUBJECT: Open House #5
Meeting Date: August 18, 2015
Meeting Time: 1:30 pm to 4:30 pm
Location: VA WLA B257 Welcome Center
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Teams designs and listen to the community comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Open House Topic – Housing, supportive services, activity nodes, Planners responded to comments and questions from open house attendees in response to exhibits shown | |
| 2 | <ul style="list-style-type: none"> • Discussions with community – questions, comments and ideas <ul style="list-style-type: none"> ✓ Separate the men and women Veterans ✓ RV hook ups ✓ Provide vegetable gardens ✓ Make all Veterans welcome, not just Veterans living on the campus ✓ Design site so there is no access to outside community. No one can get on north campus unless you are a Veteran ✓ Veterans are here for recovery – when they are ready to integrate, they will go into the community ✓ There is need for vocational services on campus ✓ Drop in / outreach camp located off of Constitution ✓ Continuum of care applied to services and circulation ✓ Greater controlled access on North Campus, less so at South Campus ✓ Align housing types with population subgenres ✓ Align housing financing options with housing types ✓ Consider long term lease and purchase options to own home ✓ Provide safe and secure areas for vulnerable population without the feeling of confinement ✓ Provide one stop shop at Welcome Center near entrance to North Campus ✓ Link North and South Campus with scheduled shuttle service ✓ Improve connection between North and South Campus – pedestrian and vehicular ✓ Vision: provide permanent supportive housing exclusively for the homeless Veteran | Information |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ Veterans (13) ✓ Community Members (25) | |

END OF DISCUSSION

| Name | Organization | Contact |
|------------------------------|-------------------------------------|------------|
| Shawn Donatello | veteran | [REDACTED] |
| Orlyne Ellett | | [REDACTED] |
| SAMUEL WARNER | Jewish war vet | [REDACTED] |
| Francisco Suarez McArthur | VSO Coalition Brentwood | [REDACTED] |
| Claire Lawless | IAVA | [REDACTED] |
| BRANDON WEXLER | VET/IAVA | [REDACTED] |
| THEODORE BAILEY | VA | [REDACTED] |
| Mz Boutyht-Sin | | [REDACTED] |
| MILO PEINEMANN | NDVES | [REDACTED] |
| Katie VIVENTI | NDVES | [REDACTED] |
| Kristine Hesse | National veterans Foundation | [REDACTED] |
| Chuck Kahn | BCC | [REDACTED] |
| Scott Malsin | OFFICE OF ASM. RIDLEY-THOMAS | [REDACTED] |
| Rockelle FSS | Metabolic Studio | [REDACTED] |
| VU PESC | METABOLIC STUDIO | [REDACTED] |
| CAROLE MAGNUSON | Westwood Hills Prop. Owners Assn | [REDACTED] |
| CHARLES MAGNUSON | W HOA | [REDACTED] |
| RICHARD HAHN | EMERGENCY VOL-VALLA DEPT | [REDACTED] |
| David Mosuer | LA LGBT | [REDACTED] |
| Jose de Jesus Ortiz Barron | LA LGBT | [REDACTED] |
| Joe Halper | JWV-LA LEGION | [REDACTED] |
| PATRICIA JACKSON-KELLY | County of LA American Legion | [REDACTED] |

| Name | Organization | Contact |
|-------------------|----------------------------------|------------|
| Waldo Tapia | Inner City Law Center | [REDACTED] |
| LAUREN DUNCAN | American Red Cross - Los Angeles | [REDACTED] |
| Rosalyn J. Petty | VA | [REDACTED] |
| ATHENA NOWAK | | [REDACTED] |
| Laeta Lake | Coalition for Veterans' Health | [REDACTED] |
| Mangwi Afie | VENECA | [REDACTED] |
| Lidia Nahuel | Veterans Resource Corp | [REDACTED] |
| Olivia Valentine | City of Hawthorne | [REDACTED] |
| PETER HENDRICKSON | UCLA | [REDACTED] |
| Sue Santon | UCLA | [REDACTED] |
| Doug McCormick | Pac. Pacis. Task Force | [REDACTED] |
| MARC JENKINS | AMERICAN LEGION | [REDACTED] |
| JULIO CASIRO | | [REDACTED] |
| Mike Stajura | UCLA Westwood | [REDACTED] |
| PAMELA RODRIGUEZ | LA Golf Academy | [REDACTED] |
| SHAYNE KALEO | Anka BHI | [REDACTED] |
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MEETING MINUTES

SUBJECT: Open House # 6
Meeting Date: August 25, 2015
Meeting Time: 1:30 pm to 8 pm
Location: VA WLA B257 Welcome Center
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Teams designs and listen to the community comments, questions, concerns and input.

| Item | Discussion | Action |
|------|---|-------------|
| 1 | <ul style="list-style-type: none"> • Open House Topic – Overall Concept, Planners responded to comments and questions from open house attendees in response to exhibits shown | |
| 2 | <ul style="list-style-type: none"> • Discussions with community – questions, comments and ideas <ul style="list-style-type: none"> ✓ Enhanced pedestrian access ✓ Kennel facilities for pets ✓ Families – for Veterans with children ✓ Options for housing for Veterans going to college ✓ Offer internships ✓ Harm reduction facilities ✓ PX – reduced prices ✓ Blue light 24/7 safety system ✓ Improved lighting ✓ Wheelchair charging stations ✓ Signage needs improvement ✓ Address most vulnerable first <ul style="list-style-type: none"> ○ Phase development to address the in need first ✓ Address homeless first <ul style="list-style-type: none"> ○ Get homeless off the street now, let’s think about tents, rapid deployment dwellings, field showers ✓ Campus needs to be welcoming <ul style="list-style-type: none"> ○ Visitor center / welcome center locations key, should be 24/7, near campus entry, campus map and orientation ✓ Recognize alternative transportation <ul style="list-style-type: none"> ○ Homeless rely much more on bus and bicycle ✓ Connectivity is critical <ul style="list-style-type: none"> ○ 4 gates with controlled access ✓ Campus for Veterans, not cars <ul style="list-style-type: none"> ○ Regional garages, 2-5 min from units ○ 24/7 shuttle loop ✓ Housing variety is key <ul style="list-style-type: none"> ○ Provide a range of housing types ✓ Site restoration and remediation <ul style="list-style-type: none"> ○ “healing people and the land” ✓ Distribute services <ul style="list-style-type: none"> ○ Clinics, commissary, library, computer lab, fitness center, restrooms | Information |

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| | <ul style="list-style-type: none"> ✓ Storytelling and sharing <ul style="list-style-type: none"> ○ Expression, connection, oral history – VA newspaper ○ History museum, interactive center | |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ Veterans (27) ✓ Community Members (43) | |

END OF DISCUSSION

| Name | Organization | Contact |
|---------------------|--|------------|
| Shann Dornhecker | VETERAN | [REDACTED] |
| CHAPLAIN DOV COHEN | VETERAN | [REDACTED] |
| Hiroko Robertson | | [REDACTED] |
| Dave Mosier | VETERAN | [REDACTED] |
| Gary Blasi | UCLA | [REDACTED] |
| Keri Kollenberg | Resident | [REDACTED] |
| Orlyne Elliott | | [REDACTED] |
| Dr. Robert Korman | INFRACALIFORNIA | [REDACTED] |
| MARC JENKINS | VETERAN | [REDACTED] |
| ALFRED AKEYAN | ARMY Vet | [REDACTED] |
| BARBARA CHASE | VA | [REDACTED] |
| Xochitl Munillo | CA State Assembly AD53 Assemblymember Miguel Santiago | [REDACTED] |
| charles Horton | Navy | [REDACTED] |
| Donna Ames | VA medical doctor | [REDACTED] |
| DAMI OLUKUNJU SHE | city LAB (UCLA) | [REDACTED] |
| HY ARNESTY | JEWISH WAR VET AMERICAN LEGION | [REDACTED] |
| MARSHALL H. ROES | VETERAN | [REDACTED] |
| Peter Cupone-Newton | VA | [REDACTED] |
| Paul Zwick | PRRC | [REDACTED] |
| Tom Helder | VA social worker | [REDACTED] |
| Steve King | cal-vet | [REDACTED] |
| Doyle Gray | Veteran | [REDACTED] |
| Nick Perdomo | Leandras Am Legion Post | [REDACTED] |

| Name | Organization | Contact |
|------|--------------|---------|
|------|--------------|---------|

| | | |
|---|---|------------|
| Martin Lesak | UTA | [REDACTED] |
| CARL LEWIS | VA | [REDACTED] |
| DON PAGELEZ | UBH | [REDACTED] |
| Nancy Fintemall | UBH | [REDACTED] |
| FRAN CLEVERDON | NONE | [REDACTED] |
| Dr. | MICHAEL MASTROMATTEO | [REDACTED] |
| Myna@earthlink.net - Ecologic Design-Wet (Water Environment Technologies) | | [REDACTED] |
| Noah B. Jacobsen | Aguerre Technologies | [REDACTED] |
| Dolores Heffernan | Brentwood Homeowner former employee, Veteran's widow | [REDACTED] |
| Sam Moon | POINTMAN INTERNA | [REDACTED] |
| HENRY NIETO | pointman | [REDACTED] |
| Daniel Hernandez | POINTMAN | [REDACTED] |
| Rudy Aguirre | Point man | [REDACTED] |
| Lidia Nahuel | Veteran Resource Corp | [REDACTED] |
| Julio Castro | Dept. of Veteran Affairs | [REDACTED] |
| PASTOR Joe Enriquez | POINTMAN | [REDACTED] |
| Herb Kylander | VET | [REDACTED] |
| Sylvia Rodin | Community | [REDACTED] |
| DAVID BISCHOFF | | [REDACTED] |
| Ken FLANDERS | | [REDACTED] |
| a. [unclear] | | [REDACTED] |
| Perry Goldberg | Thrive LA | [REDACTED] |

| Name | Organization | Contact |
|------------------------|---|-------------------|
| DONALD & KELLER | BMA | [REDACTED] |
| Mareen Smith | | [REDACTED] |
| Kim Kovacs | | [REDACTED] |
| MIKE METCALFE | WSTWD HOMEOWNERS | [REDACTED] |
| JOHN KEAVENEY | VETERANS ADVOCACY SERVICES | [REDACTED] |
| JOE ADAMCZ | UAS INC. | [REDACTED] |
| Sarah Scott | City of Santa Monica | [REDACTED] |
| Arlene Glazman | Citizen | [REDACTED] |
| SAMUEL WARD | SWISS WAR VET | [REDACTED] |
| Mary Shelton | | [REDACTED] |
| Patricia Jackson-Kella | County of LA | [REDACTED] |
| Michelle Fess | Freddie Shiro | [REDACTED] |
| Richard Valdez | DAV | [REDACTED] |
| LOU PEECE | | [REDACTED] |
| Carla Cavafie | Women Veterans Round Table WESTSIDE | [REDACTED] |
| ERIKA WILLHITE | | [REDACTED] |
| JIM BURNS | JET TO VET | [REDACTED] |
| CHRISTINA SILVA | CRS Productions Media Platform Educating Our Veterans CRSONATROCOM | [REDACTED] |
| Monica Marta | Cong. Kevin McCortley | Monica [REDACTED] |
| TABIE L. BRUNTON | Cal-Vet | [REDACTED] |
| STEVE MCCLINTOCK | BREYWOOD VILLAGE | [REDACTED] |
| PETER HENDRICKSON | HOLA | [REDACTED] |
| Megan Rodriguez | State Senate | [REDACTED] |

NAME

ORGANIZATION

CONTACT

CHARLES VIDES

News Frugo

[REDACTED]

MAT MILLER

Jewish War Vets

[REDACTED]

Steve Rich

U.S. VETS

[REDACTED]

MEETING MINUTES

SUBJECT: Outreach and Communications Planning meeting
Meeting Date: June 24, 2015
Meeting Time: 2 pm to 3 pm
Location: VA West LA
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was decide the outreach and communications that will take place for the duration of the Urban Master Plan project.

| Item | Discussion | Action |
|------|---|-------------|
| 1 | <ul style="list-style-type: none"> • Debrief <ul style="list-style-type: none"> ✓ Connect immediate need to Masterplan process which is future oriented ✓ Separate homeless issues from Masterplan issues ✓ Campus is enriched environment, focus on top percentage of high risk population, move to campus ✓ Agenda, needs to put issue in context. Balance between update on what we are doing here and now in addition to the Masterplan process <ul style="list-style-type: none"> ○ Update legislative action, operational and services issues related to homelessness ○ Update progress on historical buildings, especially Wadsworth Chapel ○ Update on Masterplan ✓ VA needs to have staff cover the town hall. Mental Health, Health Services and Prosthetics ✓ Better communication about purpose of town hall ✓ EUL – simplify message. Focus on housing and care needs ✓ Explain what EUL is. One tool in the toolbox, communicate public private aspect. Need to be careful about how we describe financing, developing and building. Use examples, land is committed to Veteran care and will always be owned by Veteran Administration. Tie back to local properties, specific examples that show that leases can be good • Messaging <ul style="list-style-type: none"> ✓ Stakeholders are diverse ✓ Consensus will develop draft Q/A ✓ Update staff at GLA ✓ GLA stakeholders <ul style="list-style-type: none"> ○ Leadership ○ Medical Services ○ PACT Teams ○ Mental Health Services ○ Dietary ○ Security ○ Engineering ○ EMS ✓ Veteran Groups stakeholders <ul style="list-style-type: none"> ○ Women | Information |

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| | <ul style="list-style-type: none"> ○ Children ○ Disabled ○ Mental Health ○ Single ○ LGBT ✓ Congress, State,, County, City stakeholders ✓ Academic stakeholders <ul style="list-style-type: none"> ○ Matt Collier – special assistant to the Secretary to get contact information ○ UCLA – Sue Santon ○ USC – Anthony Hassan, Joe Beck, John Soffa ✓ Local Neighbors stakeholders – Jon Sherin ✓ Business Leaders stakeholders – Jon Sherin ✓ Hold special event for media ✓ Summer of Service – kick off week from today – Theresa DiMaggio will send details to Cynthia Keeffe (HOK). Focus on the good news. Theresa DiMaggio will talk with VA leadership ✓ Veteran oriented event with food and drinks, work with VA to provide refreshments then follow up with meeting • Outcomes <ul style="list-style-type: none"> ✓ Transparency ✓ Feedback ✓ Establish level of trust ✓ Information from the Veterans ✓ Go beyond the homeless, talk about the healthcare • B256 Welcome Center - pip up and meeting space, traveling meeting space, B402, B500 Lobby • Data base management - Consensus | |
| 2 | <ul style="list-style-type: none"> • Follow up information <ul style="list-style-type: none"> ✓ Identify % of homeless Veterans who are most vulnerable ✓ Marc Waddell will develop Q/A based information to be uploaded to website ✓ Review Phil Thomas Masterplan ✓ Why is this Masterplan different from past Masterplans, speaks to short term/mid term/long term ✓ How do you restore trust? Actions need to follow the words ✓ Develop short term solution and have Jon Sherin deliver, stand side by side with Veterans ✓ Darci Palmer (CORE) will run point on the housing list | |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ VA (6) ✓ CONSULTANTS (5) | |

END OF DISCUSSION

MEETING MINUTES

SUBJECT: B209 Residents Group meeting
Meeting Date: July 1, 2015
Meeting Time: 5 pm to 6 pm
Location: VA West LA
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the B209 Residents Group comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • B209 Group expressed information, concerns and ideas for the campus, explained how their program works <ul style="list-style-type: none"> ✓ Most of the residents came from B242 ✓ B209 is surrounded by dilapidated buildings ✓ The whole place (campus) needs a change ✓ B209 is an impressive building given the state of decay that other buildings are in ✓ Thrilled not to have room mates ✓ Residents like having a kitchen – they enjoy coming home ✓ All of the residents are working on campus – laundry, shops, etc ✓ B205 and B208 are in design currently. Looking for funding at eh beginning of the year. 18 months construction ✓ Input about what is working and what is not: <ul style="list-style-type: none"> ○ John Dozois – labor of love. Proud of building ○ A pool would facilitate aqua therapy ○ Need full size refrigerators ○ Residents have been in the space for 1 month ○ Cell phone reception is very bad in B209, concrete structure – also need a cell tower on the campus ○ Need grocery store on site, no grocery within walking distance. Plan for B205 is to include a grocery store run by the Veteran canteen service ○ Would like more closet space, desk is wide, difficult to hang longer clothes. Plenty of drawer space, need more hanger space ○ Every bedroom should have a wardrobe ○ Need more lighting in the bathrooms ○ Future buildings need a quiet space for men as well as women ○ Would like a bbq area ○ Need more laundry facilities ○ Hood fans over the range not ducted to exterior, this causes odors to travel from room to room ○ Plumbing and pipe fitting, electrical running below piping and may cause a maintenance problem ○ Veterans would like bathtubs, men and women ○ Area for guest, area on second floor is not sufficient ○ Signage, parking places for guests | Information |

- Open ceiling is not a desired look.
- Like in unit cooking and unit design. Kitchens are too small, but functional. Appropriate for one person. Would like a central location where people can get together to cook
- Light at night coming in above the doors. Would like to install translucent film to help block light
- ✓ B220 will start to teach yoga classes
- ✓ Provide a community kitchen
- ✓ Include a Whole Foods, Starbucks, etc
- ✓ Challenges of converting historic buildings and accommodating contemporary mechanical and plumbing systems in ceiling system
- ✓ Integrate wellness, walking trails, dry saunas or steam, recreation room, lockers
- ✓ Health is important, need a gym. Something like the outdoor exterior poly trauma
- ✓ Bike share program on campus
- ✓ Electronic information sign programs. Expand healthnet currently rolling out in B500. Library on mezzanine floor B209, elevator lobbies B500
- ✓ Space for family to visit,, Fisher House or Hoptel
- ✓ Identify different cohorts, single parents, families
- ✓ Costly surprises during construction – mechanical issues, structural clashes.
- ✓ Coring all of the beams, changing ceiling heights to accommodate infrastructure, steam, low voltage network on campus nets expansion. Biggest issue is electrical capacity. 1 to 1-1/2 years to expand system (California Edison). All systems are at capacity
- ✓ Many women get HUD/VASH vouchers and do not need to come into transitional housing
- ✓ Intent was to create small corridors to create neighborhoods. Dwelling is you house, the in between areas are where the neighbors get together
- ✓ Like the idea of more housing available on the campus. Need programs like this, not as strict as the DOM, but with structure
- ✓ Concern about standard being reduced. Want program requirement to enter B209 to stay strict
- ✓ Concern about bringing Veterans onto campus
- ✓ Permanent housing is desirable
- ✓ Continuum of residence, start in the DOM, move to B209, then move to permanent housing
- ✓ Would like to stay connected, but want to move on
- ✓ CalVets long term. Place to get on track
- ✓ Pride of ownership for house
- ✓ Occupational training is desirable. Need to train Veterans to work in desired fields. Live nearby work and school
- ✓ Provide life skills training
- ✓ If there is hope, then there is a ray of light
- ✓ 1 year time frame for staying at B209
- ✓ Photos of Veterans in their rooms along with their story. Story of where Veterans came from, how they feel and where they are going
- ✓ Tents on campus, not a good idea
- ✓ Connecting program to housing is important
- ✓ Need stability, shelter

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| | <ul style="list-style-type: none"> ✓ People who come straight off the streets have to be closely regulated. Bringing the elements with them , habits ✓ Provide ambassadors, walk through programs. Designated section for a stand down, tents, sleeping bags, shower, education, medical, food ✓ System in place seems to be working ✓ Have a 60 or 90 day stay facility – PTSD, drugs etc ✓ One person had not been anywhere else. Homeless, truck, stand downs. Met person at stand down who introduced program. Tired and need help, wanted to get well. Working the program. New chapter of his life, wants to make it count ✓ Family is important ✓ HUD/VASH is low income, not in good areas. Not safe ✓ Would lie permanent housing in an area like WLA campus. Want to be connected, connected on the campus, connection to resources ✓ Want to graduate from B209 to real neighborhood ✓ Building a community ✓ Connecting housing to discipline and programs, otherwise people will go back to the streets ✓ Expect military conduct, some people are not ready to get better ✓ Accountability ✓ Mentoring ✓ Need more than a dwelling ✓ B209 mimics life ✓ New Directions at WLA is very different than Sepulveda – no structure | |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ VA (5) ✓ HOK (1) | |

END OF DISCUSSION

MEETING MINUTES

SUBJECT: New Directions meeting
Meeting Date: July 8, 2015
Meeting Time: 3 pm to 4 pm
Location: Los Angeles
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the New Directions Group comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • New Directions Group expressed information, concerns and ideas for the campus, explained how their program works <ul style="list-style-type: none"> ✓ Medical services, initial assessment ✓ 90 day medical assessment, wellness assessment ✓ No walk-in services in Sepulveda ✓ Veterans have to go to B500 in WLA for medical services ✓ Unusual opportunities of being on campus should be utilized ✓ Homeless Patient Aligned Care Team HPACT on campus ✓ High risk behavior refusal to accept medical help ✓ Managers and staff meet with HPACT team ✓ HPACT Team – VA created a separate unit and hired people who had street experience ✓ 2 years of training for police ✓ HPACT teams developing relationships ✓ Connect to the campus ✓ Security – police need to operate differently than medical. Private residence, need support. When you call 911, who comes? Police need to be trained to deal with mental health issues ✓ Complaints about residents on campus from VA staff. Biggest problem is gossip ✓ Property managers need control, but need to have police support to deliver message ✓ 5150 authority. Need to have a conversation with mental health people ✓ 20 to 1 resident / staff ratio ✓ Services <ul style="list-style-type: none"> ○ Community building ○ Structured engagement ○ Tied to best practice goals ○ Connecting to medical services ○ Connecting to community ○ Activities ○ Support groups ○ Movie nights ○ Coffee night ○ Active space ✓ Build trust and relationships, so Veteran can deal with stress an change | Information |

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| | <ul style="list-style-type: none">✓ People in the building know how to hide behavior. Need to move people along✓ Permanent housing, turnover is 10% per year. Source of people leaving is incarceration. Usually tied to constraints in the system, no available rehab beds for example. Number of people have had their benefits restored✓ Focus on outcome, don't want it to be not ok for the type of people/behaviors to be in the facility✓ Flexible funding✓ Revitalize the campus✓ Issues that restrict development<ul style="list-style-type: none">○ Regulatory○ Financial○ Infrastructure✓ Building a community for Veterans by Veterans | |
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END OF DISCUSSION

MEETING MINUTES

SUBJECT: Blue Butterfly meeting
Meeting Date: July 9, 2015
Meeting Time: 10 am to 11 am
Location: Los Angeles
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the Blue Butterfly comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Blue Butterfly Group expressed information, concerns and ideas for the campus, explained how their program works <ul style="list-style-type: none"> ✓ Veterans not eligible for VA benefits not eligible for VASH ✓ Some Veterans qualify for Section 8 ✓ Can provide mixture of Veterans Section 8 and VASH ✓ Land needs to have a Veterans only restriction on the land ✓ Prop 41 funding can serve less than honorable discharge ✓ Outreach efforts challenge, non eligible Veterans ✓ DMH, department of mental health. DVMSC preference ✓ Design can drive the division of housing type population. Neighborhood concept. Avoid long corridors, pods are better. Learn from senior housing. Richard Niemeyer, architect, can provide information about rehab ✓ Blue Butterfly has 73 leasable units, 3 units used as supportive services office. 9-1/2 acres. On site manager, maintenance, support. Minimum household size based on 2 bedroom, 1 bath; have to be 2 or 3 residents. Need to lease up to meet tax credit requirements. 3 to 4 weeks to complete lease up. Recommend 2 bedroom, 2 bath units, double master for unsubsidized ✓ Grant per diem program, transitional for 2 years. Existing programs will be funded, no new programs anticipated. 2% vacancy rate for rental housing in LA difficult to find low income units to move to ✓ Working with the VA to define who provides case management services. Has to do with case management dollars and control. Ratio of 1 to 25 case management. Best option is to have VA subcontract, second best is to have 1 case manager assigned a property ✓ Security 24/7 ✓ Many homeless have vehicles ✓ Outreach strategies – Relationships with WLA and Long Beach VA. Community partners ✓ VSO outreach based on existing relationships | Information |
| 2 | <ul style="list-style-type: none"> • Follow up information <ul style="list-style-type: none"> ✓ How many grant per diem residents are there in LA County? ✓ How many units does LA County plan to build in the next 1, 5, 10 years? ✓ Can case management dollars be subcontracted to operation | |

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END OF DISCUSSION

MEETING MINUTES

SUBJECT: Inpatient meeting
Meeting Date: July 30, 2015
Meeting Time: 10 am to 11 am
Location: VA West LA
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the Inpatient Group comments, questions, concerns and input.

| Item | Discussion | Action |
|------|---|-------------|
| 1 | <ul style="list-style-type: none"> • Room Introductions of each Team member and Inpatient Group • Dr Li expressed information, concerns and ideas for the campus <ul style="list-style-type: none"> ✓ 2nd Quarter 2015 – 600+ admits rom homeless group. 300+ at ED ✓ Recent data projections – 900+ increase in ED ✓ Skilled nursing – additional 190 (State Veterans Home). 4-5 ED/daily <ul style="list-style-type: none"> ○ Total of 600 beds with 3 levels of care <ul style="list-style-type: none"> ➢ Assisted living ➢ SNF ➢ Dementia ✓ Most of the Veterans are outside GLA area for State Veteran Home ✓ ED and Inpatient services – no children. ED is at capacity now, can't handle any addition load. Need to increase Inpatient/ED services ✓ OB/GYN to UCLA ✓ Homeless have longer length of stay. Often because there are no transitional services available for them ✓ Have a 54 bed transitional care unit, 2/3 homeless ✓ Post 911 - mental health services increased ✓ Discharge planning meetings include Doctor, Social Worker, Case Manager, Nursing Home Coordinator. Items discussed for discharge: <ul style="list-style-type: none"> ○ Challenges ○ Drug / alcohol use ○ Patient unable to pay or don't want to pay (pension release) ○ Refuse to leave. 20-30 inpatients at any given time | Information |
| 2 | <ul style="list-style-type: none"> • Follow up information <ul style="list-style-type: none"> ✓ Bill Daniel to provide flow chart of how homeless navigate and enter VA system | |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ VA (2) ✓ HOK (3) | |

END OF DISCUSSION

Client: Veteran's Affairs, West Los Angeles Medical Center, CA

Meeting Date: ¹²⁰ July 2015

Project Name: New Urban Master Plan & Potential Enhanced Use Lease

Meeting Location: GLA West LA Campus, Bldg. 257

Project No.: 15.24015.00

Meeting Time: ~~10:00 AM~~ 10:00 AM

Meeting Name: Information/data gathering from ~~XXXXXX~~ ^{INPATIENT} Services Chief ~~XXXXXX~~ (MD)

| Name | Affiliation | Phone | Email |
|--------|-------------|-------|-----------|
| Dr. Li | | | spring@me |
| John | | | Dr. Li |
| Dove | | | Dr. Li |
| George | | | Dr. Li |
| Paul | | | Dr. Li |
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Inpatient Services

MEETING MINUTES

SUBJECT: Leadership Group meeting
Meeting Date: July 29, 2015
Meeting Time: 2 pm to 3 pm
Location: VA West LA
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the Leadership Group comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Room Introductions of each Team member and Leadership Group • Leadership Group expressed information, concerns and ideas for the campus <ul style="list-style-type: none"> ✓ North and South division between healthcare and housing is good ✓ Darci Palmer (CORE) comment: Menlo Park, 2 acre site, interim ground lease. Created entity that is the future owner of the affordable housing development 60 units permanent affordable housing. City and County authority. Use of tax credits. What are rents vs VASH? Includes case management from VA. Financial feasibility of housing and support services ✓ Children on campus: <ul style="list-style-type: none"> ○ VA does not do pediatric health, joint commission regulations are different ○ Security ○ Adjacency to schools ○ Many Veterans are registered sex offenders, proximity issues ○ Impaired drivers on campus, off campus supervision ○ No daycare or while receiving care supervision for children ✓ Homeless group that do not have physical or mental issues ✓ Doms are abstinence programs ✓ Bridge housing not on programs, difficult to mix these groups ✓ What is the definition of a neighborhood? ✓ Separate types of issues ✓ Veterans who have family units ✓ B402 is current homeless intake, should this function move to north campus? ✓ Cycle of homeless Veterans: <ul style="list-style-type: none"> ○ Evaluate getting them off the street, bridge housing on campus, Veterans may be using substances ○ Lack of low income housing in IA ○ PIT count majority African American. What can be done to diversity the community? ○ This campus might be more of a way station ○ Resources are not close by ✓ Preference for at risk Veterans | Information |

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| | <ul style="list-style-type: none"> ✓ Identify range of Veterans. Identify pros and cons ✓ Housing First process: <ul style="list-style-type: none"> ○ Chronically ill, schizophrenia, reduction of harm ○ Transitional program moving toward housing, 1 year ○ Permanent housing, suggest split off from Federal property ○ HUD/VASH vouchers, demand high, availability is high, need HUD/VASH waiting space. The in between people who have nowhere to go More like temporary housing. Something does not require healthcare – VA focus in on healthcare not on urban planning ✓ EUL needs Veteran support | |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ VA (8) ✓ HOK (2) | |

END OF DISCUSSION

MEETING MINUTES

SUBJECT: Mental Health meeting
Meeting Date: August 6, 2015
Meeting Time: 11 am to 12 pm
Location: VA West LA
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the Mental Health comments, questions, concerns and input.

| Item | Discussion | Action |
|------|---|-------------|
| 1 | <ul style="list-style-type: none"> • Room Introductions of each Team member and Mental Health Group • Mental Health Group expressed information, concerns and ideas for the campus <ul style="list-style-type: none"> ✓ Vulnerable Categories (some who can live independent, some cannot) <ul style="list-style-type: none"> ○ Women ○ Frail ○ Elderly ○ Chronic psychotics ○ Cognitive impaired, physical limitations ✓ Original roots was a Barry Hospital psych buildings. Suggest going back to original charter ✓ Children can be on campus as long as there are no predatory groups ✓ Long term children tenants, may need to address pediatrics ✓ Well published statistics that quantify number of children in a given population ✓ These patients would be using inpatient and mental health services. Subspecialty services located at GLA ✓ Multiple diagnosis, more efficient and patients more likely to attend. Improve access to care for those who will be using it all the time ✓ Create nodes through the property and use shuttle on a loop. Improve access ✓ Bulk of mental health patients are domiciliary. Shifting from dom beds to bridge housing. Dom is part of community care, not part of mental health. Dom is used to discharge hospital patients, highly vulnerable. Component of substance abuse, working on 30 day residential program. Dom used as step down, reduced number is ok ✓ Gateway to services <ul style="list-style-type: none"> ○ Psych ER usually referred by clinician. Admitted for brief time for specific purpose ○ Community provider referral ○ Self referred ○ Homeless through social services ✓ There is no single portal for services <ul style="list-style-type: none"> ○ Part of the problem is that there is no single portal. Inpatient programs consolidated into B500 2nd floor | Information |

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| | <ul style="list-style-type: none"> ○ Mental health clinic moved to B401, plan is to move all remaining mental health activities in B401 and B402 ○ Most cognitively impaired – services distributed across campus. Optimal location for mental health is B500 once it is vacated. Mental health becomes another ambulatory clinic ✓ Mental health is part of Medicine. Location on north campus would further stigmatize mental health. Need access and adjacencies between mental health and medicine ✓ Mental health and case management is Medicine ✓ Case workers, social services are Housing ✓ Aggressive or predatory group <ul style="list-style-type: none"> ○ Put younger aggressive men/people in HUD VASH rather than concentrate them on campus ✓ Mentally ill young – aggregate housing to young men near CBOCS or at Supulveda. Expand sub specialty services to outlying areas ✓ Each decade of life another organ goes hay wire. Younger Veterans do not have as many physical issues ✓ Do not mix aggressive with vulnerable ✓ Integrate into work force. They want different amenities ✓ Physical disability <ul style="list-style-type: none"> ○ Diabetes is the strongest indicator for dementia – vulnerable ○ Those who have physical disability who have a history of violence should not be here ✓ High 70 to mid 80 percent of homeless have mental illness. Mentally ill homeless are a subset of larger group of mentally ill Veterans ✓ CWT programs: Grounds Keeping, Co-Op, Tree people ✓ North campus focus <ul style="list-style-type: none"> ○ Housing and social services ○ Mitigate traffic as a result of the mix of recommended north campus residents ○ Use parking nodes and inter campus shuttle ✓ South campus focus <ul style="list-style-type: none"> ○ Healthcare, mental health and research ○ Mitigate traffic as staff move to South campus. Consistent within integration of PACT model | |
| 2 | <ul style="list-style-type: none"> • Follow up information from Andy Kim and Kerry DeCourt <ul style="list-style-type: none"> ✓ Disruptive behavior committee ✓ Number of mental health patients who are homeless | |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ VA (2) ✓ HOK (2) | |

END OF DISCUSSION

Client: Greater Los Angeles VA Medical Center, Los Angeles, CA

Meeting Date: 6 August 2015

Project Name: New Urban Master Plan & Potential Enhanced Use Lease

Meeting Location: VA Welcome Center, Building 257, First Floor Conference Room

HOK Project No.: 15.24015.00

Meeting Time: 11:00 am - 12:00 pm

Meeting Name: DISCUSSION WITH DR. BARRY GUZE, CHIEF OF PSYCHIATRY

| Name | Affiliation | Phone | Email |
|---------------------|-------------|-------|-------|
| <i>Cynthia Part</i> | | | |
| <i>John Douglas</i> | | | |
| <i>Craig</i> | | | |
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MEETING MINUTES

SUBJECT: Environmental Services meeting
Meeting Date: August 6, 2015
Meeting Time: 9 am to 10 am
Location: VA West LA
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to Environmental Services comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Room Introductions of each Team member and Environmental Services • Environmental Services expressed information, concerns and ideas for the campus <ul style="list-style-type: none"> ✓ Outside contracts <ul style="list-style-type: none"> ○ Arborist ○ Fire Prevention ○ Bio-Waste (Sharps) ○ Hazardous Materials, Safety ✓ Engineering – roads / blacktop ✓ Environmental Services average 220 FTE <ul style="list-style-type: none"> ○ Only preferenced Veterans ○ Veteran in conflict tour ○ 30% disabled ○ WG-2 to WG-6 ✓ All sanitation – inside and out. Trash, cleaning, etc ✓ Exterior maintenance ✓ Signage ✓ Painting ✓ Flooring ✓ Do not maintain: <ul style="list-style-type: none"> ○ DOM rooms ○ B209 (clean own rooms) ○ B207 (Salvation Army) ○ B212, B214, B116 and CA State Home ○ Laundry ○ Landscaping ✓ Use CWT's – live on campus, work off-sets rents ✓ Developer Buildings – analysis of most cost effective way to maintain, case by case. ✓ Primary Warehouse – B297 ✓ Secondary Warehouses <ul style="list-style-type: none"> ○ B210 (basement) ○ B500 ✓ Long Term Signage – South campus is done, North campus still incomplete. VA should have its own sign shop ✓ New buildings should have low water/low maintenance exterior ✓ B209 has 6 Housekeeping Aid Closets | Information |

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| | <ul style="list-style-type: none">• Attendees<ul style="list-style-type: none">✓ VA (3)✓ HOK (1) | |
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END OF DISCUSSION

MEETING MINUTES

SUBJECT: Dietary meeting
Meeting Date: August 12, 2015
Meeting Time: 1:30 pm to 2:30 pm
Location: VA West LA
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the Dietary Services comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Room Introductions of each Team member and Dietary Services • Dietary Team expressed information, concerns and ideas for the campus <ul style="list-style-type: none"> ✓ Building 300 is food production and administration offices ✓ B300 contains IT component ✓ B13 and B210 are former food service buildings ✓ Produce and tray for: GLA, Sepulveda and Long Beach ✓ Cafeteria , tray and made to order ✓ Bulk food service for State Home: 84 bed homeless of total 398 beds ✓ OP mental health Veterans, B206 and B207 dual diagnosis, outpatient day treatment: sack lunches (VA Handbook does not have authority to feed outpatients. Authorization is only for inpatients and outpatient day treatment program. Need to include food service into guidelines or include EUL criteria) ✓ 1.3 million meals per year ✓ VCS does canteen, stores, vending and food trucks ✓ Staffing challenges, more substance abuse and mental health issues ✓ Increase activity on North campus affecting Dietary. Food service employees in transitional housing, living in grant per diem programs, dom and transitional. Drama and tension in the workplace. Treatment in B206 and B207, across the street. Employees wandering into work areas. Not enough security, food safety, physical safety. Staff has too much interaction with transitional housing people ✓ Do not use CWT. Too many challenges. Treatment residents are ok, but those who are not in the treatment are at risk. The employee environment (place) is a trigger ✓ GLA future – room service program requires relocation closer to main hospital and additional space ✓ Long Beach reimburses for food services, cultural and political differences, inefficient ✓ Sepulveda - 35 beds in the CLC, 5 GLA staff located in kitchen on site ✓ State Home – 5 year sharing agreement. Existing kitchen serves 54 residents ✓ Sepulveda New Directions – security challenges ✓ Variety of patient needs, age range increasing, 70% of diets | Information |

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| | <p>are specialized</p> <ul style="list-style-type: none"> ✓ 1 dietician to 6,000 Veteran outpatients ✓ At capacity in current facility. Not enough storage, refrigeration ✓ Ideal kitchen environment is single level. Current environment is 3 level ✓ Total department size 280 people - nutrition and food services | |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ VA (4) ✓ HOK (2) | |

END OF DISCUSSION

Client: Greater Los Angeles VA Medical Center, Los Angeles, CA

Meeting Date:

12 August 2015

Project Name: New Urban Master Plan & Potential Enhanced Use Lease

Meeting Location:

VA Welcome Center, Building 257, First Floor Conference Room

HOK Project No.: 15.24015.00

Meeting Time: 1:30 ^{PM} am - 2:30 ^{PM} am

Meeting Name: DISCUSSION WITH JENNIFER WORLEY, DIETARY SERVICES DIRECTOR

| Name | Affiliation | Phone | Email |
|-----------------|------------------|------------|------------|
| Diane Freyling | Nutrition & Food | [REDACTED] | [REDACTED] |
| Jennifer Karp | Nutrition & Food | [REDACTED] | [REDACTED] |
| Candice Doreis | NUTRITION MGR | [REDACTED] | [REDACTED] |
| SYNTHIA KEEFER | HOK | [REDACTED] | [REDACTED] |
| Jennifer Worley | NFS | [REDACTED] | [REDACTED] |
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MEETING MINUTES

SUBJECT: Emergency Services meeting
Meeting Date: August 13, 2015
Meeting Time: 3 pm to 4 pm
Location: VA WLA B257 Welcome Center
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the Emergency Services comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Room Introductions of each Team member and Dr Patel • Dr Patel expressed information, concerns and ideas for the campus <ul style="list-style-type: none"> ✓ Largest VA ER in the country and in the VISN ✓ ER is the only off duty care hours available to Veterans ✓ Veterans use ED as primary care provider, underserved population ✓ 35% homeless, tenuous housed Veterans. Census – 28,000 total visits last year. Projecting 30,000 this year ✓ See approximately 28 homeless Veterans per day ✓ Majority of patients come in evening and weekends ✓ 20 bed ED with 2 fast track beds. Open 24/7, 365 days a year ✓ DOM clinic staffed weekdays 8am to 4pm with primary care team in B402 ✓ Capacity to care already to overcapacity. ED renovation in 2016, 14to 24 month renovation schedule. 25 to 30 percent decrease in capacity ✓ Urgent care clinic needed in addition to the ER ✓ 6 to 9 hours wait if moving to inpatient bed – worst in VISN ✓ 5 to 10 ambulance visits per day ✓ Trauma cases are stabilized and transferred to UCLA ✓ Children will be taken to UCLA. Physicians are trained in pediatrics, but staff is not and there is no pediatric equipment available in the ED ✓ Women make up 8% of patients in ER. Predominant issues are not female specific ✓ Homeless come in the North entrance of B500. Veterans stay in lobby until police sweep the area, they then go to the ED ✓ No options for discharge to beds on campus. If beds are available at welcome center, there needs to be a shuttle available 24/7 from ED ✓ Need medical detox unit – 10 beds minumum | Information |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ VA (2) ✓ Consultants (3) | |

END OF DISCUSSION

MEETING MINUTES

SUBJECT: Patient Advisory meeting
Meeting Date: August 13, 2015
Meeting Time: 10 am to 11 am
Location: VA West LA
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the Patient Advisory Council comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Room Introductions of each Team member and Patient Advisory Group • Patient Advisory Council expressed information, concerns and ideas for the campus <ul style="list-style-type: none"> ✓ State of California on target per NPR report. Ending homelessness by 2015 is difficult due to transient nature of homeless population. Housed one year, may return to homelessness in future. Case load today, 48 beds, 4 case managers. Ranges from 9 to 13 depending on census. Housing families is more difficult in State of California. Single male with substance abuse easier to address because there is more funding. Housing for female Veterans with children. Need to identify mix and number of homeless women Veterans. Because of equal opportunity, certain grants were unavailable. Address issue before construction and target population ahead of time to avoid equal opportunity and fair housing ✓ Womens clinic and Womens Mental Health are good. All in one clinic, need more room ✓ Women feel that they are harassed they are here for medical care, not to buy drugs or pick up a date ✓ Masterplan Drivers <ul style="list-style-type: none"> ○ Housing ○ Safety ○ Separate clinical and recreational facilities for women, separate waiting rooms and entrances ✓ Operational Drivers <ul style="list-style-type: none"> ○ Staff training, specific to women issues ○ Increase primary care ○ Increase continuity of care ✓ In the military, all serve as one. Out of the military, women are not getting the respect they received in the military. Response is that in the military the treatment was biased. This attitude continues at the VA. At VA facility, men are aggressive toward women on campus. There is no accountability in the VA at WLA. Betrayal of trust ✓ Council charter is to make recommendations to provide a sense of well being for Veterans on campus <ul style="list-style-type: none"> ○ Vulnerable Veterans | Information |

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| | <ul style="list-style-type: none"> ○ TBI ○ Stroke ○ Mental Health ○ Women Elderly ✓ Urgent Care and ED <ul style="list-style-type: none"> ○ Women have problems being seen, any are turned away. Services needed to not align with clinical specialties. Info from MSA. Triage is occurring ○ Veterans go to ED so they have a place to stay ✓ Homeless access through bridge housing, 40% of patients in GMed are people with unstable housing. People who need medical care before they continue treatment. Bridge housing beds without behavioral or medical criteria. Post acute care discharge. 70 to 80% sleeping off site ✓ Comprehensive homeless center, B402. Integrated housing, 100 unique Veterans per day. Most have stable housing, 20 per day looking for housing ✓ Welcome campus for all Veterans. Bridge housing and Welcome Center. Intent is to run 24/7 ✓ Shuttle service between B402 and B257 ✓ Chronic homeless Veterans with complicated medical and psycho social, substance abuse – patients who do not want services. Using housing first model. No interest in coming in for healthcare or housing. Outreach needed. Programs in B257 are available to women, but not well attended. Staff training needed ✓ Goal is to have campus with large DOM patients, substantial programs including, training, vocational rehab, social services ✓ HPAC homeless patient aligned care team increased hours ✓ Women should be able to request escorts from are to clinic. Women have to traverse through a pack of men at DOM and Haven. Need to have safe secure access ✓ Culture at WLA is different. Survey, 25% of women report harassment on VA campus. Build on innovations from other VAs, college campuses, bystander interventions. Culture of hanging out (socializing) is detrimental to creating a safe environment. Is there a zoning solution to empower Veterans. Neighborhood watch, Veterans. It is a place for healthcare and a place for socialization. Focus on South campus as medical center. Need 360 view camera towers or red phone system on campus ✓ Veterans with children – Services on campus are currently lacking. Parameters for healthcare is possible. Population in recovery, need to figure out how to separate women and children geographically etc. Complete separation between women and children. Campus and potential housing, research buildings, turned into children quad. Separate transgender population from convicted sex offenders | |
| 2 | <ul style="list-style-type: none"> • Follow up information and questions <ul style="list-style-type: none"> ✓ % of chronic homeless who are receiving healthcare currently? Highest percentage of women homeless in country ✓ What are the barriers to bringing chronic vulnerable homeless? Target approach to what women and other vulnerable Veterans need Feeling of continued abuse ✓ Security – permanent housing criteria. What about legal substances, medical marijuana and alcohol on campus? | |
| | <ul style="list-style-type: none"> • Attendees | |

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| | ✓ VA (7) ✓ HOK (2) | |
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END OF DISCUSSION

MEETING MINUTES

SUBJECT: Domiciliary meeting
Meeting Date: August 26, 2015
Meeting Time: 9:30 am to 10:30 am
Location: VA West LA
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the Domiciliary Services comments, questions, concerns and input.

| Item | Discussion | Action |
|------|---|-------------|
| 1 | <ul style="list-style-type: none"> • Room Introductions of each Team member and Domiciliary Services • Domiciliary Team expressed information, concerns and ideas for the campus <ul style="list-style-type: none"> ✓ Domiciliary Services used to report to the President – under Geriatrics and Extended Care, now under Mental Health ✓ More complex needs, mental health residential and treatment programs are still DOM beds. Now doing EB practice, big umbrella for different types of DOM. Different beds depending on type of treatment ✓ DOM categorized by most prevailing criteria ✓ DOM currently in B214 and B217, new building B214 to be converted to bridge housing ✓ CLC, Nursing home B213 and B215 ✓ 4 bed sections – total 296 beds <ul style="list-style-type: none"> ○ 125 beds designated homeless Veterans, all issues, mental illness or displaced Single rooms, 2, 3 and 4 person rooms ○ 62 beds – SA beds, substance abuse ○ 20 beds for Women ○ 32 bridge beds, will increase – different approach, not sobriety requirements. HUD VASH step section was bridge housing. Need to be in stable environment while they find stable housing ○ 109 general beds. Trauma that occurred in the military, MST/PTSD, younger Veterans. Separate men and women ○ 57 remaining DOM beds, need some sort of care ✓ B209 is under the same authority as DOM, focus is work therapy. Veterans are taught to live independently They pay a program fee. Environment is individual focused. DOM is communal living. Continuum of Care ✓ Medical care is considered outpatient, staffing consists of psychologists, therapists, case workers, nursing staff, social workers,, pharmacist, dietitian, recreational therapy, social science techs and assistance, physical therapist vocational therapist. Treatment building within a residential setting ✓ Increased acuity in patients. Medication management. Safe medication management program ✓ Occupancy Rate – 82%. Womens unit is usually 50% full | Information |

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| | <ul style="list-style-type: none"> ✓ Patients enter through referral in B402. Enter through emergency, social work, HPACT, PACT, Outreach and telehealth. Consults come straight to DOM. Set up patient with face to face screening, working on telehealth screening. Require recent TB screen. Screen is basic health, mental health looking to see if the program can accept, can the program manage the Veteran, does the Veteran want to come into the program. Those who do not meet criteria, may need higher level of care. Physical and mental ability, dementia, effect of drugs - Veterans are referred to board and care, Mental Health. ✓ Veterans do not pay, average length of stay is 5 to 6 months ✓ Older Veterans are assisted to find housing, some go back to families. Increased number of Veterans trying to maintain housing, go back to own home ✓ Backlog – none. Initial contact to consult within a day due to increased hours and evening screening ✓ Program components for each of the beds <ul style="list-style-type: none"> ○ Close to 800 people admitted and discharged each year, 60% Veterans are completing program ○ SA increase in Veterans about to lose housing. Many Veterans in bridge housing want treatment. See an increase in need moving forward ○ Biggest challenge on homeless floors, multiple diagnosis issues. Treatment plan is organized in subset. Need basic money management, interpersonal skills, basic programming ○ Women, many treated for MST, some combat trauma, domestic violence. Cognitive behavior focused treatment. Women with children are not admitted, provide are where children can visit. DOM not appropriate to have children. Refer children into safe or protective custody while Veteran is in treatment ✓ greater presence of legal services on campus needed ✓ DOM wish list <ul style="list-style-type: none"> ○ Staffing ratio; <i>follow up</i> – staffing is not adequate for current need ○ More space to serve mental ill, need more staff to supervise. Patients need direct supervision. If services are centralized, still need staff managing the residential units. ○ Line of sight needed for higher acuity patients ○ Buildings are not configured appropriately, now require more staff because of existing conditions ○ Front entrance, Veterans coming off the street and in treatment, need storage for patient possessions. ○ Communal living requires clinician intervention. Include group rooms space for resident managers ○ Provide for recreational therapy, computer room, library, referral center (community center) ✓ Recommendation – DOM program focused on DOM, separate the Bridge function into a separate program. | |
| 2 | <ul style="list-style-type: none"> • Follow up information from Arzenia Redcross, John Dozois, George <ul style="list-style-type: none"> ✓ How does DOM address transgender Veterans ✓ How many people lived on campus in the mid 70s? ✓ Number of homeless not entering into the Homeless program | |

Client: Greater Los Angeles VA Medical Center, Los Angeles, CA

Meeting Date: 26 August 2015

Project Name: New Urban Master Plan & Potential Enhanced Use Lease

Meeting Location: VA Welcome Center, Building 257, First Floor Conference Room #126

HOK Project No.: 15.24015.00

Meeting Time: 9:30 am - 10:30 am

Meeting Name: DISCUSSION WITH ARZENIA REDCROSS, DOMICILIARY CHIEF

| Name | Affiliation | Phone | Email |
|------------------|------------------|------------|------------|
| Darci | | | |
| George | | | |
| CYNTHIA | | | |
| Dawn Smith | AO DOM | [REDACTED] | [REDACTED] |
| Jacqueline Grwin | Asst. Chief, DOM | [REDACTED] | [REDACTED] |
| Arzenia Redcross | Chief | [REDACTED] | [REDACTED] |
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MEETING MINUTES

SUBJECT: Outpatient meeting
Meeting Date: August 26, 2015
Meeting Time: 1 pm to 2 pm
Location: VA West LA
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the Outpatient Services comments, questions, concerns and input.

| Item | Discussion | Action |
|------|---|-------------|
| 1 | <ul style="list-style-type: none"> • Room Introductions of each Team member and Outpatient Services • Outpatient Team expressed information, concerns and ideas for the campus <ul style="list-style-type: none"> ✓ Regular Dental Clinic in B500 ✓ Homeless Dental Clinic in basement of B213 located in space not set up for dental, 5 days a week ✓ Limited mental health on the North campus, could be moved to South campus ✓ Set up North campus as residential ✓ Consolidate mental health all in one place ✓ Scheduling patients – staff needs cross training, concern about being on both North and South campus ✓ PACTs on South campus ✓ Possible HPACT on North campus, services can more efficiently be located on South campus ✓ Point of entry for Veterans (including homeless) <ul style="list-style-type: none"> ○ Business office ○ ED ○ B402 referrals ○ NEAR list, new enrollee appointment report. Request for services. Either enrolling only or requesting an appointment. Added to NEAR list if asking for appointment ✓ 24/7 care – dependent on reliable shuttle or pick up service ✓ Roughly 30% of outpatients are homeless ✓ All of primary care providers already are treating homeless ✓ Workload is dropping, expect additional homeless will stabilize workflow. Trying to bring more Veterans back in to the system. Good success, approximately 10% success bringing Veterans into system. Decline in LA County by 50% by 2021, total Veteran decline ✓ Mental intensive case management becomes the link to North campus services ✓ If children are on campus they will go to UCLA. Concerned about families on campus. Children need to be protected from sex offenders. Need to separate money, determine eligibility. Need to not mix utilities etc. ✓ Need services for families, some VA facilities have mental health services, WLA does not | Information |

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| | <ul style="list-style-type: none"> ✓ OB/GYN paid for in community, not provided on campus ✓ Separate womens clinic ✓ Do not have spinal cord injury, they are at Long Beach ✓ Bariatric surgery is at Loma Linda ✓ Home health services, home based primary care <ul style="list-style-type: none"> ○ Contract agencies ○ Very successful program, will grow in the future ○ VA can provide in home care services. Bottom 3% of patients can be monitored by home telehealth services | |
| 2 | <ul style="list-style-type: none"> • Follow up information from Joy Edleson <ul style="list-style-type: none"> ✓ Purchased home health care services, home telehealth services | |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ VA (3) ✓ HOK (4) | |

END OF DISCUSSION

Client: Greater Los Angeles VA Medical Center, Los Angeles, CA

Meeting Date: 26 August 2015

Project Name: New Urban Master Plan & Potential Enhanced Use Lease

Meeting Location: VA Welcome Center, Building 257, First Floor Conference Room #126

HOK Project No.: 15.24015.00

Meeting Time: 1:00 pm to 2:00 pm

Meeting Name: DISCUSSION WITH DAVID HOLT, OUTPATIENT SERVICES CHIEF

| Name | Affiliation | Phone | Email |
|---------------------------|-------------|------------|------------|
| Karen <i>via phone</i> | | | |
| George | | | |
| Bill.Craig@hok.com | | | |
| cynthia.keeffe@hok.com | | | |
| _____ | | | |
| CHRISTINE GONZALES@VA.GOV | VA | VA | [REDACTED] |
| DAVE HOLT | VA | VA | [REDACTED] |
| Darryl Joseph | VA | [REDACTED] | [REDACTED] |
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MEETING MINUTES

SUBJECT: Welcome Center meeting
Meeting Date: August 27, 2015
Meeting Time: 1 pm to 2 pm
Location: VA West LA
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the Welcome Center comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Room Introductions of each Team member and Welcome Center Group • Welcome Center Group expressed information, concerns and ideas for the campus <ul style="list-style-type: none"> ✓ Eligible Veterans – MOA, if individuals come to VA for help and is not eligible for all services, then there should be services on site. VA needs to provide space for non VA services ✓ Legal services ✓ VOA, battle buddy team ✓ County and City services ✓ Not for profit groups ✓ Food ✓ Showers ✓ Computer access ✓ Social services ✓ GPD will grant for up to 24 months. Regulations require that individuals are working their programs. GPD has cap limit does not pay for entire program ✓ Doors will be open for all individuals who have served in some capacity. They will receive information about other non VA services | Information |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ VA (2) ✓ HOK (2) | |

END OF DISCUSSION

MEETING MINUTES

SUBJECT: Women Veteran Services meeting
Meeting Date: August 27, 2015
Meeting Time: 1:30 pm to 2:30 pm
Location: VA West LA
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the Women Veteran Services comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Room Introductions of each Team member and Women Veteran Services • Renee Andreassen expressed information, concerns and ideas for the campus <ul style="list-style-type: none"> ✓ Data management ✓ Uniques: Veterans who are using services, Veterans not using services ✓ Establishing focus groups ✓ Existing womens clinic <ul style="list-style-type: none"> ○ Too small – needs to be right sized for growth ○ Women have to go through B500, women do not feel safe ○ Not enough consistent medical staff ○ Layout is not user friendly, too many men hang out near entrance ○ Needs: Provide women with their own clinic, with all resources, separate from other clinics. Connect to main hospital. Each exam room should have a bathroom ✓ Master Plan should recognize that campus does provide a safe place for women <ul style="list-style-type: none"> ○ Staff training about sexual harassment needed ○ Need to have staff patrol and break up aggressive behavior ○ Concierge service ○ Cultural change is needed ✓ Men hang out at the canteen ✓ Listening to women, trouble shoot problems ✓ Fastest growing population, now up to 10%. Mens population declining ✓ Housing: Women should be off campus because on campus they are surrounded by men. Women do better with programs off campus. Try to keep women apart from men, provide a buffer. Need to have staff monitor for safety. Provide choice for women, mixed with men or isolated from men. Isolate women from sex offenders ✓ Interface between homeless programs. Triage at B402. Issues include mental health, not wanting to be seen in clinic, MST referrals, housing and money issues, help with | Information |

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| | <p>appointments</p> <ul style="list-style-type: none"> ○ B402 triage, referred to GPD or temporary transitional or HCHV transitional in community and ultimately a referral to VASH ○ Emergency Department - not a good separation for women in ED ○ No good solution for women needing detox beds on campus. Ideal would be to have a section that Veterans can stay in ○ Easier for men to find temporary housing than women ○ Cannot get into Dom at night ○ Discharge to the streets after hours – what are safety nets? This should not be happening, there should be beds available for women. Beds should be kept open for women and ED staff should be notified ○ Social workers go home at 11pm, suggest 24/7 social work ✓ Backlog – it is harder to get a woman to come to the VA until she has run out of resources. Usually by the time they come to the VA they have hit bottom ✓ Outreach – need a women’s outreach team. Women are less likely to take part of services offered, harder to engage ✓ Demographics are different on GLA campus. Transitional housing on campus leads to a street culture. This will become a greater issue as housing is increased. Skid row and WLA similar cultures. At hospital, Veterans are not in a program and behave badly. Prior lifestyle contributes to current behavior ✓ Disenfranchised groups – Transgender <ul style="list-style-type: none"> ○ Central office needs to have training for GLA staff. Housing should be based on gender identification. Provide options for transgender individuals. Shared housing is not appropriate for transgender population ✓ Need to provide for flexibility in housing options | |
| 2 | <ul style="list-style-type: none"> • Follow up information from Renee <ul style="list-style-type: none"> ✓ Data run regarding women Veterans in catchment area ✓ Age group breakdown ✓ Total number of women patients homeless and non-homeless | |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ VA (2) ✓ HOK (2) | |

END OF DISCUSSION

Client: Greater Los Angeles VA Medical Center, Los Angeles, CA

Meeting Date: 27 August 2015

Project Name: New Urban Master Plan & Potential Enhanced Use Lease

Meeting Location: VA Welcome Center, Building 257, First Floor Conference Room #126

HOK Project No.: 15.24015.00

Meeting Time: 1:30 pm to 2:30 pm

Meeting Name: DISCUSSION WITH RENEE ANDREASSEN, WOMEN VETERAN PROGRAM MANAGER

| Name | Affiliation | Phone | Email |
|--|-------------|-------|-------|
| BILL CRAIG | HOK | | |
| CYNTHIA KEEFFE | | | |
| RENEE ANDREASSEN | | | |
| RENEE ANDREASSEN JOHN DOZENS | | | |
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MEETING MINUTES

SUBJECT: Security meeting
Meeting Date: September 2, 2015
Meeting Time: 9 am to 10 am
Location: VA West LA
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the Security comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Room Introductions of each Team member and Home Health Group • Security expressed information, concerns and ideas for the campus <ul style="list-style-type: none"> ✓ Status of VA police: <ul style="list-style-type: none"> ○ 54 staff – all GLA ○ Authorized at 86, may need more ✓ Drop In Camp Issues: <ul style="list-style-type: none"> ○ Investigation / Sub Station ○ Baseline needs for Sub Station: <ul style="list-style-type: none"> ➢ Cameras ➢ Personnel, special security team, uniformed and un-uniformed ➢ Possibly outside group that police oversees ➢ Not all positions need to be armed ➢ VAPD would be armed ➢ Homeless outreach team made up of police officers. Name may be Community Police Force. Training with Santa Monica ➢ Need support from Law Enforcement Training Academy. (LETCE) ➢ How to determine Veterans and non Veterans – need to establish baseline eligibility ➢ Critical missing issue Veterans who go off campus. Cannot stop people from leaving ➢ Big issue is safety – need to zone camp for vulnerable populations ○ Would like to get more women officers ○ Camera systems that work, interface with dispatch system ○ Modular specific to families ○ Staff 24/7 working closely with B257 group ✓ General Campus Issues: <ul style="list-style-type: none"> ○ Separate entrances ○ Incorporate separate sub stations at South and North campus in addition to new sub station ○ Larger main station preferred over separate sub stations. Sub stations need to have containment facilities ○ Need to meet homeland security requirements | Information |

| | | |
|---|---|--|
| | <ul style="list-style-type: none"> ○ Triage ER area, homeless carry weapons, drugs etc. <ul style="list-style-type: none"> ➢ Patient effects turn in approach ➢ Sepulveda approach, alcohol is allowed in residence ➢ Medical marijuana ➢ What about pets and veterinary? ➢ Children – link to UCLA for healthcare ➢ Families with children, more long term approach needed for family approach,, long term in research quad ○ Good idea to have close circuit TV, license plate readers at all access points ○ Revisit fence line, need to have cameras at the gates for dispatch to pen gates remotely ○ Lighting on campus ○ Need psych response team ○ Need better transportation North / South ○ Existing security systems: <ul style="list-style-type: none"> ➢ Update systems similar to college campus systems ➢ Update server system, computer aided dispatch, add computers to care ➢ CA law enforcement tele communication outdated, will not be able to communicate with LA Sheriff and LAPD, CHPD, FBI ➢ Interface with local – VA Force is a complete jurisdiction, call if outside agency to support, when needed ➢ Outside agencies train with VA officers. Using B224 as training area, simulates a house. Need training station, agencies coming on site because there are not many training areas. Plan for building police station is undersized. Need to add training area. Possibly create a substation at South campus ➢ Regionalization of police officers for CBOCs | |
| 2 | <ul style="list-style-type: none"> ● Follow up information to Charles Leas <ul style="list-style-type: none"> ✓ Need security Plan for: <ol style="list-style-type: none"> 1) baseline needs B257 and B209 online. 2) immediate drop in camp, 6 months. 3) short term, B205, B208, B156, B157, B158 ✓ Structure needs to be in place, incremental addition through <ol style="list-style-type: none"> 4) mid term – long term. 5) South campus – metro station location and bus stop | |
| | <ul style="list-style-type: none"> ● Attendees <ul style="list-style-type: none"> ✓ VA (5) ✓ HOK (2) | |

END OF DISCUSSION

Client: Greater Los Angeles VA Medical Center, Los Angeles, CA

Meeting Date: 2 September 2015

Project Name: New Urban Master Plan & Potential Enhanced Use Lease

Meeting Location: VA Welcome Center, Building 257, First Floor Conference Room #126

HOK Project No.: 15.24015.00

Meeting Time: 9:00 am to 10:00 am

Meeting Name: DISCUSSION WITH CHARLES LEAS, CHIEF OF VA POLICE

| Name | Affiliation | Phone | Email |
|-------------------------|-------------|------------|------------|
| CHIEF CHARLES LEAS | VA PD | [REDACTED] | [REDACTED] |
| CAPTAIN KATHY TREARWELL | VA PD | [REDACTED] | [REDACTED] |
| CAPTAIN ANDRES CENTENO | VA PD | [REDACTED] | [REDACTED] |
| Karen | | | |
| George K. | | | |
| John D. | | | |
| Cynthia. | | | |
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MEETING MINUTES

SUBJECT: Home Health meeting
Meeting Date: September 16, 2015
Meeting Time: 10 am to 11 am
Location: VA West LA
Project: Urban Master Plan
Project Number: VA101CFM-P-0043

The purpose of this session was to introduce the Urban Master Planning Team and listen to the Home Health comments, questions, concerns and input.

| Item | Discussion | Action |
|------|--|-------------|
| 1 | <ul style="list-style-type: none"> • Room Introductions of each Team member and Home Health Group • Home Health Group expressed information, concerns and ideas for the campus <ul style="list-style-type: none"> ✓ Groups priority – intensive assistance Operation Enduring Freedom Operation (OEFOIF Veterans) ✓ Jo Everlson oversees: <ul style="list-style-type: none"> ○ Veterans who are placed in the community ○ Home based primary care ○ Adult daycare, where Veterans are enrolled ○ Community nursing home (5 nurses) ○ Matrix with medical social work program, work with Veterans and meet with them monthly ✓ Cathy Higgins oversees: <ul style="list-style-type: none"> ○ West LA campus and Sepulveda ○ Home based primary care people, staff works where patients are located ○ Contracts with community ✓ Programs <ul style="list-style-type: none"> ○ Home based primary care <ul style="list-style-type: none"> ➢ Multi disciplinary team sees complex patients ➢ Primary care clinic, see patients in their home environment ➢ Difficulty getting to care or care is not working ➢ Manage medically complex patients ➢ Reduce emergency room care ➢ Increased access ➢ Long terms, or when patients go to LTC ➢ All VA staff ➢ Over 200 patients and growing, limited by staff held up by leadership ➢ Generates reimbursement dollars for the program from Central office ➢ Fluid wait list, 25-35 patients ○ Purchased skilled home care <ul style="list-style-type: none"> ➢ VA staff RNs who receive consults from outside sources. VA provides clinical authorization receive information and then contract with outside sources for skilled care | Information |

| | | |
|--|---|--|
| | <ul style="list-style-type: none"> ➤ Short term care ➤ Controversy about where funds come from, how vendors are selected, national structure is needed ○ Homemaker, health aid, HHA <ul style="list-style-type: none"> ➤ VA nursing and social worker, non-skilled care, coordinated with outside vendor ➤ Long term care ➤ Veterans with 50 to 100% service related disability are prioritized ➤ Currently there is a wait list ○ ADHC Sepulveda <ul style="list-style-type: none"> ➤ In B99, LTC, about 80 Veterans participate in program. M-F program. Authorized or 2 to 3 days per week , based on need ➤ Enables Veterans to stay at home ➤ Veterans use access or are transported to ADHC by assisted living facility ➤ Bathing and showering ➤ Program manager is social worker, nursing provides staff ➤ Wait list ○ Wound care <ul style="list-style-type: none"> ➤ Partner with podiatry, many are homeless, need follow up treatment. Need a space to see these patients on a follow up care – identify in transition zone. Add wound care clinic, little urgent and maintenance clinic ○ Community Nursing Program <ul style="list-style-type: none"> ➤ 259 Veterans in community nursing homes, majority are SNFs, some are locked IMD intensive mental disability. Some are locked facilities for cognitively impaired. See program growing. Hospice in nursing home. Need 70% service connected disability unless it is hospice care. LTC patients with less than 70%, VA tries to get them enrolled in Medicare or medical. Need for skilled care ✓ Homeless among Veterans is a top priority. Concerns about an open campus are the programs to get off drugs and alcohol ✓ Veterans do not want to get car in the community ✓ It is a lifelong connection and a social experience when they get care ✓ Veterans prefer to be on a waiting list ✓ Safety net ✓ Goal is to keep Veteran at home for as long as possible ✓ Community is eager to engage the Veterans and Veterans re not eager to engage the community ✓ The best way for the community to engage is to volunteer ✓ Campus Needs: <ul style="list-style-type: none"> ○ Need to include ADHC program on WLA campus ○ Need recreation therapy, basketball, surfing, skiing connected to physical rehab and public relations department ○ Need vocational ○ B213 geriatric clinic | |
|--|---|--|

| | | |
|---|--|--|
| | <ul style="list-style-type: none"> ○ Need rehab on north campus | |
| 2 | <ul style="list-style-type: none"> • Follow up information <ul style="list-style-type: none"> ✓ Stop codes for wound care 142 ✓ Should VA address Veterans who need nursing home, SNF for Veterans who have less than 70% disability? Can the land meet the need? How much is the VA providing to the Veterans? This is a policy issue | |
| | <ul style="list-style-type: none"> • Attendees <ul style="list-style-type: none"> ✓ VA (3) ✓ HOK (4) | |

END OF DISCUSSION



VA West Los Angeles Master Plan updated their cover photo.

Published by Andrea Campbell · August 3 · 🌐



193 people reached

Boost Post



👍 Like 💬 Comment ➦ Share

Ron Jones, Annette Gutierrez, Russell Silber and 3 others like this. Most Recent ▾

1 share



Tina Whitley Thank God for the VA in West Los Angeles and the community that supports veterans here.

Like · Reply · September 13 at 8:20am



VA West Los Angeles Master Plan Thank you for your comment Tina! We'd appreciate your feedback on Master Plan. Please fill out this short questionnaire, thanks!

<http://www.helphouselavets.com/survey>



Help House LA Vets

The Master Plan is an action to help end homelessness among veterans in Los Angeles....

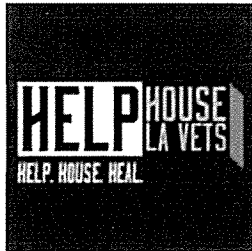
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Like · Reply · Remove Preview · Commented on by Andres Ramos · September 15 at 5:47pm



VA West Los Angeles Master Plan updated their profile picture.

Published by Andrea Campbell · August 3 · 🌐



173 people reached

Boost Post



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Ron Jones, Russell Silber and Isabel Santiago like this. Most Recent ▾

1 share



Mary Randall ·

Like · Reply · August 5 at 2:03pm



Write a comment...





VA West Los Angeles Master Plan

Published by Andrea Campbell (?) · August 5 · 🌐

Want to engage with us in-person? Here is a schedule of upcoming events. <http://www.helpouselavets.com/eventscalendar> <http://bit.ly/1IpLQMq> #helpouselavets



Events & Meetings

Share Your Vision for Veterans Housing in LA. Your West LA VA Master Plan #HelpouseLAVets

OPEN HOUSE FLYER

HELPHOUSELAVETS.COM

1,698 people reached

Like Comment Share

Beverly McFadden, Kausar Bashir, Felicia Gomez Verdin and 29 others like this.

4 shares

Lawrence Jones Be encouraged
Like · Reply · August 6 at 6:09am

Stacey Staples no c
Like · Reply · August 6 at 7:36am

VA West Los Angeles Master Plan We understand there are questions about the outreach being conducted. In addition to engagement via digital channels we are also reaching out to veterans through boots on the ground via community based organizations, meetings and focus groups with Vets... See More

Like · Reply · Commented on by Andrea Campbell (?) · August 6 at 12:56pm · Edited

Write a comment...

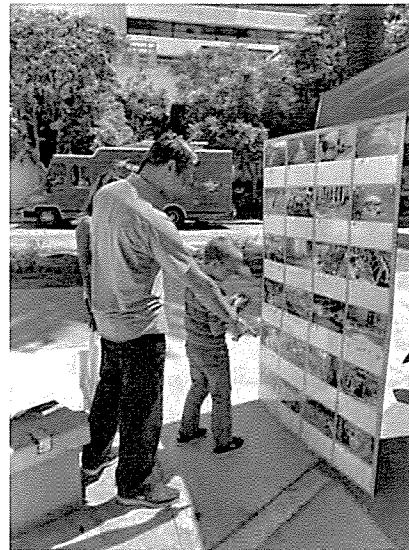
Boosted



VA West Los Angeles Master Plan

Published by Andres Ramos (?) · August 5 · 🌐

Engagement going strong. In the picture, a veteran and his family giving us some great ideas!



540 people reached

Boost Post

Like Comment Share

Darlene C. Matthews, Martha Elena Michel, Beverly McFadden and 8 others like this.

1 share



VA West Los Angeles Master Plan #helpouselavets

Like · Reply · Commented on by Andrea Campbell (?) · August 5 at 2:34pm



Darlene C. Matthews Are there to be more helps for those with disability without substance abuse? The substance abuse programs are unfriendly and in other ways not accessible or safe for us.

Like · Reply · August 24 at 1:02pm



Darlene C. Matthews How can you help OC veterans who dont' want to live in a big city?

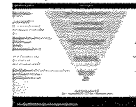
Like · Reply · August 24 at 1:03pm



VA West Los Angeles Master Plan Thank you for your comments.

Currently, the plan's main focus is housing homeless veterans and fixing the environmental infrastructure. The team is working hard to craft the Master Plan with members of the public. To learn more about what this phase of the plan covers, check out the Learn More page on our website. <http://www.helpouselavets.com/learnmore>

if Los Angeles VA Master Plan Press



About the West Los Angeles VA Master Plan

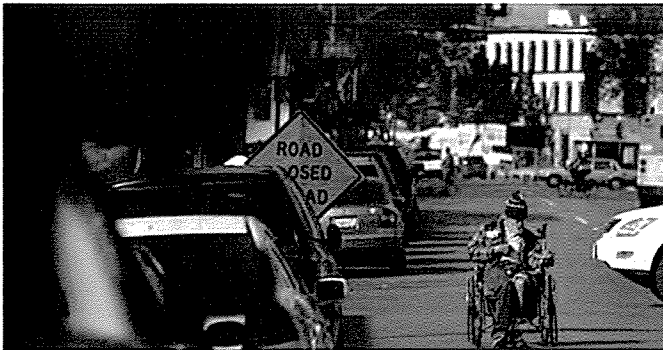
HELPHOUSELAVETS.COM



VA West Los Angeles Master Plan

Published by Andres Ramos · August 6 ·

Breaking News: Senator Barbara Boxer Senator Dianne Feinstein Rep. Ted Lieu propose legislation to #helphouselavets at the West LA VA campus. The legislation would grant the VA authority to enter into partnerships with local governments and nonprofit groups to help shelter and provide services to the over 4,400 chronically homeless veterans in LA County.



Boxer, Feinstein back plan to move homeless vets to VA campus

California's two U.S. senators will propose legislation Thursday that would move some of the thousands of veterans living in makeshift encampments across the...

LATIMES.COM | BY LOS ANGELES TIMES

1,895 people reached

Boost Post

Like Comment Share

Martha Elena Michel, Elyse Adele Vitiello, Bella Boc and 28 others like this. Most Recent -

17 shares



Bob Baker It's about time.

Unlike · Reply · August 6 at 11:04am



Nora Edwards Immediately!!

Unlike · Reply · August 6 at 12:17pm



Bobby Irula Tony George Cecilia Gonzalez

Like · Reply · August 6 at 1:52pm



Judith Moser McGavin No, they need to go to boxers and feinsteins homes!

Like · Reply · August 6 at 10:34pm



Krisianna Trager Awesome!!!

Like · Reply · August 7 at 8:06am



Elizabeth Hernandez About time!

Like · Reply · August 7 at 9:02pm



Write a comment...

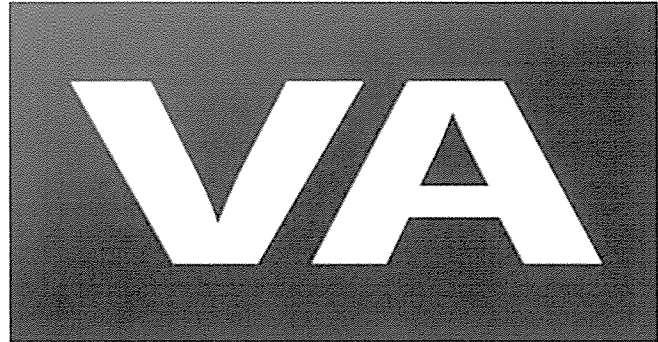


VA West Los Angeles Master Plan

Published by Andres Ramos · August 13 ·

If you were unable able to attend the weekly design open house on Tuesday 8/11 or were having trouble accessing the live stream here is the recorded webcast <http://www.ustream.tv/channel/gla-press-room>

After you watch, make sure to participate in the online questionnaire! <http://www.helphouselavets.com/survey>



GLA Press room

VAGLAHS is one component of the VA Desert Pacific Healthcare Network (VISN22) offering services to Veterans residing in Southern California. VAGLAHS consists of three ambulatory care centers, a tertiary care facility and eight...

USTREAM.TV

584 people reached

Boost Post

Like Comment Share

James Johnson, Alice Ward, Karla Gutierrez and 5 others like this. Most Recent -

1 share



Audrey Alo Pay attention to the content. The land was deeded in 1888 to benefit Veteran's only. Not the public, or 1%, or VA administrator's. If it is not truly benefitting Veteran's then it is not pono. You are being bamboozled.

Like · Reply · August 16 at 11:08pm



VA West Los Angeles Master Plan Thanks for your input Audrey! We'd really appreciate you taking your engagement one step further by participating in our survey: <http://www.helphouselavets.com/survey> Or maybe you can share with friends? Either way thanks again for commenting.



Take the Questionnaire

Lorem ipsum dolor sit amet, eruditi conceptam abhorreant ne nec, sed cu equidem splendide...

HELPHOUSELAVETS.COM

USE. HEAL.

Like · Reply · Remove Preview · Commented on by Andres Ramos ·

August 17 at 3:25pm



VA West Los Angeles Master Plan

Published by Andres Ramos (?) · August 18 · 🌐

Join us! Today is the weekly design open house at the West LA VA Campus from 1:30pm to 4:30pm. Details can be found on our website, see you there!



Weekly Design Open House

West Los Angeles VA Master Plan

USE. HEAL.

HELPHOUSELAVETS.COM

251 people reached

Boost Post

Like Comment Share

Julio Castro and Theresa Hiney like this.

Most Recent

Kim Ramos Julie Gonzales
Like · Reply · August 20 at 4:46pm

Write a comment



VA West Los Angeles Master Plan

Published by Janet Ouch · August 20 · 🌐

The Master Plan Design team met with roughly 200 homeless service providers from throughout the region, who serve a majority of our local Veterans. Read our blog for more details and tell us your thoughts! Agree? Disagree? Have something to add? Tell us in the comments below! #HelpHouseLAVets



Service Providers for Homeless Veterans Weigh In on Housing Needs

West Los Angeles VA Master Plan

HELPHOUSELAVETS.COM

988 people reached

Boost Post

Like Comment Share

Julio Castro, Miles Toth, Carole Ford-Shepherd and 21 others like this. Most Recent

25 shares

Roquel Elisheva Haqer Duh
Like · Reply · August 21 at 12:48am

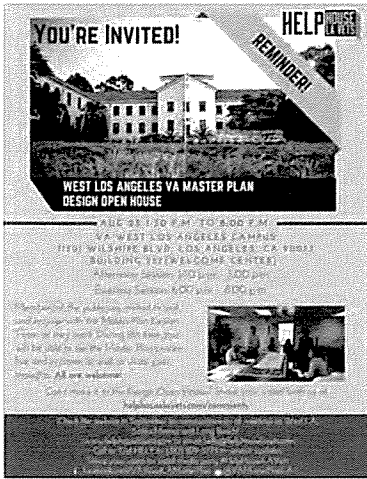
Carrie Nowocin LOL
Like · Reply · August 22 at 12:22am



VA West Los Angeles Master Plan

Published by Andres Ramos · August 24 ·

Please join us tomorrow 8/25 for the Design Open House. Drop by any time during the afternoon session from 1:30pm to 5pm or the evening session 6pm to 8pm. As always we would greatly appreciate your input. Hope to see you there!



2,060 people reached

Boost Post

Like Comment Share

Veteran Cruz, Carol Price, Rita Simonian and 3 others like this. Most Recent

23 shares



Darlene C. Matthews can we find out the tentative plans before coming in so we can comment ?
Like · Reply · August 24 at 1:04pm



VA West Los Angeles Master Plan The project team is actively working on the Master Plan. The Master Plan should be available in the next coming weeks. We encourage you to continue to participate and give us your feedback on how to improve the Master Plan at the VA West Los Angeles Campus. Please take our quick survey and share your thoughts <http://www.helphouselavets.com/survey>.



We Want to Hear From You!
The Master Plan is an action to help end homelessness among veterans in Los Angeles. As part of that goal,

Like · Reply · Remove Preview · 1 · Commented on by Andres Ramos · August 24 at 4:14pm

Darlene C. Matthews Uh oh how cna i get my First response off there i did not understand you would be posting how i know about west la.
Like · Reply · August 24 at 6:34pm

VA West Los Angeles Master Plan Darlene C. Matthews your comment was removed as requested.
Like · Reply · Commented on by Andrea Campbell · August 24 at 9:27pm

Darlene C. Matthews Thanks.
Like · Reply · August 24 at 9:28pm



VA West Los Angeles Master Plan

Published by Andrea Campbell · September 8 at 10:47am ·

The VA Greater Los Angeles Healthcare System Women Veteran Patient Advisory Council will host the first Women Warrior Freedom Fest this Friday, September 11 from 10:00 a.m. - 4:00 p.m. We'll be there from 10a-2p hosting a pop-up workshop on the Master Plan. For details and to RSVP directly with the event hosts visit the link.



"Women Warrior Freedom Fest" September 11, 2015

Greater Los Angeles (GLA) Veterans Administration (VA) Health Care System (HCS) Women Veteran Patient Advisory Council Presents: "Women Warrior Freedom Fest" * September 11, 2015 * 10 am to 4pm Rose Garden GLA VA...

EVENTBRITE.COM

277 people reached

Boost Post

Like Comment Share

VA West Los Angeles Master Plan, Roquel Elisheva Haqer, Amy Edwards and 2 others like this. Most Recent

2 shares

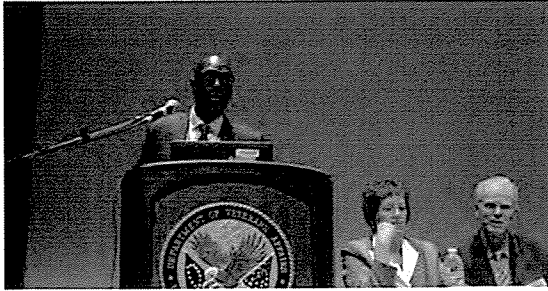


Debbie Barajas-lopez Sheena Lene
Like · Reply · September 9 at 1:55am



Write a comment...

VA West Los Angeles Master Plan created an event.
September 11 at 6:09pm · ↗



17 Homeless Veterans Town Hal...
SEP Thu 5 PM · Century Villages at ... **Going** :
by VA West Los Angeles Maste...

2,044 people reached

Like Comment Share

Tom Fields, Randall Ott, Denise Galindo Prewitt and 51 others like this.

Russell Silber Same here they lost my records. And it's my fault. You got to love it .
September 11 at 8:45pm · Like · ↕ 1

Bernice Duncombe Sterling Ok great start for helping our military people
September 12 at 10:41am · Like

Russell Silber No in Long Beach.It's the Brentwood campus
September 12 at 12:03pm · Like

Frank Marco Manzi What about the Military housing, at the former MCAS in Irvine! Could house a lot of homeless!
September 14 at 8:58pm · Like

Frank Marco Manzi I hand carried My records to the Long Beach, Veteran's Hospital! I received a receipt for the records! I had no problem and still do not! I have only one complaint about the Long Beach VA! The Parking Lot is Always Full! Charlie Team, is Great!



September 14 at 9:06pm · Like

Russell Silber Good for you just don't jump that's a Long Beach history check it out
September 14 at 9:09pm · Like

Denise Galindo Prewitt I'm a service member that lives in Long Beach. I went from active duty--to military spouse--to reservist-- to active reservist. One thing that the military does is teach young men and women how to be disciplined and strong; however, it also takes aw... See More
September 16 at 11:12pm · Edited · Like

VA West Los Angeles Master Plan shared their event.
Published by Andres Ramos · September 24 at 2:02pm · Edited · ↗

Join us Wednesday, October 7 for a Master Plan Town Hall. This will likely be the last town hall before the draft master plan is released in mid October. Come share your ideas with us, we want to hear from you!



07 Master Plan Town Hall (West LA)
OCT Wed 6 PM · Wadsworth Theatre - West LA VA Camp...
by VA West Los Angeles Master Plan **+ Join**

425 people reached

Boost Post

Like Comment Share

Tith Chansreypao, Sherrie Bukshpan, Roberto Ramirez Gonzalez and 16 others like this. Most Recent

Avery Rawls Health accessibility, their soul,ie emotions has injury. phyc, Spiritual truth,the HOLY SPIRIT IS OUR TEACHER. JOHN CH14VS26.
Like · Reply · September 24 at 4:06pm · Edited

Robin Gudmundson Can't happen soon enough.It's about time
Like · Reply · September 24 at 5:16pm

VA West Los Angeles Master Plan We look forward to seeing you there!
Like · Reply · Commented on by Andres Ramos · September 24 at 5:19pm

Write a comment...



Jill Volat ▸ VA West Los Angeles Master Plan

August 3 · Los Angeles, CA

I would like to help with edible gardens...



Edible Gardens

Take a tour of the farm...right here in the city!

FARMISTALA.COM



Like Comment Share



Christine Clayburg ▸ VA West Los Angeles Master Plan

August 17

If you are going to DO this on PRIME WEST LA REAL ESTATE PLEASE PLEASE PLEASE don't promote yet another homeless vet stereotype to raise \$ for this. Call it #VetsRising and have two buildings..one for those recovering from homelessness and one for vets pursuing post-duty careers in LA who need a place to sleep in LA to AVOID becoming homeless! There is NO BRIDGE for us. NONE. I've looked.

I currently know of a 6+ retired Army Ranger chaplain and award winning screenwriter who sleeps on the floor at the USO once a week when he flies in from Colorado to attend the Writers Guild Foundation Veterans Writing Retreat 2015. Another drives from San Francisco EVERY WEEK and crashes on couches. My West VA counselor doesn't want me to drive an hour and a half to home at midnight after seeing her here and then going to the WGA until 10- but there is NOWHERE for #VetsRising to go to sleep in this town as we re-build our careers. STOP THE STIGMA. NO VET coming home can afford to live or stay in LA for an opportunity, but that doesn't mean we are homeless. We don't need a long term solution, just a quick professional place to check in and check out, in a safe area in la, for less than \$300/night. Leaving us out of the equations perpetuates the stereotype and isolates the homeless.



Like Comment Share



Rebecca Johnson Branham ▸ VA West Los Angeles Master Plan

August 4

i think yhr govenment owes these vets lots but they no longer care about what the vets have done to keep freedom. they are helping other countries but not the vets the forget the courage and sacrifices these wonderful people have gave.. thank you all veterans.your are the best



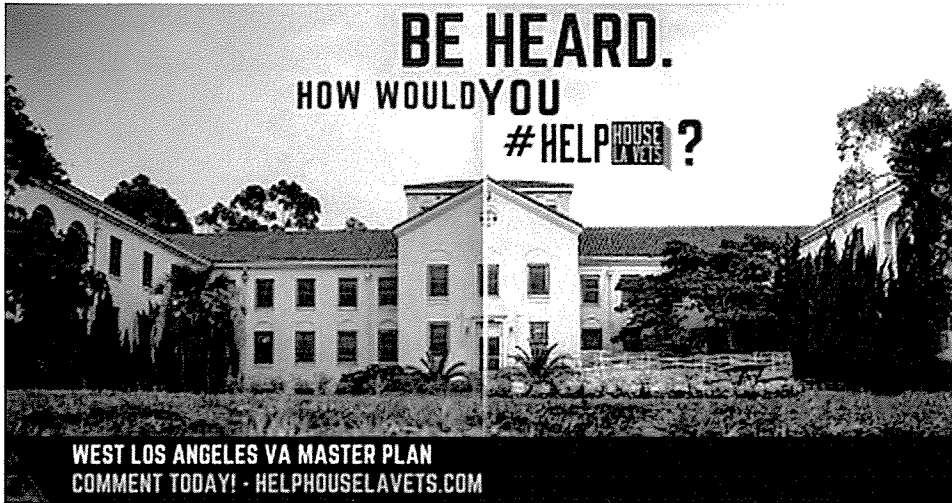
Like Comment Share



VA West Los Angeles Master Plan

Written by Andrea Campbell [?] · September 29 at 7:00pm · 🌐

Comment today to help house LA's homeless Veterans.



Help LA's Homeless Veterans

WWW.HELPHOUSELAVETS.COM

12,876 people reached



Boost Post



👍 Like 💬 Comment ➦ Share

Nelly Haro, Jurline Redeaux, Lea Ross and 53 others like this.

Most Recent ▾

13 shares



Lawrence Jones Be encouraged!

Unlike · Reply · 1 · September 29 at 7:54pm



WJ Bellamy This neglect has go to stop

Unlike · Reply · 1 · September 29 at 10:41pm



Martin Zarate Please help this Heroes.

Unlike · Reply · 1 · September 29 at 11:39pm



Zenaida Loreto About time... better late than never

Unlike · Reply · 1 · September 30 at 7:07am



Eleanor Scott Good, let work began to help the homeless.

Unlike · Reply · 1 · September 30 at 7:12am



DuckBill Maggie Cooper-Harris Tra Cooper-Harris

Unlike · Reply · 2 · September 30 at 8:13am



William Scales That is great please help!!! This is building 556.Wasworth

Unlike · Reply · 1 · September 30 at 12:36pm



James Stukes MY question is " why does the WLA VA lease land to organizations like UCLA while there are so many homeless veterans here?". Homeless people tend to need the most Medical attention because of their environment

Ending their homelessness might actually ease the load at the hospital.

Unlike · Reply · 1 · September 30 at 1:53pm



VA West Los Angeles Master Plan Thank you for participating. Please excuse the long post but your question is an important one. Through the ongoing Master Planning process, we are evaluating the best use of the campus to ensure it is Veteran focused moving forward. The Principles Agr... See More

Like · Reply · Commented on by Andrea Campbell (?) · 38 mins



Jean Clinton Good question James Stukes

Unlike · Reply · 1 · September 30 at 4:01pm



Alice Venegas Help our Veterans! !

Unlike · Reply · 1 · September 30 at 4:55pm



VA West Los Angeles Master Plan Thanks all for your interest. Please be sure to comment on <http://www.helpouselavets.com/survey>. Your input is needed.



Help House LA Vets

The Master Plan is an action to help end homelessness among veterans in Los Angeles. As part of that goal,...

HELPHOUSELAVETS.COM

Unlike · Reply · Remove Preview · 1 · Commented on by Andrea Campbell (?) · September 30 at 5:54pm · Edited



Kava US Are you sure help ?

Like · Reply · September 30 at 9:20pm



Kawika David Muca When do I move in..in about to be homeless. .lol

Like · Reply · Yesterday at 8:30am



Parker Lydia Work with them,help them get back on track.

Like · Reply · 16 hrs



Rodney Rowe All good. Should be the decision of the veteran, not some panel of WLA citizens who have an agenda that some pushes the veterans to the side.

Like · Reply · 15 hrs



Rosemarie Lorraine Ranallo Please help our homeless Veterans .

Like · Reply · 15 hrs



L Hernandez Esp Please 'please help the veterans - have a heart

Like · Reply · 5 hrs



Write a comment..



VA Master Plan LA Retweeted



Sheila Kuehl [redacted] · Aug 3

Share your vision for the West Los Angeles VA campus and #HelpHouseLAVets - kueh.ly/LAVets

🔄 2 ★ 2 ...

VA Master Plan LA Retweeted



Francisco [redacted] · Aug 4

Sign up for updates on the West LA VA Master Plan. I just joined. Let's #HelpHouseLAVets! helphouselavets.com/join?recruiter...

🔄 1 ★ 1 ...

VA Master Plan LA Retweeted



S Debra Evans [redacted] · Aug 3

House'm All!! RT @SheilaKuehl: Share your vision for the West Los Angeles VA campus and #HelpHouseLAVets - kueh.ly/LAVets

🔄 2 ★ 2 ...

VA Master Plan LA Retweeted



John Ismay [redacted] · Sep 1

LA Mayor @ericgarcetti says city won't end veteran homelessness by 2016 scpr.org/news/2015/09/0... cc @LAHomeless @VAMasterPlanLA @HomeForGoodLA

🔄 4 ★ 2 ...

[View summary](#)

VA Master Plan LA Retweeted

westside.com

Westside Today [redacted] · Aug 7

. @SenFeinstein @SenatorBoxer & @RepTedLieu are calling for additional #veteran housing: ow.ly/QDg6O @VAMasterPlanLA

🔄 1 ★ 1 ...

VA Master Plan LA Retweeted



Aspiration [redacted] Aug 5

Critical work being done here in LA to address Veteran homeless:
helphouselavets.com #HelpHouseLAVets #Veterans



TOWN HALL MEETINGS

| | |
|--------------|--------------------|
| Town Hall #1 | June 23, 2015 |
| Town Hall #2 | July 23, 2015 |
| Town Hall #3 | August 20, 2015 |
| Town Hall #4 | September 17, 2015 |

COMMUNITY MEETINGS

| | |
|-------------------|-----------------|
| Plaintiff | June 17, 2015 |
| VSO | July 14, 2015 |
| Mr Rosbrock | July 17, 2015 |
| Westwood | July 21, 2015 |
| West LA | July 22, 2015 |
| Pacific Palisades | July 23, 2015 |
| Brentwood | July 28, 2015 |
| Homeless Summit | August 19, 2015 |

ELECTED OFFICIALS MEETINGS

| | |
|-------------------|---------------|
| Congressman Lieu | July 14, 2015 |
| LA Mayor Garcetti | July 28, 2015 |

OPEN HOUSES

| | |
|---------------|-----------------|
| Open House #1 | July 21, 2015 |
| Open House #2 | July 28, 2015 |
| Open House #3 | August 4, 2015 |
| Open House #4 | August 11, 2015 |
| Open House #5 | August 18, 2015 |
| Open House #6 | August 25, 2015 |

USER GROUP MEETINGS

| | |
|---------------------------------|-----------------|
| Outreach and Community Planning | June 24, 2015 |
| Building 209 | July 1, 2015 |
| New Directions | July 8, 2015 |
| Blue Butterfly | July 9, 2015 |
| Inpatient | July 28, 2015 |
| Leadership Group | July 29, 2015 |
| Mental Health | August 6, 2015 |
| Environmental Services | August 6, 2015 |
| Dietary | August 12, 2015 |
| Emergency Services | August 13, 2015 |
| Patient Advisory Council | August 13, 2015 |
| Domiciliary | August 26, 2015 |
| Outpatient | August 26, 2015 |
| Welcome Center | August 27, 2015 |

Women's Veteran Services
Security
Home Health

August 27, 2015
September 2, 2015
September 16, 2015



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Urban Master Plan Contractor Community Kick Off

COMMENTS

Your comments are important to us! Please return this sheet to the comment box or any staff member. You can also submit a comment via email to info@WestLAVAMasterPlan.com or by calling the project hotline at (310) 494-0116.

1. What is your preferred method of contact?

- Text Message Phone Call All of the above
 Mail Email

2. I am one of the following:

- Elected Official General Public **STAKEHOLDER**
 Veteran Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?

ONE OF THE MEMBERS OF THE BRENTWOOD VILLAGE COMMERCIAL DISTRICT. (A PROPERTY OWNER.)

4. Comments/feedback (continue on other side, if needed):

IF THE VA PARKING LOT IN THE 200 BLOCK OF SOUTH BARRINGTON PLACE IS CLOSED TO THE PUBLIC THE BRENTWOOD VILLAGE COMMERCIAL DISTRICT WILL COLLAPSE. IF WE ARE ALLOWED TO SURVIVE I THINK WE CAN PROVIDE A VETERAN-FRIENDLY ATMOSPHERE TO OUR WOUNDED WARRIORS.

Please fill out the contact information below:

Name: **STEPHEN H. MCCINTOCK**

Organization/Company (if any): **PROPERTY OWNER**

Address: **[REDACTED]**

City/State/Zip Code: **LOS ANGELES, CA 90048**

Phone: **[REDACTED]** Email: **[REDACTED]**

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 Mail Email

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 Veteran Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?

P/S DREAMER THE BARBER IS MEAN AS HELL KICK HIM OUT
 NEW DIRECTIONS BLDG 116 IS CHICKEN SHIT ASS HOLES
 VIET NAM 2 HONORABLE DISCHARGES
 CU BA I HAVE EXTREME PAIN FROM COMBAT
 SEAL I AM NOW HOMELESS ON THE STREET @ 72 YEARS OLD
 SNIPER THE FIRE THE BLACK SUPERVISOR

4. Comments/feedback (continue on other side, if needed):

FIRE THE BLACK SUPERVISOR
 NEW DIRECTIONS 3RD FLOOR PROGRAM, SHOULD BE SHOT DOWN, I WAS WAITING FOR VASH HOUSING, THEY KICKED ME OUT

Please fill out the contact information below:

Name: BRIAN WILKINSON 813 / 231ST WEST
 Organization/Company (if any): SLEEPING IN THE DESERT
 Address: [REDACTED]
 City/State/Zip Code: LANCASTER, CA 93534
 Phone: [REDACTED] Email: [REDACTED]

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 Mail Email

2. I am one of the following:

- Elected Official General Public
 Veteran Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process?
If so, which one(s)?

NO

4. Comments/feedback (continue on other side, if needed):

I AM a young veteran. I want to speak. I need help. PTSD therapy. I almost killed myself yesterday. Why won't anyone help me? The life of a veteran is more important ~~than~~ than a dilapidated church!!

Please fill out the contact information below:

Name: Robert Rojas
Organization/Company (if any): Veteran
Address: [REDACTED]
City/State/Zip Code: Los Angeles, CA ~~40551~~ 90073
Phone: [REDACTED] Email: [REDACTED]

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1. What is your preferred method of contact?

Text Message Phone Call All of the above

Mail Email

2. I am one of the following:

Elected Official General Public

Veteran Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?

not at this time

4. Comments/feedback (continue on other side, if needed):

Can we have meetings with no time limits on our views. 30 seconds is not enough,

Please fill out the contact information below:

Name:

REX Kern

Organization/Company (if any):

Address:

City/State/Zip Code:

Marina Del Rey CA 90292

Phone:

Email:

Urban Master Plan Contractor Community Kick Off

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Text Message

Phone Call

All of the above

Mail

Email

2. I am one of the following:

Elected Official

General Public

Veteran

Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?

Kto

UCLA Daily Bruin

4. Comments/feedback (continue on other side, if needed):

Contact information of Vince Cane and Cynthia from HOK.

Please fill out the contact information below:

Name:

Sierra deSouza

Organization/Company (if any):

UCLA Daily Bruin Reporter

Address:

[Redacted]

City/State/Zip Code:

Glendale, CA 91201

Phone:

[Redacted]

Email:

[Redacted]



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Elected Official

General Public

Veteran

Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?

Fisher House - ?

4. Comments/feedback (continue on other side, if needed):

*WHAT IS THE STATUS OF
THE UCLA BASEBALL FIELD,
PARKING LOTS NEAR POST OFFICE,
BRENTWOOD SCHOOL + DOG PARK. ??*

Please fill out the contact information below:

Name:

Scott Schaffer

Organization/Company (if any):

[Redacted]

Address:

LA CA 90089

City/State/Zip Code:

Phone:

[Redacted]

Email:

[Redacted]

*please
response?*

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 Mail Email

2. I am one of the following:

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 Veteran Media

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4. Comments/feedback (continue on other side, if needed):

The Campus Barber - the freedom Barber talks to these folks everyday 700 haircuts a month. Trying to do good things - He would like to offer his help to communicate w/ the Veterans - Insight - from his point of view they are more forthcoming w/ him.

Please fill out the contact information below:

Name: Dreamer
Organization/Company (if any): Trailer - Freedom
Address: _____
City/State/Zip Code: _____
Phone: [REDACTED] Email: _____

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 Veteran Media

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If so, which one(s)?

In working for CM Bonin, several community groups are vocalizing interest in veteran home business, etc.

4. Comments/feedback (continue on other side, if needed):

• would be helpful to have power point & other handouts online for scoping purposes - timelines future meetings, etc. also helpful for greater community reach & input

Please fill out the contact information below:

Name: Sharon Shapiro

Organization/Company (if any): Councilman Mike Bonin

Address: _____

City/State/Zip Code: _____

Phone: _____ Email: _____

Urban Master Plan Contractor Community Kick Off

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 Mail Email

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 Veteran Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?

Westside Breakers
FC Los Angeles Soccer Clubs

4. Comments/feedback (continue on other side, if needed):

We are willing to discuss ways to help veterans with ~~the~~ recreational opportunities.

Please fill out the contact information below:

Name: Mike Page
Organization/Company (if any): Westside Breakers + FC Los Angeles Soccer Clubs
Address: [REDACTED]
City/State/Zip Code: Pacific Palisades, CA 90272
Phone: [REDACTED] Email: [REDACTED]

Urban Master Plan Contractor Community Kick Off

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- Text Message Phone Call All of the above
 Mail Email

2. I am one of the following:

- Elected Official General Public
 Veteran Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?

4. Comments/feedback (continue on other side, if needed):

Please fill out the contact information below:

Name: Carolina M. Barrie

Organization/Company (if any): _____

Address: _____

City/State/Zip Code: Pacific Palisades, Ca. 90272

Phone: _____ Email: _____

Urban Master Plan Contractor Community Kick Off

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1. What is your preferred method of contact?

- Text Message Phone Call All of the above
 Mail Email
- 213-505-7742*

2. I am one of the following:

- Elected Official General Public
 Veteran Media
- CHIEF OF STAFF*
CM KORETZ
SDS

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?

Want to be engaged and involved on behalf of Councilman / city of LA. Will form committee to help w/ outreach and Vet needs.

4. Comments/feedback (continue on other side, if needed):

Presentation - well done. Restore Chapel first, will show good faith (no pun intended)
Listening to Vets is Key.

**Please get Mr. Frank Station a new wheelchair.*

Please fill out the contact information below:

Name: JOAN PELICO

Organization/Company (if any): CDS TO CM KORETZ

Address: [REDACTED]

City/State/Zip Code: L.A. CA

Phone: [REDACTED] Email: [REDACTED]

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 Mail Email

2. I am one of the following:

- Elected Official General Public
 Veteran Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?

Veterans Preservation Corps

4. Comments/feedback (continue on other side, if needed):

Please fill out the contact information below:

Name: *Timothy John Duffy*

Organization/Company (if any): *Preservation ARTS*

Address: [REDACTED]

City/State/Zip Code: *Los Angeles, CA 90034*

Phone: [REDACTED] Email: [REDACTED]

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 Veteran Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?

LA Veterans Collaborative - USC facilitated
211 LA County - 24/7 information & referral non profit
City of LA Mayor's Advisory Council

4. Comments/feedback (continue on other side, if needed):

Outreach & communication for engagement needs to be robust! I found out about this last minute - nothing circulated by general/regular notification channels to community

Please fill out the contact information below:

Name: Maribel Marin

Organization/Company (if any): 211 LA County

Address: [REDACTED]

City/State/Zip Code: San Gabriel CA 91776

Phone: [REDACTED] Email: [REDACTED]

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Veterans Service Org. - LOCAL & STATE
Community Grp - Hollywood, W LA, Culver City, etc
VA Group - Patient VSO, Other
AL., Amvets, DAV, VFW

4. Comments/feedback (continue on other side, if needed):

Fix problems & begin finding how it can be done soon

Please fill out the contact information below:

Name: Elizabeth Shaddix

Organization/Company (if any): 40/8 - Calif VAHS Director

Address: [REDACTED]

City/State/Zip Code: LA, CA 90004

Phone: [REDACTED] Email: [REDACTED]

Urban Master Plan Contractor Community Kick Off

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Phone Call

All of the above

Mail

Email

2. I am one of the following:

Elected Official

General Public

Veteran

Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?

V.S.C. VETERANS COLLABORATIVE

4. Comments/feedback (continue on other side, if needed):

Please fill out the contact information below:

Name:

Herschel Cosby

Organization/Company (if any):

WLA DOMICILIARY SFC

Address:

City/State/Zip Code:

Los Angeles, CA 90073

Phone:

Email:

Urban Master Plan Contractor Community Kick Off

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 Veteran Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?

4. Comments/feedback (continue on other side, if needed):

Information concerning Townhall meetings
should be presented much sooner.
Time, Date and place

Please fill out the contact information below:

Name: CAROLYN T. WILLIAMS

Organization/Company (if any): Dept of Veterans Affairs WLA VA

Address: [REDACTED]

City/State/Zip Code: L.A. CA. 90073

Phone: [REDACTED] Email: [REDACTED]



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 Mail Email

2. I am one of the following:

- Elected Official General Public
 Veteran *Staff* Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?

Community members + Rep Ted Lieu's constituents

4. Comments/feedback (continue on other side, if needed):

Name: Lisa Pinto Please fill out the contact information below:

Organization/Company (if any): Rep. Ted Lieu

Address: [REDACTED]

City/State/Zip Code: Los Angeles

Phone: [REDACTED] Email: [REDACTED]

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Phone Call

All of the above

Mail

Email

2. I am one of the following:

Elected Official

General Public

Veteran

Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process?
If so, which one(s)?

Yes!
AMERICAN Legion
FLEET RESERVE ASSN
L.A. NATIONAL CEMETERY

*DOB - 896R
NAVY LEAGUE*

4. Comments/feedback (continue on other side, if needed):

Please fill out the contact information below:

Name:

ERNEST S. COWELL

Organization/Company (if any):

Alto Post 283

Address:

[REDACTED]

City/State/Zip Code:

MARINA DEL REY, CA, 90292-7212

Phone:

[REDACTED]

Email:

[REDACTED]

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Text Message

Phone Call

All of the above

Mail

Email

2. I am one of the following:

Elected Official

General Public

Veteran

Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?

AMVETS, VVA

4. Comments/feedback (continue on other side, if needed):

Please fill out the contact information below:

Name: LARRY WILLIAMS

Organization/Company (if any): NEW DIRECTIONS

Address: [REDACTED]

City/State/Zip Code: 90066

Phone: [REDACTED] Email: [REDACTED]

Urban Master Plan Contractor Community Kick Off

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 Mail Email

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 Veteran Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?

VAREP
Veteran Association Real Estate Professionals

4. Comments/feedback (continue on other side, if needed):

Ready to Engage

Please fill out the contact information below:

Name: T. Duwon Glenn

Organization/Company (if any): U.S. Bank + VAREP

Address: _____

City/State/Zip Code: _____

Phone: _____ Email: _____

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 Mail Email

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 Veteran Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?

No

4. Comments/feedback (continue on other side, if needed):

Please fill out the contact information below:

Name: FREDERICK MALCOLM

Organization/Company (if any): VET

Address: [REDACTED]

City/State/Zip Code: _____

Phone: [REDACTED] Email: [REDACTED]

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 Veteran Media

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If so, which one(s)?

UNITED NATIONS ASSOCIATIONS - BEVERLY HILLS CHAPTER

4. Comments/feedback (continue on other side, if needed):

WE WERE ONLY NOTIFIED 5 DAYS PRIOR TO THIS MTG. (UNACCEPTABLE)
WE ARE WATCHING VERY CLOSELY. PLEASE MAKE US PROUD.

Please fill out the contact information below:

Name: Richard Davis
Organization/Company (if any): UNITED NATIONS ASSOC BEVERLY HILLS
Address: [REDACTED]
City/State/Zip Code: LOS ANGELES CA 90049
Phone: [REDACTED] Email: [REDACTED]

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 Veteran Media

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If so, which one(s)?

AM VET Post II Culver City
DAV

4. Comments/feedback (continue on other side, if needed):

Please fill out the contact information below:

Name: SALVATORE GRAMMATICO
Organization/Company (if any): AM VET Post II
Address: [REDACTED]
City/State/Zip Code: Culver City Ca 90230
Phone: _____ Email: _____



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- Text Message Phone Call All of the above
 Mail Email

2. I am one of the following:

- Elected Official General Public VA employee
 Veteran Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?

4. Comments/feedback (continue on other side, if needed):

- please provide pens along with comment sheets for those who don't have them... but do have comments
- More marketing in the future - seemed like lots of stakeholders had not heard of event

Please fill out the contact information below: **UNTIL LAST MINUTE**

Name: _____

Organization/Company (if any): _____

Address: _____

City/State/Zip Code: _____

Phone: _____ Email: _____

Urban Master Plan Contractor Community Kick Off

COMMENTS

Your comments are important to us! Please return this sheet to the comment box or any staff member. You can also submit a comment via email to info@WestLAVAMasterPlan.com or by calling the project hotline at (310) 494-0116.

1. What is your preferred method of contact?

- Text Message Phone Call All of the above
 Mail Email

2. I am one of the following:

- Elected Official General Public
 Veteran Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?

Westside Breakers Soccer Club
F.C.L.A. Soccer Club

4. Comments/feedback (continue on other side, if needed):

We have leased Macarthur Field for our non-profit soccer organization for 14+ years. We would like to be included in the planning process and offer any help possible.

Please fill out the contact information below:

Name: Gary Clouse
Organization/Company (if any): Westside Breakers Soccer Club
Address: [REDACTED]
City/State/Zip Code: Los Angeles 90045
Phone: [REDACTED] Email: [REDACTED]

Urban Master Plan Contractor Community Kick Off

COMMENTS

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1. What is your preferred method of contact?

Text Message

Phone Call

All of the above

Mail

Email

2. I am one of the following:

Elected Official

General Public

Veteran

Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?

4. Comments/feedback (continue on other side, if needed):

Please fill out the contact information below:

Name: Wally Lofty

Organization/Company (if any): DAV

Address: [REDACTED]

City/State/Zip Code: LA / CA 90073

Phone: [REDACTED] Email: [REDACTED]



Defining
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Urban Master Plan Contractor Community Kick Off

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- Text Message Phone Call All of the above
 Mail Email

2. I am one of the following:

- Elected Official General Public
 Veteran Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?

Anka Behavioral Health

4. Comments/feedback (continue on other side, if needed):

Significant issues need to be addressed to meet the housing, medical and psychological needs of the veterans represented in this area.

Please fill out the contact information below:

Name: Don Windham

Organization/Company (if any): Anka Bhi. Org

Address: [REDACTED]

City/State/Zip Code: _____

Phone: [REDACTED] Email: [REDACTED]



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 Mail Email

2. I am one of the following:

- Elected Official General Public
 Veteran Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?

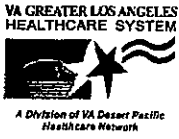
yes, I'm the supervisor of the Disabled American Veterans.

4. Comments/feedback (continue on other side, if needed):

I think this was a good beginning.

Please fill out the contact information below:

Name: Thomas Wendel
 Organization/Company (if any): Disabled American Veterans
 Address: [REDACTED]
 City/State/Zip Code: Los Angeles, CA 90024
 Phone: [REDACTED] Email: [REDACTED]



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- Text Message Phone Call All of the above
 Mail Email

2. I am one of the following:

- Elected Official General Public
 Veteran Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?

4. Comments/feedback (continue on other side, if needed):

when addressing homeless vets its important to prioritize those who are chronically homeless and most vulnerable & provide permanent supportive housing.

Please fill out the contact information below:

Name: _____

Organization/Company (if any): _____

Address: _____

City/State/Zip Code: _____

Phone: _____ Email: _____

Urban Master Plan Contractor Community Kick Off

COMMENTS

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1. What is your preferred method of contact?

- Text Message Phone Call All of the above
 Mail Email

2. I am one of the following:

- Elected Official General Public
 Veteran Media

Brentwood News, a local paper.

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?

As editor and publisher of the Brentwood News, I've been covering local VA issues for decades. Though I don't belong to any particular groups, I've talked to almost everyone involved and understand the different positions.

4. Comments/feedback (continue on other side, if needed):

I think there are a lot of compromises and tradeoffs that can be achieved that will be of the "win-win" variety. Everyone can come out ahead here. I applaud the new direction and wish you luck. I would love to help if you would find that helpful. I hope

Name: Jeff Hall Please fill out the contact information below: *you will call me.*

Organization/Company (if any): Brentwood News

Address: _____

City/State/Zip Code: 90049

Phone: [REDACTED] Email: [REDACTED]

Urban Master Plan Contractor Community Kick Off

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- Text Message Phone Call All of the above
 Mail Email

2. I am one of the following:

- Elected Official General Public
 Veteran Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process?
If so, which one(s)?

YES, DISABLED AMERICAN VETERANS, DEPARTMENT OF CALIFORNIA
LEGISLATIVE DIRECTOR.

4. Comments/feedback (continue on other side, if needed):

AS VINCE KRANE INDICATED FUTURE TOWN HALLS TO BE OF A MORE
FOCUSED GROUP BASED.

Please fill out the contact information below:

Name: RICHARD A. VALDEZ

Organization/Company (if any): DISABLED AMERICAN VETERANS

Address: [REDACTED]

City/State/Zip Code: HIGHLAND, CA 92346

Phone: [REDACTED] Email: [REDACTED]

Urban Master Plan Contractor Community Kick Off

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- Text Message Phone Call All of the above
 Mail Email

2. I am one of the following:

- Elected Official General Public
 Veteran Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?

DAV - Chapter 13, Camp Kearney Van Nuys
(Serving and protecting Veterans for 91 years)

Valley Forge Director

OLG Seg - Old Granada Hills Residents Group - Granada Hills South
Neighborhood Council

4. Comments/feedback (continue on other side, if needed):

Approach the Master Plan with out preconceived notions -
Do your own research -
IMMEDIATE ACTIONS - - -
Interim - Actions - - -
Long term - Actions - - -

Please fill out the contact information below:

Name: ERNEST HILG

Organization/Company (if any): DAV Chapter 13 Van Nuys EPS

Address: [REDACTED]

City/State/Zip Code: NOVATO HILLS, CA 91345

Phone: [REDACTED] Email: [REDACTED]

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1. What is your preferred method of contact?

Text Message

Phone Call

All of the above

Mail

Email

2. I am one of the following:

Elected Official

General Public

Veteran

Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?

Calif *American GI Forum; EHA - American Legion Adjutant;*
Disabled Veterans Business Enterprises
Advisory Council; National Education Advocacy
and Training

4. Comments/feedback (continue on other side, if needed):

Please fill out the contact information below:

Name:

Howard Hernandez

Organization/Company (if any):

AGIF; NEAT

Address:

[Redacted]

City/State/Zip Code:

Mirtebello, CA 90640

Phone:

[Redacted]

Email:

[Redacted]

Urban Master Plan Contractor Community Kick Off

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1. What is your preferred method of contact?

- Text Message *OR* Phone Call *OR* All of the above
 Mail Email

2. I am one of the following:

- ~~Elected Official~~ ^{APPOINTED} General Public WIFE / FULL-TIME CAREGIVER TO
 VETERAN AFFAIRS COMMISSION Veteran Media ASSOC. OF VIETNAM VETERANS OF AMERICA - SA BAY LIAISON
300% S/C DISABLED VETERAN

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?

- 1) CITY OF HAWTHORNE VETERANS AFFAIRS COMMISSION,
 2) NUMEROUS ONLINE GROUPS FOR VETERAN CAREGIVERS/
 3) ASSOC. OF VIETNAM VETERANS OF AMERICA SPOUSES*

4. Comments/feedback (continue on other side, if needed):

A. THERE SHOULD BE AN ON-SITE TRAINING FACILITY FOR SERVICE DOGS - USE FORMER MWD TRAINERS/HANDERS WORKING WITH CERTIFIED SERVICE DOG TRAINERS TO TRAIN DOGS FOR MOBILITY, MEDICAL ALERT, PTSD, ETC. - USE LONG-TERM RESIDENTS TO SOCIALIZE THE DOGS, ETC, WHICH WILL ENHANCE THE VETERANS' RECOVERY AS WELL AS TEACH THEM A TRADE. FULLY TRAINED/CERTIFIED ->

Please fill out the contact information below:

Name: KYLE ORLEMANN
 Organization/Company (if any): HAWTHORNE VETERANS AFFAIRS COMMISSION, AVVA
 Address: [REDACTED]
 City/State/Zip Code: HAWTHORNE, CA, 90250
 Phone: [REDACTED] Email: [REDACTED]

SERVICE DOGS CAN THEN BE PLACED WITH VETERANS BEING TREATED ON THIS CAMPUS. THIS WILL ELIMINATE THE CURRENT PROBLEMS WITH @ 5 YEAR WAIT LISTS TO GET A SERVICE DOG, AND ENHANCE QUALITY CONTROL OF THE DOGS AND THEIR ^{TRAINING} VETERAN HANDLER TEAM BUILDING. THIS WOULD ALSO ~~FACILITATE~~ ^{FACILITATE} RESEARCH ON THE HUGE BENEFITS OF MATCHING DISABLED VETS W/ SERVICE DOGS -

BRING THIS WHOLE PROCESS ON-CAMPUS

B. THERE IS A NEED FOR A CENTER WHERE "VA #101" WOULD BE TAUGHT. MANY ^{CIVILIAN} SPOUSES, PARENTS, SIBLINGS, ETC. COME HERE FOR THE FIRST TIME WITH NO KNOWLEDGE WHATSOEVER OF THE MILITARY OR THE VA SYSTEM. IT IS INTIMIDATING, AND IT TAKES YEARS TO LEARN WITHOUT GUIDANCE; IN THE MEANTIME, THEIR VETERAN GOES WITHOUT NEEDED SERVICES BECAUSE OF IGNORANCE ON THEIR CAREGIVERS' PART. THE FAMILY MEMBERS MUST BECOME PART OF THE CARE TEAM! THAT WILL ENHANCE FAMILY RELATIONSHIPS & DECREASE SUICIDE & HOMELESSNESS. A FAMILY CENTER, STAFFED BY EXPERIENCED PEOPLE WHO SPEAK "CIVILIAN" WOULD TRULY HELP TO EDUCATE THOSE OF US WHO CARE FOR OUR VETS, BUT HAVE NO KNOWLEDGE OF THIS SYSTEM. TEACH US!

Urban Master Plan Contractor Community Kick Off

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1. What is your preferred method of contact?

- Text Message Phone Call All of the above
 Mail Email

2. I am one of the following:

- Elected Official General Public
 Veteran Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process?
If so, which one(s)?

Yes

4. Comments/feedback (continue on other side, if needed):

Women too
vet
Recognition

focus on needs of women veterans
women focus facilities away from
men.

Please fill out the contact information below:

Name: Judy Leonard

Organization/Company (if any): _____

Address: _____

City/State/Zip Code: Making Del Rey

Phone: _____ Email: _____

Neglected

1000s

Woman focus facilities

Cramped.

no extra space

Woman vet advisor on master plan

Urban Master Plan Contractor Community Kick Off

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 Mail Email

2. I am one of the following:

- Elected Official General Public
 Veteran Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?

Brentwood BID
Brother is 6 year Navy Vet
We spend a lot of time at the VA
Brother has mental & physical disabilities

4. Comments/feedback (continue on other side, if needed):

Even though our veterans have been harshly neglected, we hope the VA planners and officials will be understanding of and respectful of the 50+ year history the VA has had with the surrounding community, and that provisions can be incorporated to enable us to keep our parking lot (270+ cars) as our business district which serves the larger community will collapse. Veterans are my first concern. see #3 above. one more idea for your meetings: separate →

Please fill out the contact information below:

Name: Marcie Poler Swartz

Organization/Company (if any): Barrington Pl. Group LLC

Address: [REDACTED]

City/State/Zip Code: Los Angeles, CA

Phone: [REDACTED] Email: [REDACTED]

The meetings for the community. They are so hurt and angry (the vets) (justifiably so) but we did not feel comfortable speaking in the face of their pain.

Best,

Maurice P. Sandy



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6/23/15

(Not for public posting.)

Urban Master Plan Contractor Community Kick Off

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1. What is your preferred method of contact?

- Text Message Phone Call All of the above
 Mail Email

2. I am one of the following:

- Elected Official General Public
 Veteran Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?

- Please also review the San Vicente Scenic Corridor Design Review for compatibility considerations.

4. Comments/feedback (continue on other side, if needed)

Have previously participated on the ^{two} master planning and CARES planning processes as a community leader and Chair of the Brentwood Community Council. Please review the most recent WLA VA master plan that was developed with veteran and community input. Important mitigation measures were identified.

Please fill out the contact information below:

Name: Flora Gil Krisiloff

Organization/Company (if any): community member

Address: [REDACTED]

City/State/Zip Code: Los Angeles, CA 90049

Phone: [REDACTED] Email: [REDACTED]

Thank you for this transparent and inclusive process!!



West Los Angeles VA Master Plan

COMMENTS

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1. What is your preferred method of contact?

- Text Message Phone Call All of the above
- Mail Email

2. I am one of the following:

- Elected Official General Public
- Veteran Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)? NO

4. We want to hear from you. Please share your comments and ideas for the Master Plan. What needs would you like considered in plans for new housing? What services and amenities for Veterans would you like to see incorporated? What needs to be improved? What will make this property an even more welcoming and supportive place for our Veterans in the future? (continue on other side, if needed):

In house Re-Careering Program for Veterans and homeless Vets. New trades that are in demand in the IT Field. Also, resources or transitional apartments that have some income, but stuck beaws of the red tape not qualifying for HUDVASH or RAPID REHOUSING. I am the guy stuck in the middle. Currently homeless and some of us just need a leg up.

Please fill out the contact information below:

Name: David Bustos

Organization/Company (if any): _____

Address: _____

City/State/Zip Code: Cudahy, CA 90201

Phone: _____ Email: _____

**Veterans Homeless Town Hall Co-
Hosted by the Honorable Hilda
Solis -8/20/15**

El Monte Community Center 3130 N Tyler Ave. El
Monte, CA 91731



HELP. HOUSE. HEAL.

West Los Angeles VA Master Plan

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- Text Message
- Phone Call
- All of the above
- Mail
- Email

2. I am one of the following:

- Elected Official
- General Public
- Veteran
- Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process?

If so, which one(s): *Veterans of Foreign Wars (VFW), Team RWB, The Mission Continues, IAVA, Veterans in Film & Television, Am Legion Post 631, Paralyzed Veterans of America,*

4. We want to hear from you. Please share your comments and ideas for the Master Plan. What needs would you like considered in plans for new housing? What services and amenities for Veterans would you like to see incorporated? What needs to be improved? What will make this property an even more welcoming and supportive place for our Veterans in the future? (continue on other side, if needed):

Housing for female veterans w/ male children over 12, LGBT Veterans community center, Fitness Center for all veterans, regardless of their limitations, pool computer center, job center to help veterans become computer competent, job ready, Wi-Fi available throughout the campus, garden/nature center/park, holistic classes for management of physical, emotional, & spiritual well-being, 1-2 night bed 4 veterans that are traveling thru area/here for appointments, housing for veterans who are battling addiction/substance or alcohol abuse

Please fill out the contact information below:

Name: Tracey L. Cooper-Harris

Organization/Company (if any): _____

Address: _____

City/State/Zip Code: Los Angeles / CA / 90041

Phone: _____ Email: _____



HELP. HOUSE. HEAL.

West Los Angeles VA Master Plan

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- Mail Email

2. I am one of the following:

- Elected Official General Public
- Veteran Media

Mental Health.

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?:

Non profit CMHC California Mental Health Connection

4. We want to hear from you. Please share your comments and ideas for the Master Plan. What needs would you like considered in plans for new housing? What services and amenities for Veterans would you like to see incorporated? What needs to be improved? What will make this property an even more welcoming and supportive place for our Veterans in the future? (continue on other side, if needed):

- 1- the importance of connect to appropriate services
- 2- My step father is a veteran; we will provide mental health services in the San Gabriel area to Veterans in need.
- 3- We will donate windows, doors & things for Veterans homes.

Please fill out the contact information below:

Name: Elisa K. Jimenez

Organization/Company (if any): California Mental Health Connection

Address: [Redacted]

City/State/Zip Code: Baldwin Park CA 91706

Phone: [Redacted] Email: [Redacted]



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West Los Angeles VA Master Plan

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- Text Message Phone Call All of the above
- Mail Email

2. I am one of the following:

- Elected Official General Public
- Veteran Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?

AMERICAN Legion Post 631 L.A

4. We want to hear from you. Please share your comments and ideas for the Master Plan. What needs would you like considered in plans for new housing?. What services and amenities for Veterans would you like to see incorporated? What needs to be improved? What will make this property an even more welcoming and supportive place for our Veterans in the future? (continue on other side, if needed):

1-2 + 3 Bedroom housing "FOR VETERANS"
 MAKE OR FEMALE
 A REAL TRAUMA CENTER FOR MST
 Make or Female!! SETTLE CLAIMS
 We were NOT SICK when we RAISED our hands!

Please fill out the contact information below:

Name: RUTH HARRIS

Organization/Company (if any): L.A. Womens Post 631

Address: [REDACTED]

City/State/Zip Code: Inglewood, CA 90305

Phone: [REDACTED] Email: [REDACTED]



HELP. HOUSE. HEAL.

West Los Angeles VA Master Plan

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- Text Message
- Phone Call
- All of the above
- Mail
- Email

2. I am one of the following:

- Elected Official
- General Public
- Veteran
- Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?

Amerk Legion 631

4. We want to hear from you. Please share your comments and ideas for the Master Plan. What needs would you like considered in plans for new housing? What services and amenities for Veterans would you like to see incorporated? What needs to be improved? What will make this property an even more welcoming and supportive place for our Veterans in the future? (continue on other side, if needed):

CAN THE VA ALLOW THE MONIES FOR VETERANS FOR GRANTS TO BE USED BY VET/CIVILIAN TO ASSIST VETERANS ON THE VA PROPERTY IN VARIOUS WAYS.

Please fill out the contact information below:

Name: Jeffalyn Giles

Organization/Company (if any): Amerk LEGION

Address: [REDACTED]

City/State/Zip Code: LA CA 90043

Phone: [REDACTED] Email: [REDACTED]



HELP. HOUSE. HEAL.

West Los Angeles VA Master Plan

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- Veteran Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s): AMERICAN LEGION

4. We want to hear from you. Please share your comments and ideas for the Master Plan. What needs would you like considered in plans for new housing? What services and amenities for Veterans would you like to see incorporated? What needs to be improved? What will make this property an even more welcoming and supportive place for our Veterans in the future? (continue on other side, if needed):

HOW IS H.O.K. GOING TO SUPPORT THE BUILD'G OF/ON VA PROPERTY FOR US/VETS EFFECTIVELY IF THERE IS NO DISCLOSURE OF FINANCES, WHEN THE V.A. SETTLED WITH THE COURT. IT'S NO FULL DISCLOSURE? WHEN PROBLEMS OCCUR, HOW/WHEN WILL H.O.K. SUPPORT BLDG MATTERS AFTER ^{STRUCTURAL} COMPLETION

Please fill out the contact information below:

Name: JEFFALYN GILES

Organization/Company (if any): Amer Legion

Address: [REDACTED]

City/State/Zip Code: Los Angeles CA 90043

Phone: [REDACTED] Email: [REDACTED]



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West Los Angeles VA Master Plan

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2. I am one of the following:

- Elected Official General Public
- Veteran Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?:

would love to volunteer

4. We want to hear from you. Please share your comments and ideas for the Master Plan. What needs would you like considered in plans for new housing?. What services and amenities for Veterans would you like to see incorporated? What needs to be improved? What will make this property an even more welcoming and supportive place for our Veterans in the future? (continue on other side, if needed):

Please fill out the contact information below:

Name: Martha C. Leone

Organization/Company (if any): _____

Address: _____

City/State/Zip Code: _____

Phone: _____ Email: _____



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2. I am one of the following:

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- Veteran Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?:

4. We want to hear from you. Please share your comments and ideas for the Master Plan. What needs would you like considered in plans for new housing? What services and amenities for Veterans would you like to see incorporated? What needs to be improved? What will make this property an even more welcoming and supportive place for our Veterans in the future? (continue on other side, if needed):

I believe they should have at least a 1 bedroom unit instead of small studios.

Have a swimming pool, and store.

Please fill out the contact information below:

Name: Rossana Sierra

Organization/Company (if any): _____

Address: _____

City/State/Zip Code: Long Beach CA 90810

Phone: _____ Email: _____



HELP. HOUSE. HEAL.

West Los Angeles VA Master Plan

COMMENTS

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1. What is your preferred method of contact?

- Text Message
- Phone Call
- All of the above
- Mail
- Email

2. I am one of the following:

- Elected Official
- General Public
- Veteran
- Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?:

4. We want to hear from you. Please share your comments and ideas for the Master Plan. What needs would you like considered in plans for new housing? What services and amenities for Veterans would you like to see incorporated? What needs to be improved? What will make this property an even more welcoming and supportive place for our Veterans in the future? (continue on other side, if needed):

Chapel: City wide competition to submit remodeling ideas (Engineers & architecture firms.) (Pro Bono only) Let's vote on the one they like the most. Thanks

Please fill out the contact information below:

Name: Alex Sheehy

Organization/Company (if any): VOAVA & Women's Pt Board

Address: _____

City/State/Zip Code: Santa Monica, CA

Phone: [REDACTED] Email: [REDACTED]



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- Elected Official General Public
- Veteran Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?:

4. We want to hear from you. Please share your comments and ideas for the Master Plan. What needs would you like considered in plans for new housing? What services and amenities for Veterans would you like to see incorporated? What needs to be improved? What will make this property an even more welcoming and supportive place for our Veterans in the future? (continue on other side, if needed):

I believe there is need for temporary medical board and care for assisting placement-housing needs that would teach veterans about their diagnosis, how to fill med planners, stay connected to care and learn skills to achieve least restrictive housing environment. This should be a transitional program on WLA campus.

Please fill out the contact information below:

Name: Pamela Harris

Organization/Company (if any): Mar Vista Neighborhood Association

Address: [REDACTED]

City/State/Zip Code: Los Angeles, CA 90066

Phone: [REDACTED] Email: _____



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West Los Angeles VA Master Plan

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- Text Message
- Mail
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- Email
- All of the above

2. I am one of the following:

- Elected Official
- Veteran
- General Public
- Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?:

YES, Womens Veterans

4. We want to hear from you. Please share your comments and ideas for the Master Plan. What needs would you like considered in plans for new housing?. What services and amenities for Veterans would you like to see incorporated? What needs to be improved? What will make this property an even more welcoming and supportive place for our Veterans in the future? (continue on other side, if needed):

500 More security in the lobby of to discourage female Vets from being harrassed.

Please fill out the contact information below:

Name: NIA

Organization/Company (if any): _____

Address: _____

City/State/Zip Code: _____

Phone: _____ Email: _____



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West Los Angeles VA Master Plan

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- Phone Call
- All of the above
- Mail
- Email

2. I am one of the following:

- Elected Official
- General Public
- Veteran
- Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s):

Yes Military women in need
~~Dees~~ Vets90511

4. We want to hear from you. Please share your comments and ideas for the Master Plan. What needs would you like considered in plans for new housing? What services and amenities for Veterans would you like to see incorporated? What needs to be improved? What will make this property an even more welcoming and supportive place for our Veterans in the future? (continue on other side, if needed):

Female Housing (Non-Treatment)

Please fill out the contact information below:

Name: _____

Organization/Company (if any): _____

Address: _____

City/State/Zip Code: _____

Phone: _____ Email: _____



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- Elected Official General Public
- Veteran Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?:

4. We want to hear from you. Please share your comments and ideas for the Master Plan. What needs would you like considered in plans for new housing? What services and amenities for Veterans would you like to see incorporated? What needs to be improved? What will make this property an even more welcoming and supportive place for our Veterans in the future? (continue on other side, if needed):

MWR, a real gym, beauty salon,
~~restaurant~~, small grocery store,
 restaurant, Swimming pool
 fresh veggies and fruit

Please fill out the contact information below:

Name: Rebecca Boyd

Organization/Company (if any): Domiciliary

Address: _____

City/State/Zip Code: _____

Phone: [REDACTED] Email: [REDACTED]



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West Los Angeles VA Master Plan

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- Veteran Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?:

4. We want to hear from you. Please share your comments and ideas for the Master Plan. What needs would you like considered in plans for new housing? What services and amenities for Veterans would you like to see incorporated? What needs to be improved? What will make this property an even more welcoming and supportive place for our Veterans in the future? (continue on other side, if needed):

Want a restaurant in Building 13 *
 MWR, Small food store → ^{fresh} veggie, fruits,
 Swimming pool, building gym, bus services
 off campus, regular shuttle

Please fill out the contact information below:

Name: Lidia Nahuel

Organization/Company (if any): Veterans Resources Corps

Address: _____

City/State/Zip Code: _____

Phone: [REDACTED] Email: _____



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West Los Angeles VA Master Plan

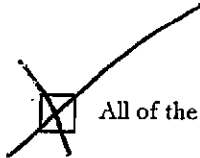
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1. What is your preferred method of contact?

Text Message

Phone Call



All of the above

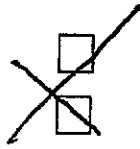
Mail

Email

2. I am one of the following:

Elected Official

General Public



Veteran

Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?:

4. We want to hear from you. Please share your comments and ideas for the Master Plan. What needs would you like considered in plans for new housing? What services and amenities for Veterans would you like to see incorporated? What needs to be improved? What will make this property an even more welcoming and supportive place for our Veterans in the future? (continue on other side, if needed):

WE NEED AN OLYMPIC SIZE SWIMMING POOL SO ALL OF OUR INJURED VETS CAN HAVE QUALITY PHYSICAL THERAPY

Please fill out the contact information below:

Name: KAREN GOATFELLOW

Organization/Company (if any): LA VETS

Address: [REDACTED]

City/State/Zip Code: LOS ANGELES, CA 90073

Phone: [REDACTED] Email: [REDACTED]



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West Los Angeles VA Master Plan

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- Mail Email

2. I am one of the following:

- Elected Official General Public
- Veteran Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)? *NO*

4. We want to hear from you. Please share your comments and ideas for the Master Plan. What needs would you like considered in plans for new housing? What services and amenities for Veterans would you like to see incorporated? What needs to be improved? What will make this property an even more welcoming and supportive place for our Veterans in the future? (continue on other side, if needed):

MORE OPPORTUNITIES FOR HOUSING, TEMPORARY HOUSING AND SERVICES, NAVY CREDIT UNION + SIMILAR VETERAN SPECIFIC RESOURCES AVAILABLE ALL IN ONE PLACE

Please fill out the contact information below:

Name: VICTORIA PAISLEY BROWN

Organization/Company (if any): VETSOURCE

Address: [REDACTED]

City/State/Zip Code: LA, CA 90073

Phone: [REDACTED] Email: [REDACTED]



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West Los Angeles VA Master Plan

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- Text Message Phone Call All of the above
- Mail Email

2. I am one of the following:

- Elected Official General Public
- Veteran Media

3. Do you participate in any community groups, veterans service organizations, non-profits that should be engaged in this process? If so, which one(s)?

Yes. Volunteers of America (Program manager)
Ride 2 Recovery

4. We want to hear from you. Please share your comments and ideas for the Master Plan. What needs would you like considered in plans for new housing? What services and amenities for Veterans would you like to see incorporated? What needs to be improved? What will make this property an even more welcoming and supportive place for our Veterans in the future? (continue on other side, if needed):

I would like to see:

- 1) Designated building for female vets for PTSD, MST, DV, CAR. Vets ^{Housing & shelters} PTSD
- 2) Out of the Box therapy approaches for MST, DV!!
Call me I have a few ideas
- 3) A lot of Adventure therapy as ~~the~~ Alternative holistic treatments.

Please fill out the contact information below:

Name: Krishna America Flores ~~XXXXXX~~

Organization/Company (if any): Volunteers of America B Veteran

Address: [REDACTED]

City/State/Zip Code: Sylmar CA 91342

Phone: [REDACTED] Email: [REDACTED]

GLA VA HCS Women Veteran Patient Advisory Council Health Services/Programs Survey

YES NO

1. Better GLA VA Campus Safety with better security, call boxes, lighting and stopping the abuse toward Women Veterans throughout the campus.

123 Yes, 6 No, 2 NR (94% Yes)

2. More Veteran Primary Care Physicians in the Women's Clinic, Clinicians, Nurses, PT, OT, Social Workers and staff. Better Continuity of Care having same Primary Care Physician instead of a new doctor each visit.

118 yes, 8 No, 5 NR (90% Yes)

3. Larger Clinic with better equipment, more/better staff, more programs and services for Women Veterans. OB/GYN at all Women's Clinics.

125 Yes, 4 No, 2 NR (95% Yes)

4. More well-trained Veteran centered Mental Health Care professionals who are better equipped to address specific needs to Women Veterans.

120 Yes, 7 No, 4 NR (92% Yes)

5. Retraining of all GLA VA Hospital/Campus staff on quality care and appropriate treatment specific to Women Veteran related issues.

120 Yes, 7 No, 4 NR (92% Yes)

6. Separate Women's Clinic and Women's Facilities with a separate entrance directly to the Women's Clinic now.

101 Yes, 25 No, 5 NR (77% Yes)

Original Health Care Survey Questions
From the GLA VA HCS Women Veteran Patient Population
Gathered by the GLA VA HCS, WOVPAC
From May 2015 to August 2015.

1. More Primary Care Physicians
2. Better understanding of issues affecting Women Veterans
3. Mental Health complete overhaul
4. Replace all corrupt staff
5. House Homeless Women Veterans
6. Veteran Benefits
7. Veteran Doctors
8. Primary Care needs more awareness
9. Get better doctors
10. More awareness of events, activities and resources for Women Veterans with children
11. Entertainment which is inclusive for Women Veterans
12. Women exclusive buildings
13. Veterans with children facilities and family focused Activities.
14. Recreational Therapy specified for Women and children
15. Community Integration Services for Women
16. Shelters for families
17. Segregation of services on Inpatient Mental Health
18. Emergency housing
19. More programs for Women Veterans and families
20. Better clinics
21. Better doctors
22. More respect
23. Women Veteran specific substance abuse Outpatient Program
24. Land use Housing: Women Veterans, Men Veterans and Disabled
25. Writer's Workshop
26. Workout program
27. Emergency shelters (tents)
28. Housing for Women Veterans and Children
29. Valets
30. Fix Choice Programs

Original Health Care Survey Questions
Cont.

31. Not enough doctors
32. More training regarding Women Veterans Healthcare
33. More Primary Care
34. Better Mental Health – Bad doctors
35. Safety – stop harassment by male Veterans
36. Wait times are too long.
37. Better communications with doctors.
38. QTC exams
39. Attending QTC exams w/o retaliation
40. Better info flow
41. Accessibility
42. Accountability
43. Tai Chi/exercise classes visible from main streets.
44. Photo poster in lab (2 bathrooms) on “How to collect a clean catch urine sample that is specific to Women’s anatomy.”
45. Shelves in the bathrooms for Women Veterans to place their purses.
46. More golf carts to pick up injured/disabled patients in the parking lot and bring them to the front door.
47. More Physical Therapists
48. Prenatal Care
49. Women’s Clinic should assign same physician to see high-risk patients. (enhanced continuity of care)
50. Women Program Manager needs to be a clinically trained Veteran Nurse.
51. Weight Watchers Program for Women Veterans and staff
52. Secure permanent location for clothing donated for Women Veterans with published days and times that area is opened.
53. More space in Women’s Clinic.
54. Free clothing room for Women Veterans
55. Transportation to and from medical center
56. Open door nearest to Women’s Clinic Entrance
57. More housing on GLA VA grounds specific to Women Veterans.
58. Cleanliness of facilities

Original Health Care Survey Questions
Cont.

59. Disabled bathrooms: functioning toilets, locking stalls, equipped for closure by physically challenged Veterans.
60. Women's Health Program Manager: Women Veteran only
61. Women Veterans hair styling services
62. More appropriate Mental Health Care Services.
63. More Integrative Health
64. Animal Therapy
65. Women Specific entrance to Women's Clinic.
66. Safety – in and around hospital and grounds.
67. More/better qualified Primary Care Physicians.
68. DOD Background checks of all personnel living, working and receiving Housing Vouchers.
69. More Services: PTSD, MST, Spine Injury, Mental Health, Cardiac care, Cancer, and TBI.
70. Empathy training for all doctors and staff.
71. There is a large disconnect with communication between staff and Veterans.
72. Continuity of Care
73. Same Primary Care physician
74. Advance notice if being treated by a male physician. No more surprise treatments.
75. All programs/personnel must be highly vetted before being allowed to go near Veterans.
76. No more Patient Robocalls or emails sent through the VA Hospital to send Veterans to Non-profits, or local personnel who abuse/exploit Veterans.
77. No more hourly bed checks at the Domiciliary, Haven or Exodus. It is against the law, harmful to regenerative cellular health, harmful to trauma victims and oppressive to some of our most Vulnerable Veterans.
78. Ask men to wait out in the lobby area for Women Veteran Patients unless they are Caregivers.
79. Women Veteran Social Workers, staff, doctors etc....
80. Full-time OBGYN on staff in the Women's Clinic

Original Health Care Survey Questions
Cont.

81. Better privacy training and Women Veteran specific needs including Pharmacy, PACCC, blood and x-ray/MRI.
82. Learn how to catheterize Women Veterans.
83. Better urgent care and ER care for Women Veterans.
84. All types of Training/Educational programs for Veterans.
85. Permanent list of frequent offenders and banning from all Veterans Administration Facilities.
86. Change qualifications for HUD/VASH
87. Change definition of housing for HUD/VASH.
88. Homelessness is a symptom of a greater problem.
89. Recognize that not everyone has substance abuse or mental health issues.
90. Better Prosthetics Department with full-time prosthetics personnel.

Urban Master Plan Design Survey Questions
From the GLA VA HCS Women Veteran Patient Population
Gathered by the GLA VA HCS, WOVPAC
From May 2015 to August 2015.

1. Immediate Temporary Housing
2. Family Housing
3. Single units
4. Home Ownership
5. Separate entrances for Women Veterans and men Veterans.
6. Emergency Call Boxes campus wide. Security checkpoints at entrances.
7. Better lighting
8. Safe areas for Women Veterans for entertainment/education.
9. Grocery store on campus/Shopping on campus.
10. Military Credit Unions on campus e.g. Navy Federal
11. Food Court areas with nutritious food.
12. Education/Training for Veterans including art and science.
13. Entrepreneurship
14. Legal Clinics and legal services the same as the hospital format.
15. Training for Paralegals
16. Fix traffic around GLA VA. Limit gate access from surrounding neighborhoods.
17. Remove school buses from VA grounds
18. Gym with ozonation and salinization unit in the pool.
19. Haven Domiciliary, Exodus should be made to shut down on every campus.
20. Library
21. Emergency Phone towers with camera and panic button
22. Outside water fountain feature on campus.
23. Outdoor weight room.
24. Secure VA 24-7.
25. Accessibility throughout campus
26. Easier ascents and descents for Veterans with physical challenges.
27. Repair/replace broken sidewalks/railings and sloping roads/sidewalks.
28. Repair/replace broken disabled bathrooms, toilets, stalls, doors and sinks.
29. More grab bars on the walls
30. Clean/repair indoor/outdoor handrails on an on-going basis.

Urban Master Plan Design Survey Questions
Cont.

31. Create smoother transition plates: smoother and safer for easier/safer/smooth transition so that Veterans don't launch out of their wheelchairs through the doorways either propelling forward or backward.
32. Separate work out facilities for Women Veterans from Men Veterans/men staff.
33. No observation decks above or around pool, basketball, racquet ball or gym areas.

| | yes | no | no respons | yes+no | maybe |
|--|-----|----|------------|--------|-------|
| Health Services | | | | | |
| 1. campus safety | 123 | 6 | 2 | | |
| 2. more providers and staff | 118 | 8 | 5 | | |
| 3. larger clinic with better equipment | 125 | 4 | 2 | | |
| 4. MH professionals | 120 | 7 | 4 | | |
| 5. Retraining staff | 120 | 7 | 4 | | 1 |
| 6. Separate entrance | 101 | 25 | 5 | | |
| Urban Master plan survey | | | | | |
| 1. better safety/training | 125 | 6 | | | |
| 2. more equipment | 118 | 12 | 1 | | |
| 3. safe housing | 129 | 2 | | | |
| 4. accessibility | 124 | 6 | 1 | | |
| 5. women zones | 120 | 8 | 3 | | |
| 6. gym | 122 | 3 | 5 | | 1 |

One month sample (targeted n=450-470)

Cafeteria or front entrance (public area)

Asked 135 to complete, 131 completed (98% response)

GLA VA HCS Women Veteran Patient Advisory Council Urban Master Plan Survey

YES NO

1. Better Safety/training throughout the GLA VA Campus complete with more Women Veteran Police/Security. Security towers, better lighting, better-trained Security/Police on specific Women Veteran issues. Better protection of Women Veterans, Disabled Veterans, Vulnerable Veteran populations and staff in or around the campus. DOD Background checks for anyone living or working on the GLA VA Campus.

125 Yes, 6 No (95% Yes)

2. Separate Larger Women Specific Medical facilities/Programs and entrances throughout the campus. Better equipment, more/better trained staff, more programs and services. OB/GYN facilities, Prenatal Care, Labor and Delivery.

118 Yes, 12 No, 1 NR (90% Yes)

3. Safe Housing now for Homeless Women Veterans, Disabled Veterans and Vulnerable Veteran populations on the GLA VA Campus. Women Veteran specific housing areas and housing ownership on GLA VA campus grounds.

129 Yes, 2 No (98% Yes)

4. Accessibility throughout the entire GLA VA Campus smooth sidewalks, curbs, entrances, egresses, easier transitions on ascents and descending areas. Smooth transition threshold plates for safer transitions between doorways. Larger doorway openings.

124 Yes, 6 No, 1 NR (95% Yes)

5. Women Veteran specific zones for safety, recreation and relaxation GLA VA Campus wide.

120 Yes, 8 No, 3 NR (92% Yes)

6. Gym 5 am open to 9 pm close with separation of Women and Men Veterans weight lifting, cross-fit training and Jacuzzi/Steam/Sauna in locker rooms. Co-ed basketball Courts, Pool, Racquetball Courts with varying hours of use for Women and Men availability. No observation decks.

122 Yes, 3 No, 5 NR, 1 Yes+No (93% Yes)



Vets Advocacy

SURVEY DATA

October 6, 2015

1064

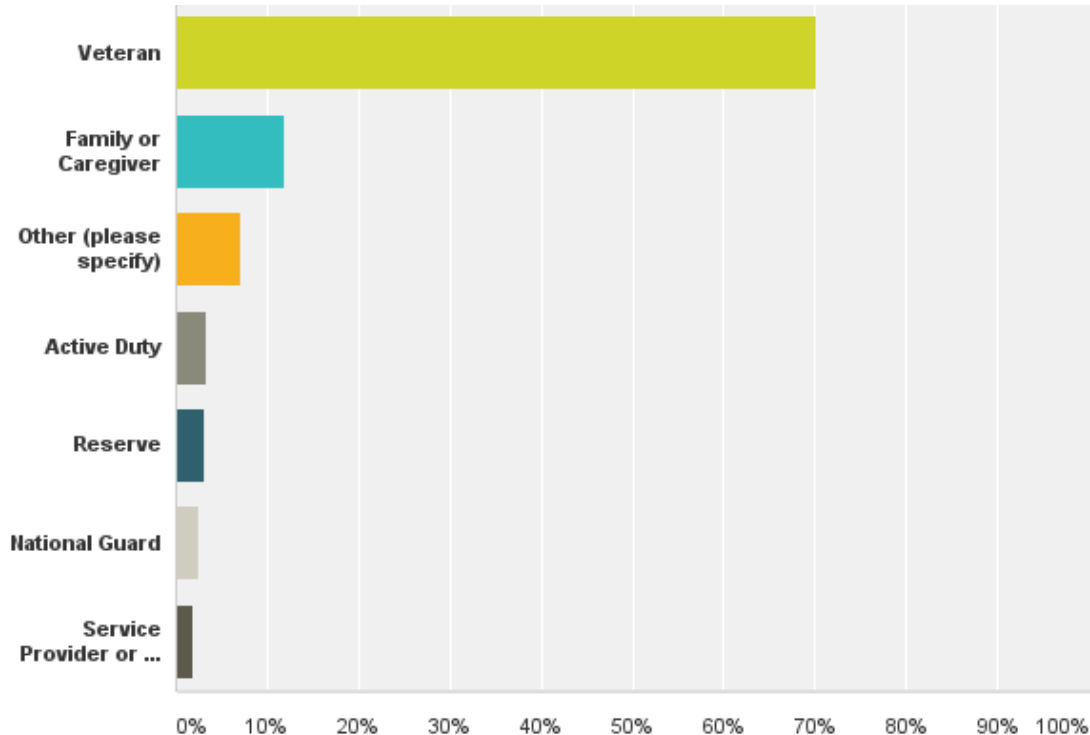
Total Responses

Date Created: Tuesday, September 08, 2015

Complete Responses: 935

Q1: Please indicate your primary affiliation to the Military Veteran community:

Answered: 1,060 Skipped: 4



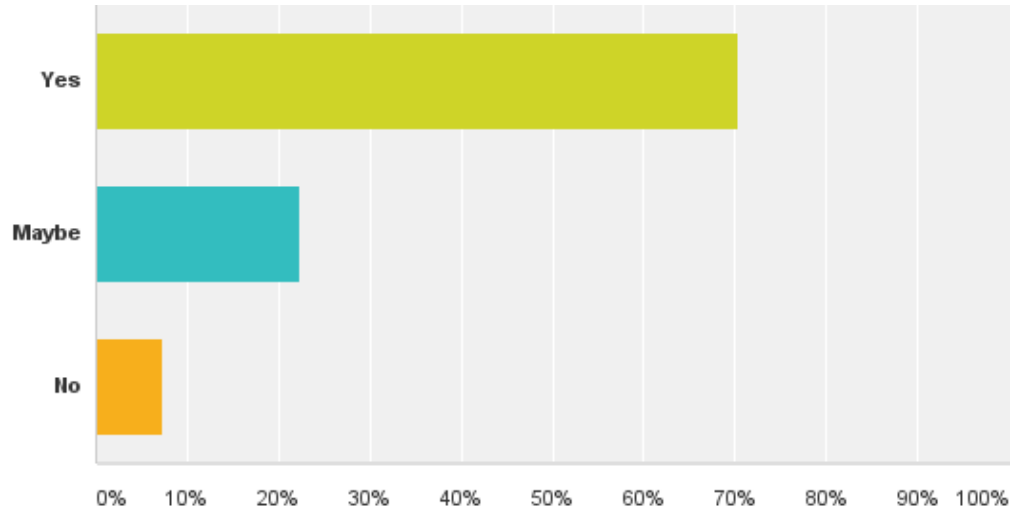
Q1: Please indicate your primary affiliation to the Military Veteran community:

Answered: 1,060 Skipped: 4

| Answer Choices | Responses |
|------------------------------|--------------|
| Veteran | 70.19% 744 |
| Family or Caregiver | 11.89% 126 |
| Other (please specify) | 7.17% 76 |
| Active Duty | 3.30% 35 |
| Reserve | 3.11% 33 |
| National Guard | 2.45% 26 |
| Service Provider or VA Staff | 1.89% 20 |
| Total | 1,060 |

Q2: Do you think Veterans would like living in a neighborhood on a VA campus designed as a vibrant Veteran community?

Answered: 1,052 Skipped: 12



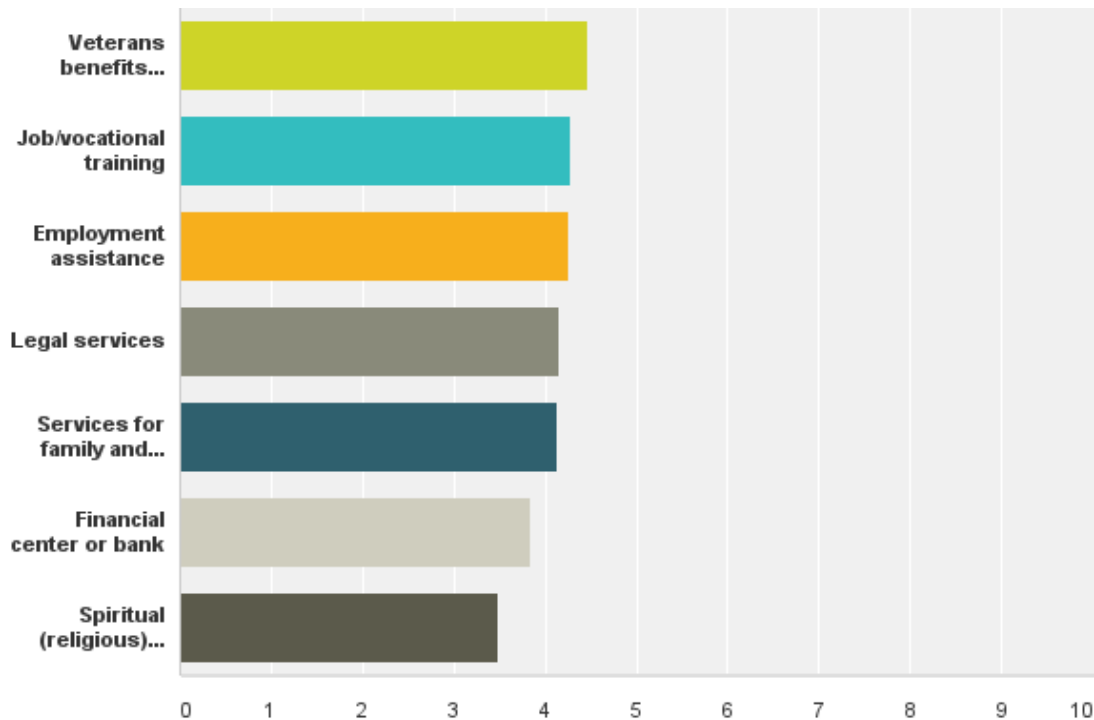
Q2: Do you think Veterans would like living in a neighborhood on a VA campus designed as a vibrant Veteran community?

Answered: 1,052 Skipped: 12

| Answer Choices | Responses |
|----------------|--------------|
| Yes | 70.44% 741 |
| Maybe | 22.24% 234 |
| No | 7.32% 77 |
| Total | 1,052 |

Q3: How likely would Veterans be to use the following services if hosted on a VA campus?

Answered: 1,015 Skipped: 49



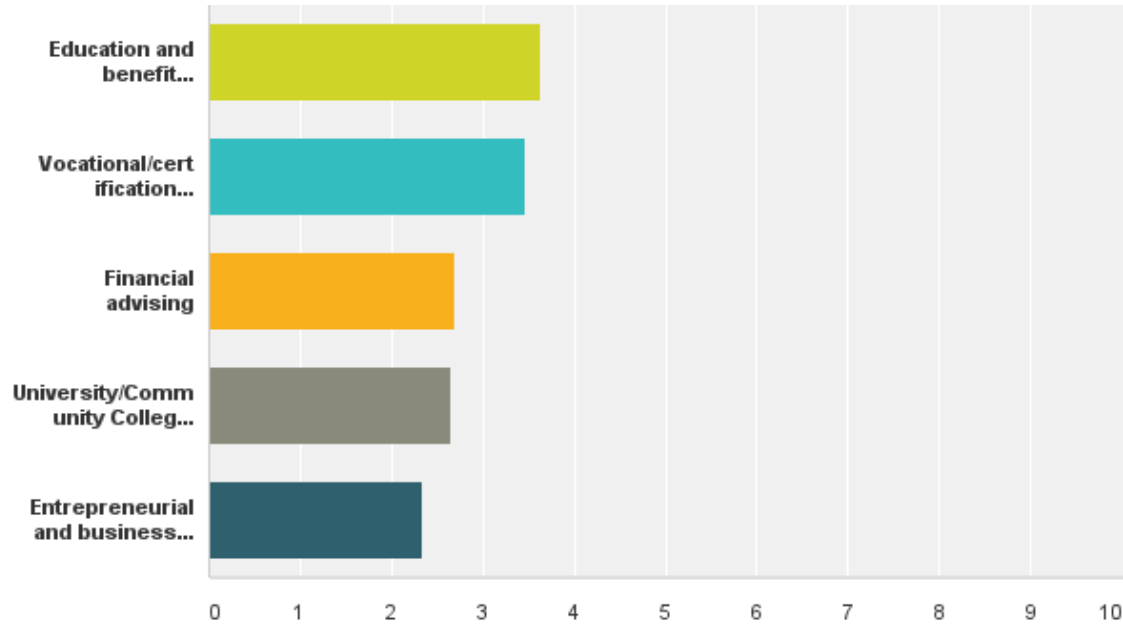
Q3: How likely would Veterans be to use the following services if hosted on a VA campus?

Answered: 1,015 Skipped: 49

| | Extremely unlikely | Unlikely | Undecided | Likely | Extremely likely | Total | Weighted Average |
|----------------------------------|--------------------|-------------|---------------|---------------|------------------|-------|------------------|
| Veterans benefits assistance | 5.36% 54 | 1.09% 11 | 2.68% 27 | 23.91% 241 | 66.96% 675 | 1,008 | 4.46 |
| Job/vocational training | 5.67% 57 | 1.89% 19 | 5.57% 56 | 31.31% 315 | 55.57% 559 | 1,006 | 4.29 |
| Employment assistance | 5.45% 55 | 2.28% 23 | 5.45% 55 | 35.94% 363 | 50.89% 514 | 1,010 | 4.25 |
| Legal services | 5.89% 59 | 2.40% 24 | 7.79% 78 | 38.06% 381 | 45.85% 459 | 1,001 | 4.16 |
| Services for family and children | 6.24% 63 | 3.27% 33 | 10.80% 109 | 30.72% 310 | 48.96% 494 | 1,009 | 4.13 |
| Financial center or bank | 6.40% 64 | 5.70% 57 | 17.60% 176 | 38.00% 380 | 32.30% 323 | 1,000 | 3.84 |
| Spiritual (religious) forums | 6.50% 65 | 8.30% 83 | 34.80% 348 | 30.60% 306 | 19.80% 198 | 1,000 | 3.49 |

Q4. Rank the following education and training opportunities you think would be most helpful for Veterans if hosted on a VA campus (1 = most helpful, 5 = least helpful).

Answered: 968 Skipped: 96



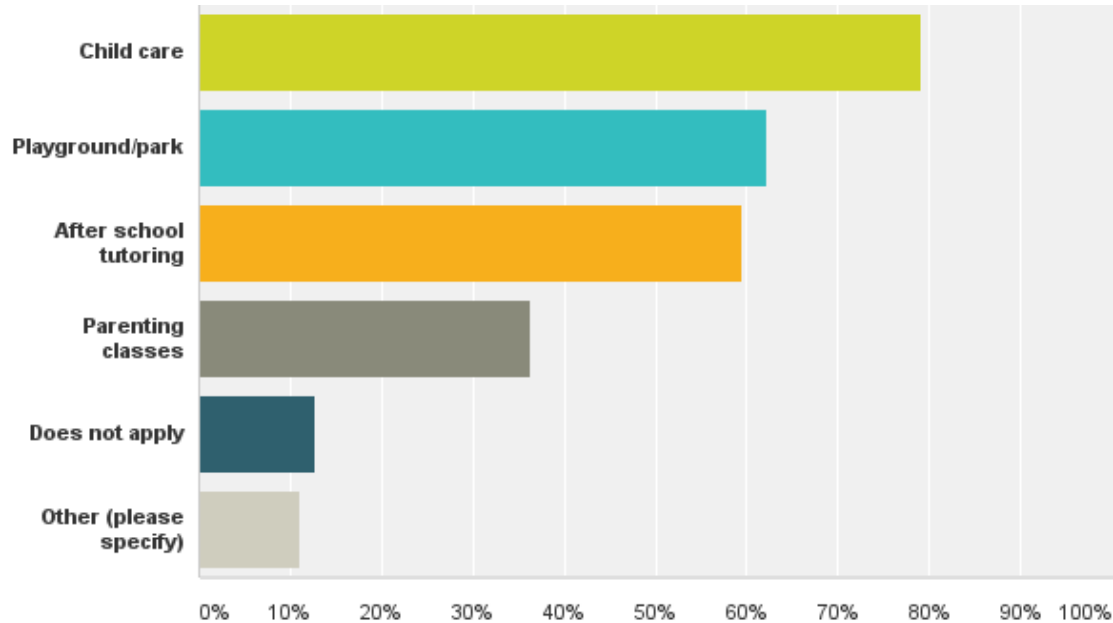
Q4. Rank the following education and training opportunities you think would be most helpful for Veterans if hosted on a VA campus (1 = most helpful, 5 = least helpful).

Answered: 968 Skipped: 96

| | 1 | 2 | 3 | 4 | 5 | Total | Score |
|--|----------------------|----------------------|----------------------|----------------------|----------------------|-------|-------|
| Education and benefit guidance | 39.04% 310 | 22.92% 182 | 13.85% 110 | 11.59% 92 | 12.59% 100 | 794 | 3.64 |
| Vocational/certification training | 25.81% 208 | 29.03% 234 | 21.46% 173 | 14.02% 113 | 9.68% 78 | 806 | 3.47 |
| Financial advising | 10.04% 80 | 17.19% 137 | 25.60% 204 | 25.85% 206 | 21.33% 170 | 797 | 2.69 |
| University/Community College extension classes | 13.99% 130 | 13.89% 129 | 22.71% 211 | 23.04% 214 | 26.37% 245 | 929 | 2.66 |
| Entrepreneurial and business coaching | 8.88% 75 | 13.37% 113 | 16.80% 142 | 24.85% 210 | 36.09% 305 | 845 | 2.34 |

Q5: If offered, which of the following Veteran family services would Veterans be likely to use? (choose all that apply)

Answered: 970 Skipped: 94



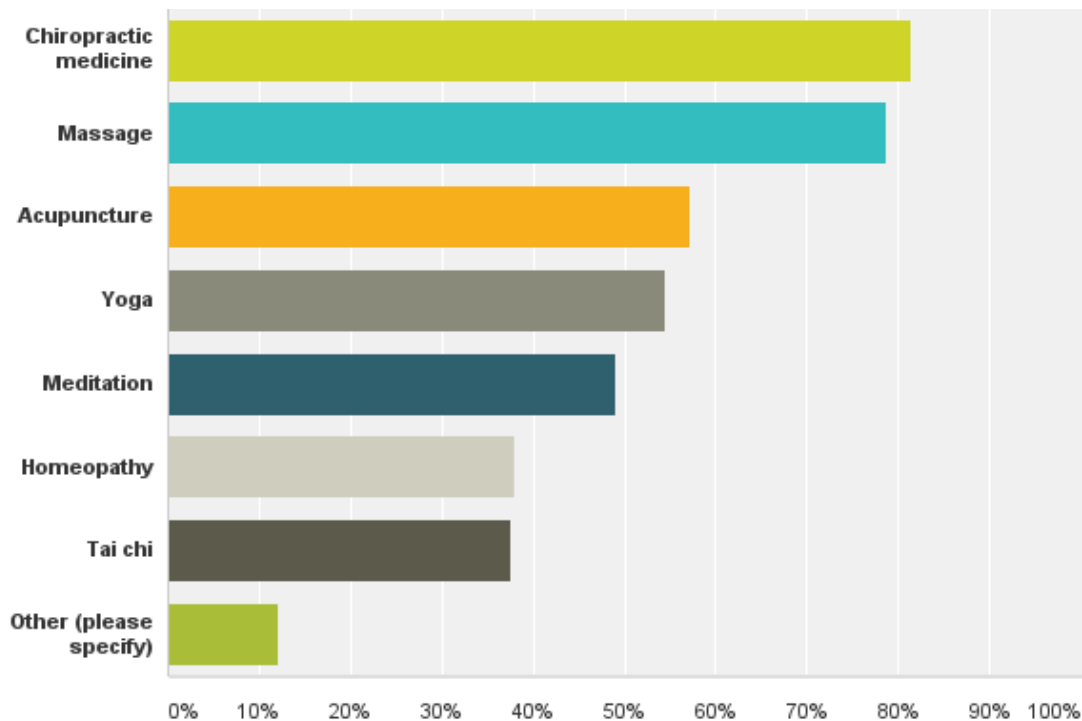
Q5: If offered, which of the following Veteran family services would Veterans be likely to use? (choose all that apply)

Answered: 970 Skipped: 94

| Answer Choices | Responses | |
|-------------------------------|---------------|-----|
| Child care | 79.18% | 768 |
| Playground/park | 62.16% | 603 |
| After school tutoring | 59.48% | 577 |
| Parenting classes | 36.39% | 353 |
| Does not apply | 12.68% | 123 |
| Other (please specify) | 11.13% | 108 |
| Total Respondents: 970 | | |

Q6. Which of the following non-traditional care and/or alternative medicines would Veterans use if provided on a VA campus? (choose all that apply)

Answered: 955 Skipped: 109



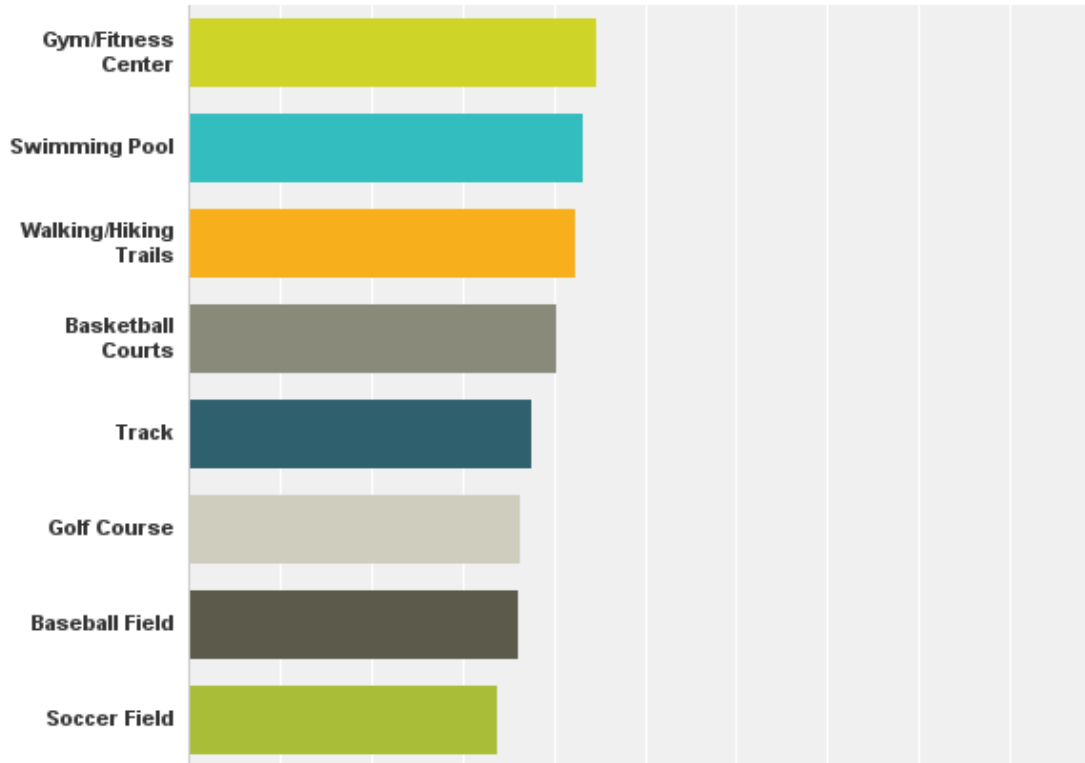
Q6. Which of the following nontraditional care and/or alternative medicines would Veterans use if provided on a VA campus? (choose all that apply)

Answered: 955 Skipped: 109

| Answer Choices | Responses |
|-------------------------------|------------|
| Chiropractic medicine | 81.47% 778 |
| Massage | 78.64% 751 |
| Acupuncture | 57.17% 546 |
| Yoga | 54.55% 521 |
| Meditation | 49.01% 468 |
| Homeopathy | 37.91% 362 |
| Tai chi | 37.49% 358 |
| Other (please specify) | 12.15% 116 |
| Total Respondents: 955 | |

Q7: How likely would Veterans use the following recreational facilities located on a VA campus?

Answered: 955 Skipped: 109



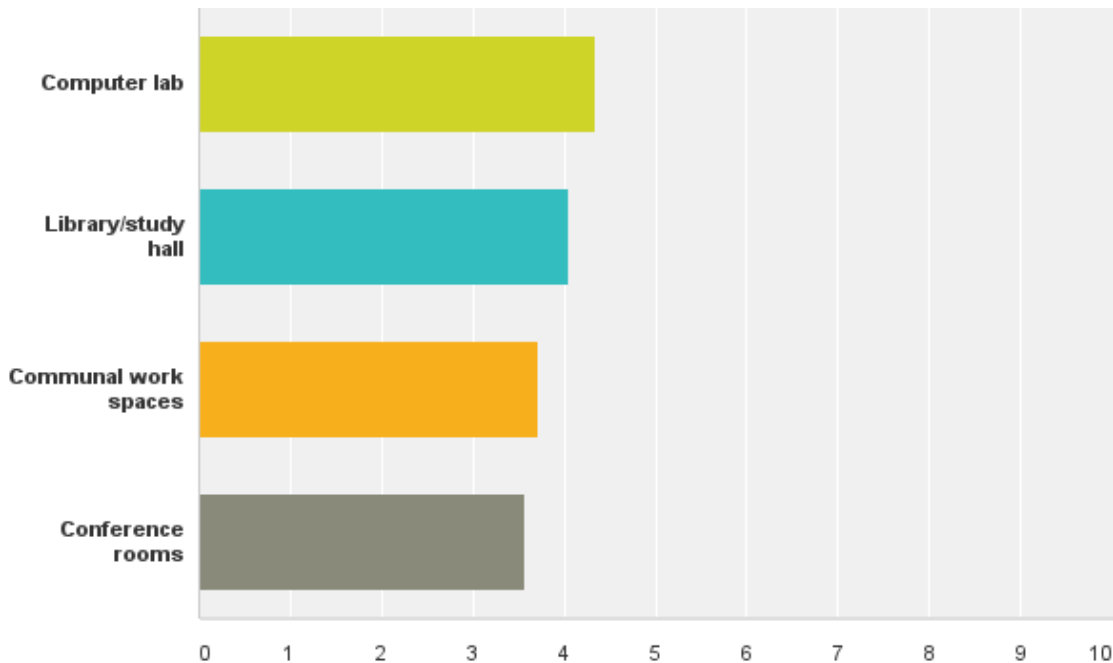
Q7: How likely would Veterans use the following recreational facilities located on a VA campus?

Answered: 955 Skipped: 109

| | Extremely unlikely | Unlikely | Undecided | Likely | Extremely likely | Total | Weighted Average |
|-----------------------|--------------------|---------------|---------------|---------------|------------------|-------|------------------|
| Gym/Fitness Center | 2.63% 25 | 1.05% 10 | 3.47% 33 | 32.07% 305 | 60.78% 578 | 951 | 4.47 |
| Swimming Pool | 3.06% 29 | 2.00% 19 | 5.37% 51 | 38.15% 362 | 51.42% 488 | 949 | 4.33 |
| Walking/Hiking Trails | 3.18% 30 | 2.01% 19 | 8.47% 80 | 40.78% 385 | 45.55% 430 | 944 | 4.24 |
| Basketball Courts | 3.07% 29 | 5.08% 48 | 13.24% 125 | 43.43% 410 | 35.17% 332 | 944 | 4.03 |
| Track | 3.97% 37 | 7.08% 66 | 23.39% 218 | 39.81% 371 | 25.75% 240 | 932 | 3.76 |
| Golf Course | 7.26% 68 | 10.25% 96 | 21.99% 206 | 32.12% 301 | 28.39% 266 | 937 | 3.64 |
| Baseball Field | 4.72% 44 | 9.23% 86 | 25.75% 240 | 39.59% 369 | 20.71% 193 | 932 | 3.62 |
| Soccer Field | 6.16% 57 | 14.47% 134 | 30.78% 285 | 32.07% 297 | 16.52% 153 | 926 | 3.38 |

Q8: How likely would Veterans utilize the following work environments located on a VA campus?

Answered: 948 Skipped: 116



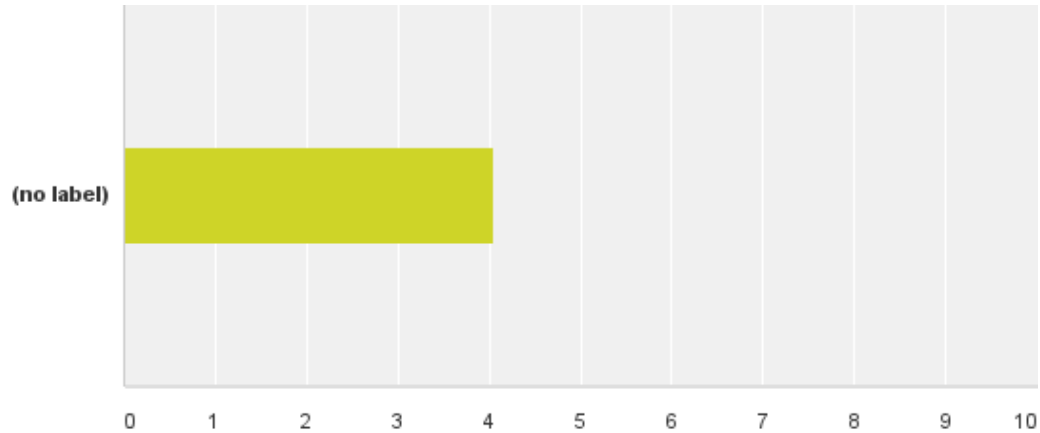
Q8: How likely would Veterans utilize the following work environments located on a VA campus?

Answered: 948 Skipped: 116

| | Extremely unlikely | Unlikely | Undecided | Likely | Extremely likely | Total | Weighted Average |
|----------------------|--------------------|---------------|---------------|---------------|------------------|-------|------------------|
| Computer lab | 3.17% 30 | 2.22% 21 | 5.71% 54 | 34.99% 331 | 53.91% 510 | 946 | 4.34 |
| Library/study hall | 2.75% 26 | 4.02% 38 | 14.90% 141 | 43.13% 408 | 35.20% 333 | 946 | 4.04 |
| Communal work spaces | 3.31% 31 | 7.15% 67 | 26.36% 247 | 40.13% 376 | 23.05% 216 | 937 | 3.72 |
| Conference rooms | 3.22% 30 | 12.00% 112 | 30.33% 283 | 33.12% 309 | 21.33% 199 | 933 | 3.57 |

Q9: How likely would Veterans shop at retail and/or dining outlets located on VA campuses?

Answered: 957 Skipped: 107



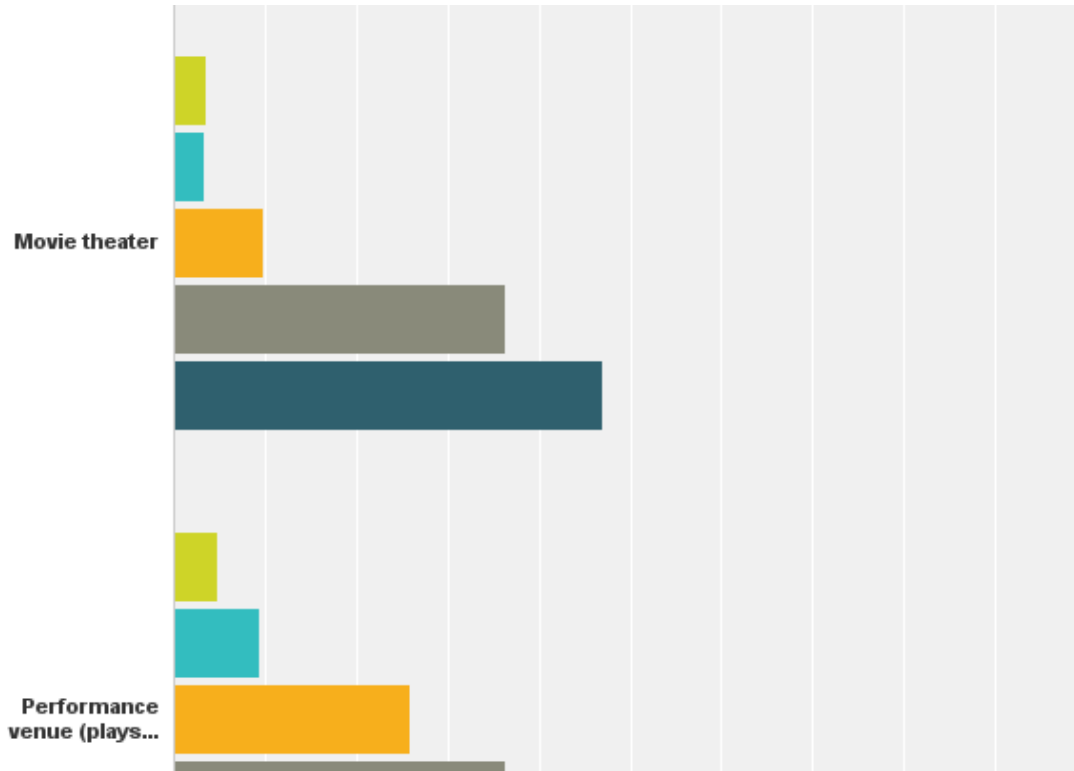
Q9: How likely would Veterans shop at retail and/or dining outlets located on VA campuses?

Answered: 957 Skipped: 107

| | Extremely unlikely | Unlikely | Undecided | Likely | Extremely likely | Total | Weighted Average |
|------------|--------------------|-------------|---------------|---------------|------------------|-------|------------------|
| (no label) | 3.45% 33 | 4.81% 46 | 14.21% 136 | 36.89% 353 | 40.65% 389 | 957 | 4.06 |

Q10: How likely would Veterans utilize the following entertainment, arts and hobby spaces if hosted on a VA campus?

Answered: 945 Skipped: 119



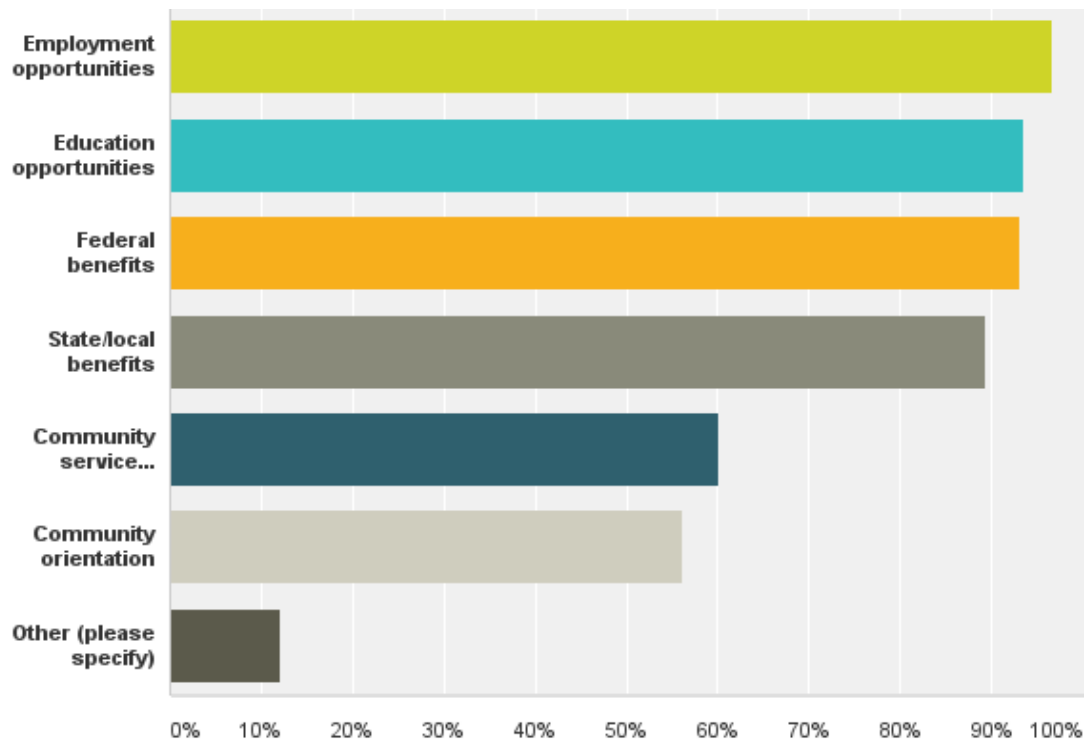
Q10: How likely would Veterans utilize the following entertainment, arts and hobby spaces if hosted on a VA campus?

Answered: 945 Skipped: 119

| | Extremely unlikely | Unlikely | Undecided | Likely | Extremely likely | Total |
|---|--------------------|---------------|---------------|---------------|------------------|-------|
| Movie theater | 3.63% 34 | 3.31% 31 | 9.83% 92 | 36.32% 340 | 46.90% 439 | 936 |
| Performance venue (plays, concerts, town hall meetings, etc.) | 4.71% 44 | 9.42% 88 | 25.80% 241 | 36.40% 340 | 23.66% 221 | 934 |
| Creative art space (painting, photography, multimedia center, etc.) | 3.83% 36 | 7.35% 69 | 24.39% 229 | 39.19% 368 | 25.24% 237 | 939 |
| Hobbyist (woodworking, 3D-printing, etc.) | 2.44% 23 | 3.19% 30 | 13.60% 128 | 45.59% 429 | 35.18% 331 | 941 |
| Community gardening | 4.27% 40 | 10.90% 102 | 29.17% 273 | 33.33% 312 | 22.33% 209 | 936 |
| Auto garage | 2.67% 25 | 2.46% 23 | 9.41% 88 | 40.64% 380 | 44.81% 419 | 935 |

Q11: Ideally, what services do Veterans need in a transition center located on a VA campus? (choose all that apply)

Answered: 945 Skipped: 119



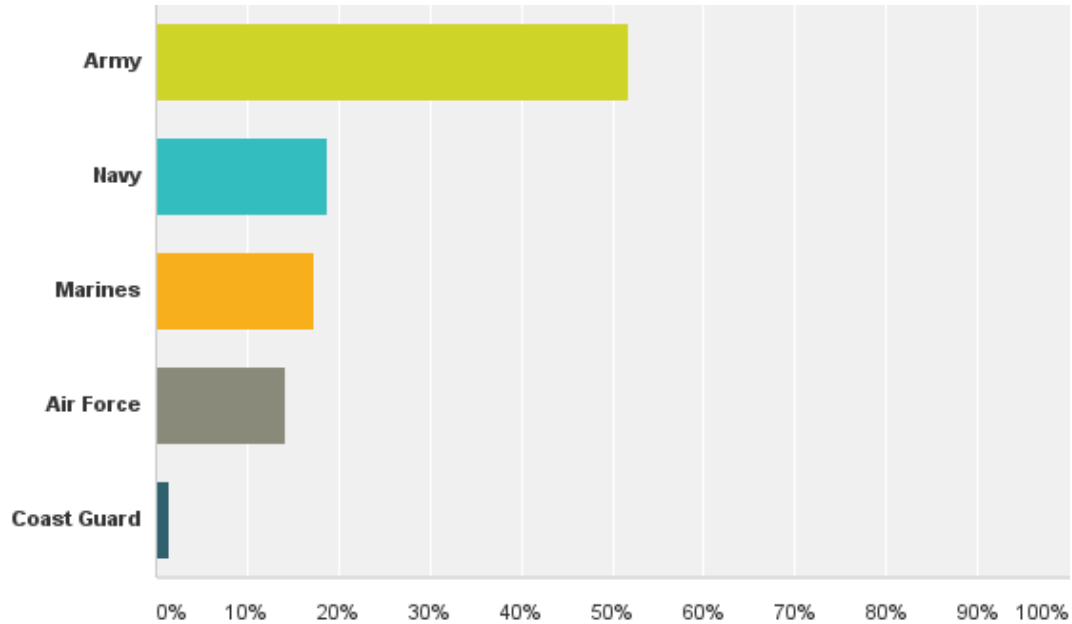
Q11: Ideally, what services do Veterans need in a transition center located on a VA campus? (choose all that apply)

Answered: 945 Skipped: 119

| Answer Choices | Responses | |
|---------------------------------|-----------|-----|
| Employment opportunities | 96.61% | 913 |
| Education opportunities | 93.44% | 883 |
| Federal benefits | 93.02% | 879 |
| State/local benefits | 89.31% | 844 |
| Community service opportunities | 60.21% | 569 |
| Community orientation | 56.19% | 531 |
| Other (please specify) | 12.17% | 115 |
| Total Respondents: 945 | | |

Q12: If Servicemember or Veteran, please select Branch of Service:

Answered: 802 Skipped: 262



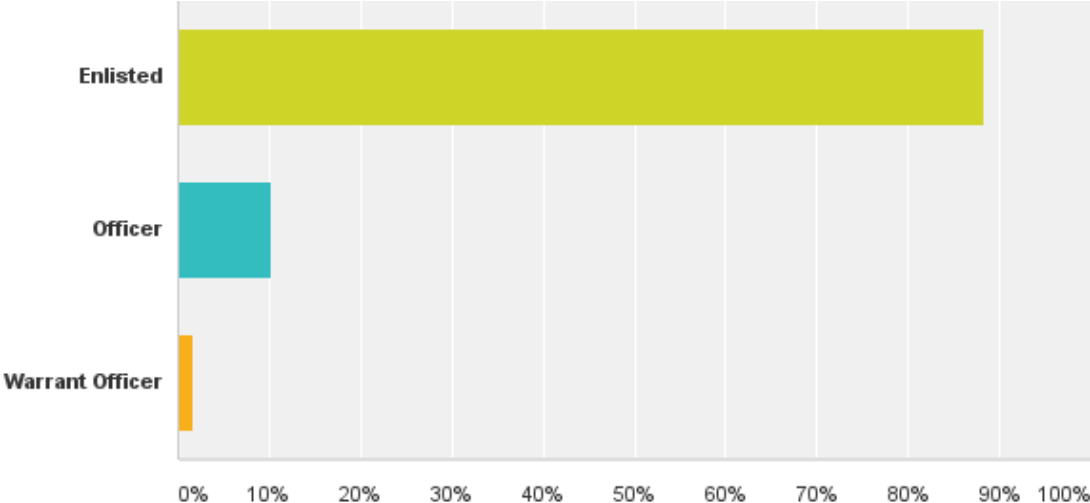
Q12: If Servicemember or Veteran, please select Branch of Service:

Answered: 802 Skipped: 262

| Answer Choices | Responses | |
|-------------------------------|-----------|-----|
| Army | 51.75% | 415 |
| Navy | 18.83% | 151 |
| Marines | 17.33% | 139 |
| Air Force | 14.21% | 114 |
| Coast Guard | 1.37% | 11 |
| Total Respondents: 802 | | |

Q13: If Servicemember or Veteran, please select highest Grade achieved:

Answered: 797 Skipped: 267



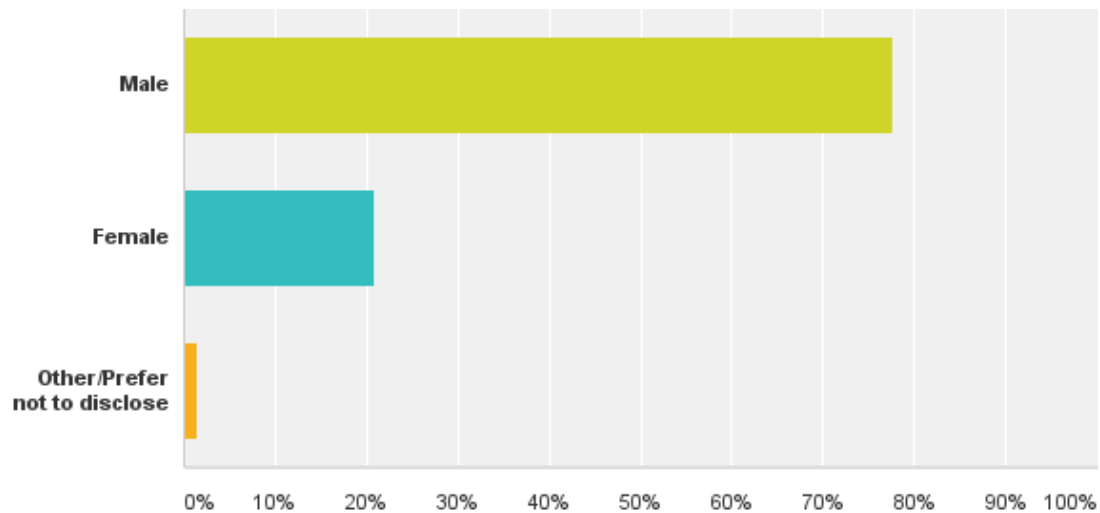
Q13: If Servicemember or Veteran, please select highest Grade achieved:

Answered: 797 Skipped: 267

| Answer Choices | Responses |
|-----------------|------------|
| Enlisted | 88.21% 703 |
| Officer | 10.16% 81 |
| Warrant Officer | 1.63% 13 |
| Total | 797 |

Q14: Gender

Answered: 899 Skipped: 165



Q14: Gender

Answered: 899 Skipped: 165

| Answer Choices | Responses |
|------------------------------|-------------------|
| Male | 77.75% 699 |
| Female | 20.80% 187 |
| Other/Prefer not to disclose | 1.45% 13 |
| Total | 899 |

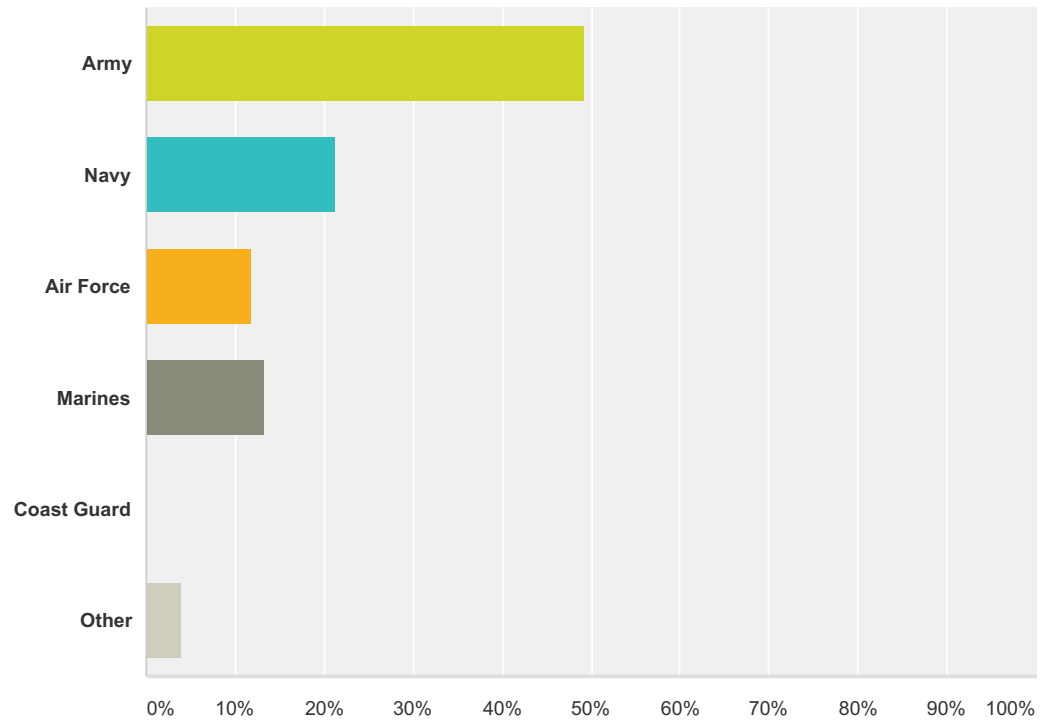
Q1 Please join our contact list for updates!

Answered: 75 Skipped: 0

| Answer Choices | Responses |
|----------------|------------|
| Name | 100.00% 75 |
| Email Address | 100.00% 75 |
| Zip Code | 100.00% 75 |

Q2 Branch of Service

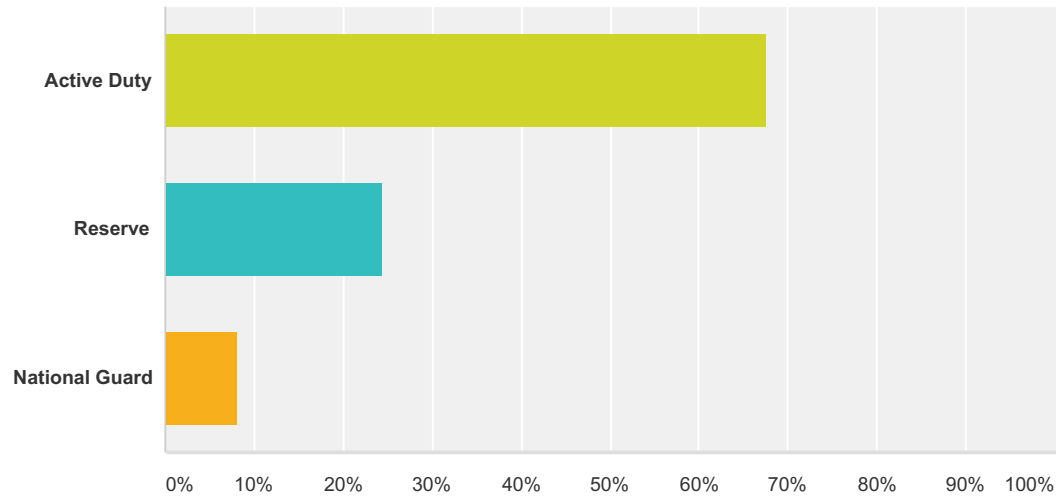
Answered: 75 Skipped: 0



| Answer Choices | Responses |
|----------------|-----------|
| Army | 49.33% 37 |
| Navy | 21.33% 16 |
| Air Force | 12.00% 9 |
| Marines | 13.33% 10 |
| Coast Guard | 0.00% 0 |
| Other | 4.00% 3 |
| Total | 75 |

Q3 Component

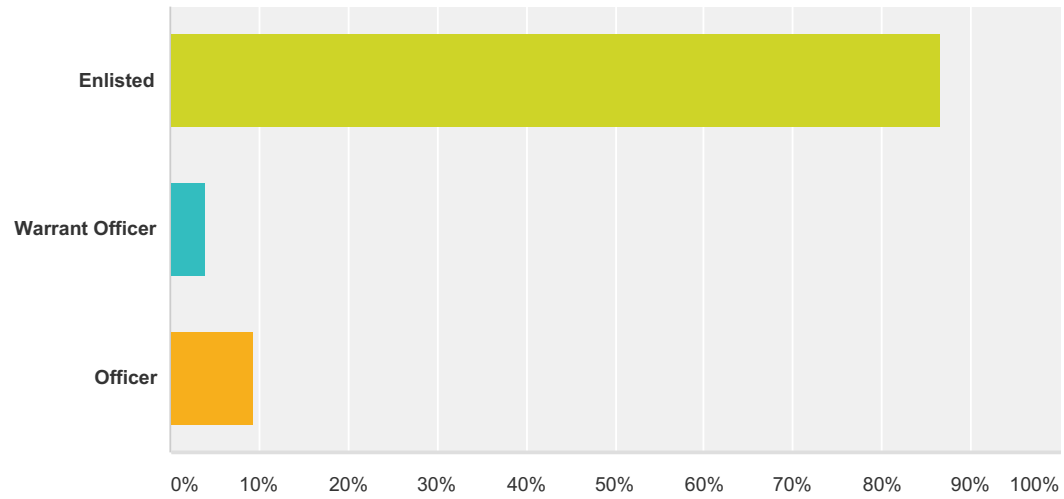
Answered: 74 Skipped: 1



| Answer Choices | Responses |
|----------------|-----------|
| Active Duty | 67.57% 50 |
| Reserve | 24.32% 18 |
| National Guard | 8.11% 6 |
| Total | 74 |

Q4 Grade

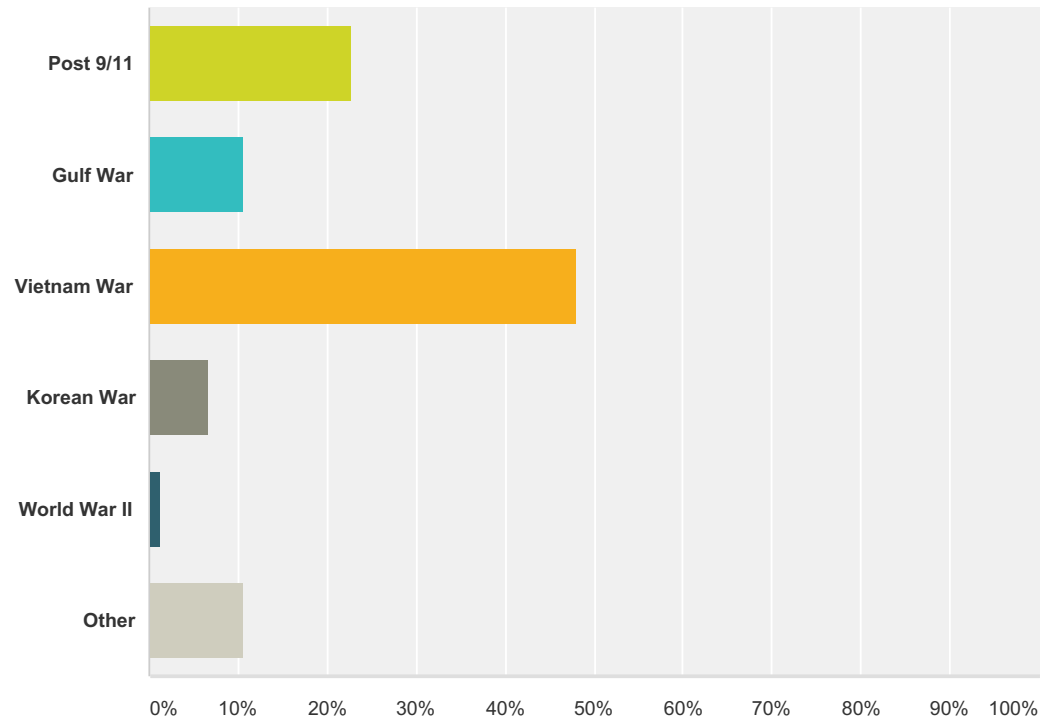
Answered: 75 Skipped: 0



| Answer Choices | Responses |
|-----------------|-----------|
| Enlisted | 86.67% 65 |
| Warrant Officer | 4.00% 3 |
| Officer | 9.33% 7 |
| Total | 75 |

Q5 Service Era

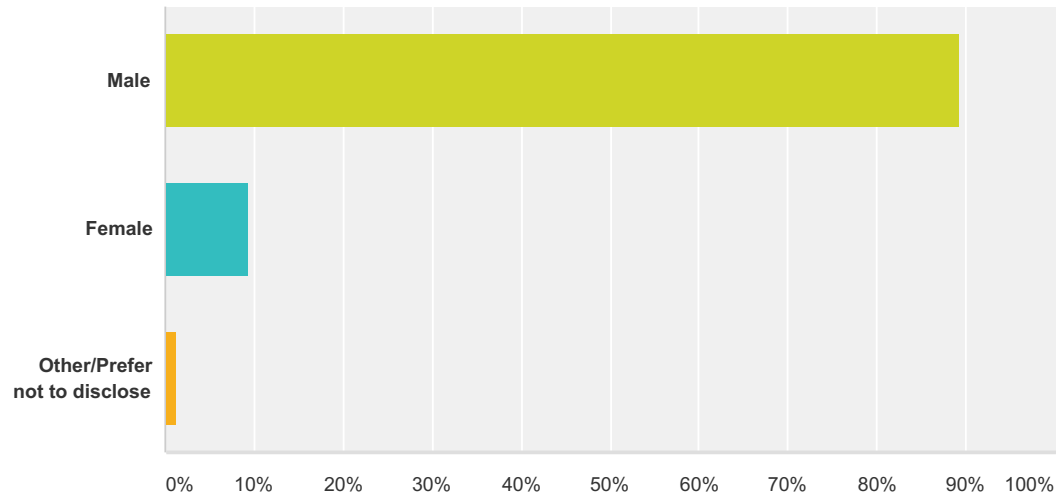
Answered: 75 Skipped: 0



| Answer Choices | Responses |
|----------------|-----------|
| Post 9/11 | 22.67% 17 |
| Gulf War | 10.67% 8 |
| Vietnam War | 48.00% 36 |
| Korean War | 6.67% 5 |
| World War II | 1.33% 1 |
| Other | 10.67% 8 |
| Total | 75 |

Q6 Gender

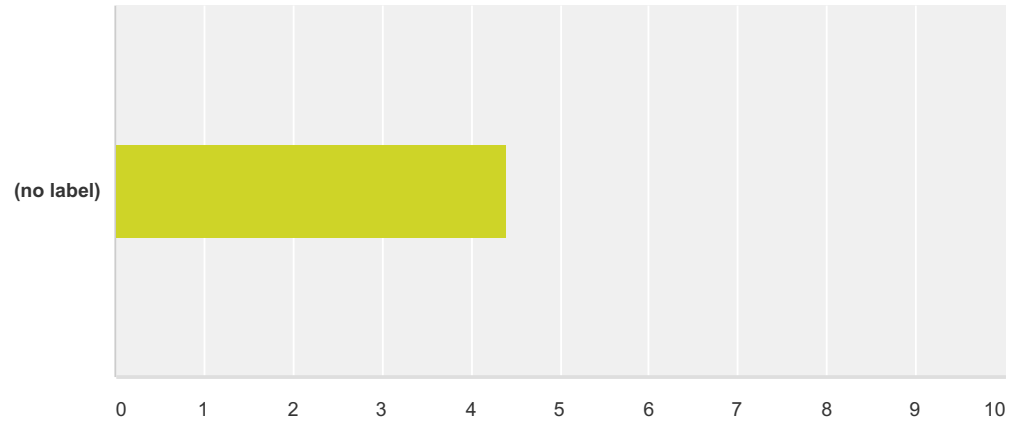
Answered: 75 Skipped: 0



| Answer Choices | Responses |
|------------------------------|-----------|
| Male | 89.33% 67 |
| Female | 9.33% 7 |
| Other/Prefer not to disclose | 1.33% 1 |
| Total | 75 |

Q7 How important are permanent housing options on VA campuses?

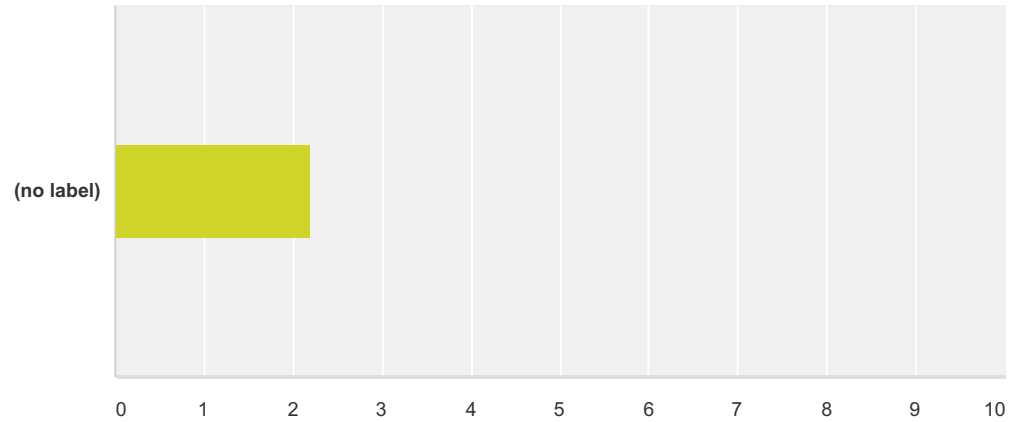
Answered: 64 Skipped: 11



| | Not Important | Somewhat Important | Neutral | Important | Very Important | Total | Weighted Average |
|------------|---------------|--------------------|------------|--------------|----------------|-------|------------------|
| (no label) | 1.56% 1 | 4.69% 3 | 9.38% 6 | 20.31% 13 | 64.06% 41 | 64 | 4.41 |

Q8 Would you consider living on a VA campus designed as a community for Veterans?

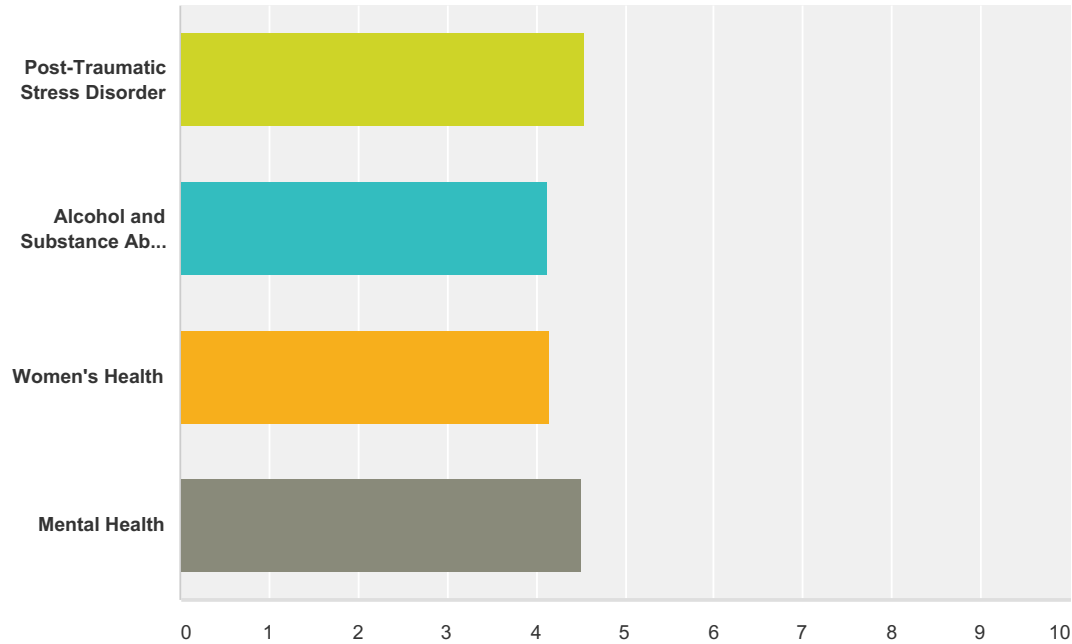
Answered: 64 Skipped: 11



| | No | Maybe | Yes | Total | Weighted Average |
|------------|--------------|--------------|--------------|-------|------------------|
| (no label) | 21.88% 14 | 37.50% 24 | 40.63% 26 | 64 | 2.19 |

Q9 How important are the following treatment options on VA campuses?

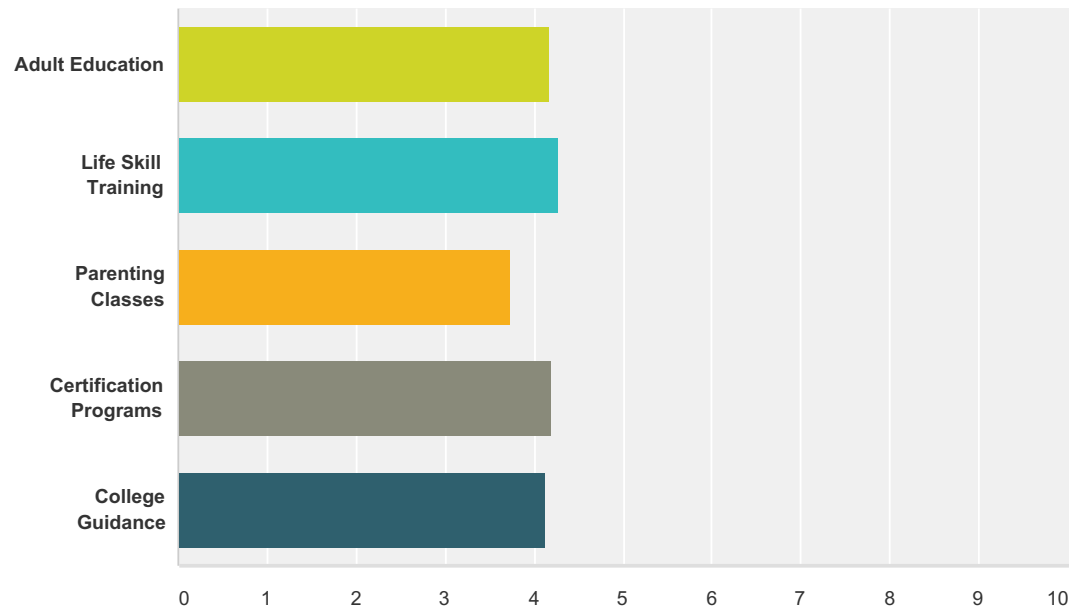
Answered: 64 Skipped: 11



| | Not Important | Somewhat Important | Neutral | Important | Very Important | Total | Weighted Average |
|---------------------------------------|---------------|--------------------|--------------|--------------|----------------|-------|------------------|
| Post-Traumatic Stress Disorder | 0.00% 0 | 3.23% 2 | 8.06% 5 | 17.74% 11 | 70.97% 44 | 62 | 4.56 |
| Alcohol and Substance Abuse Treatment | 3.23% 2 | 9.68% 6 | 11.29% 7 | 22.58% 14 | 53.23% 33 | 62 | 4.13 |
| Women's Health | 1.56% 1 | 9.38% 6 | 18.75% 12 | 12.50% 8 | 57.81% 37 | 64 | 4.16 |
| Mental Health | 1.59% 1 | 6.35% 4 | 3.17% 2 | 17.46% 11 | 71.43% 45 | 63 | 4.51 |

Q10 How important are the following education and training opportunities hosted on VA campuses?

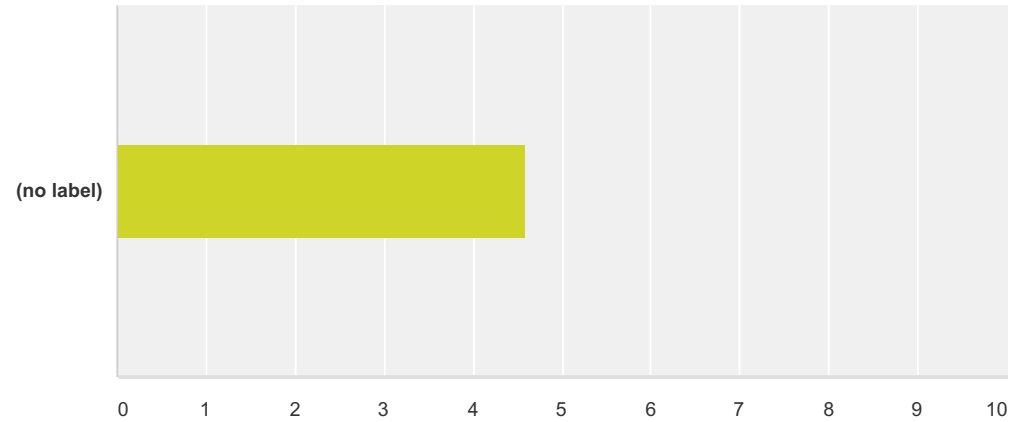
Answered: 64 Skipped: 11



| | Not Important | Somewhat Important | Neutral | Important | Very Important | Total | Weighted Average |
|------------------------|---------------|--------------------|--------------|--------------|----------------|-------|------------------|
| Adult Education | 3.17% 2 | 4.76% 3 | 4.76% 3 | 46.03% 29 | 41.27% 26 | 63 | 4.17 |
| Life Skill Training | 1.56% 1 | 4.69% 3 | 9.38% 6 | 34.38% 22 | 50.00% 32 | 64 | 4.27 |
| Parenting Classes | 4.76% 3 | 6.35% 4 | 25.40% 16 | 38.10% 24 | 25.40% 16 | 63 | 3.73 |
| Certification Programs | 1.59% 1 | 7.94% 5 | 6.35% 4 | 38.10% 24 | 46.03% 29 | 63 | 4.19 |
| College Guidance | 0.00% 0 | 7.94% 5 | 7.94% 5 | 46.03% 29 | 38.10% 24 | 63 | 4.14 |

Q11 How important is finding employment assistance programs on VA campuses?

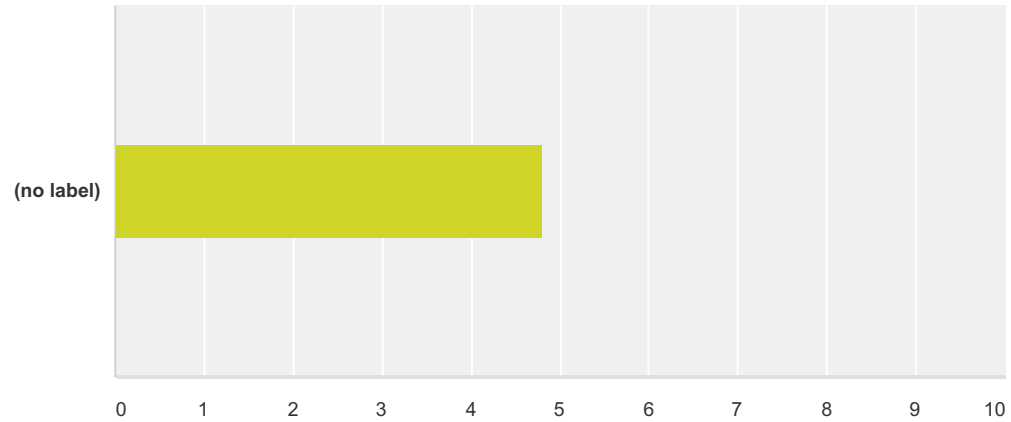
Answered: 64 Skipped: 11



| | Not Important | Somewhat Important | Neutral | Important | Very Important | Total | Weighted Average |
|------------|---------------|--------------------|------------|--------------|----------------|-------|------------------|
| (no label) | 1.56% 1 | 0.00% 0 | 6.25% 4 | 21.88% 14 | 70.31% 45 | 64 | 4.59 |

Q12 How important is finding veterans benefits assistance, such as compensation and pension, on VA campuses?

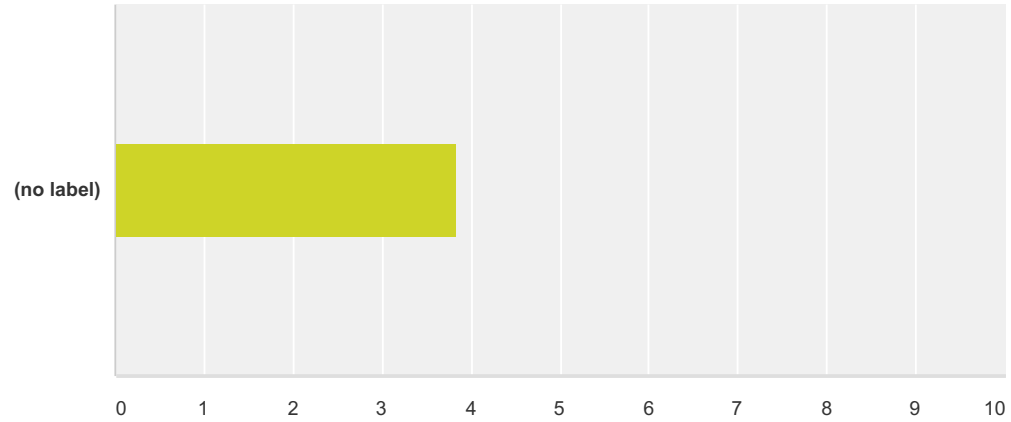
Answered: 64 Skipped: 11



| | Not Important | Somewhat Important | Neutral | Important | Very Important | Total | Weighted Average |
|------------|---------------|--------------------|------------|-------------|----------------|-------|------------------|
| (no label) | 0.00% 0 | 0.00% 0 | 3.13% 2 | 12.50% 8 | 84.38% 54 | 64 | 4.81 |

Q13 How important is the availability of spiritual forums on VA campuses?

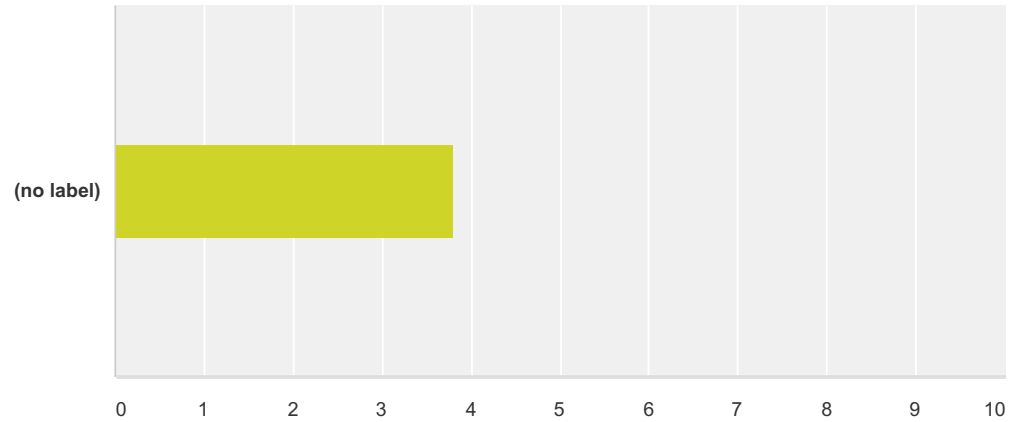
Answered: 64 Skipped: 11



| | Not Important | Somewhat Important | Neutral | Important | Very Important | Total | Weighted Average |
|------------|---------------|--------------------|--------------|--------------|----------------|-------|------------------|
| (no label) | 4.69% 3 | 3.13% 2 | 28.13% 18 | 31.25% 20 | 32.81% 21 | 64 | 3.84 |

Q14 How important is access to Non-Traditional Care and Alternative Medicines on VA campuses?

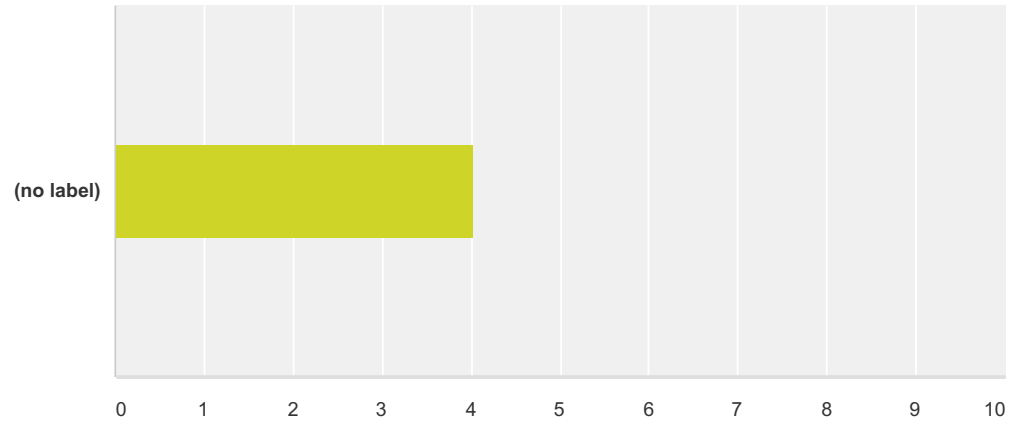
Answered: 64 Skipped: 11



| | Not Important | Somewhat Important | Neutral | Important | Very Important | Total | Weighted Average |
|------------|---------------|--------------------|--------------|--------------|----------------|-------|------------------|
| (no label) | 3.13% 2 | 7.81% 5 | 25.00% 16 | 34.38% 22 | 29.69% 19 | 64 | 3.80 |

Q15 How important is a financial center or bank on VA campuses?

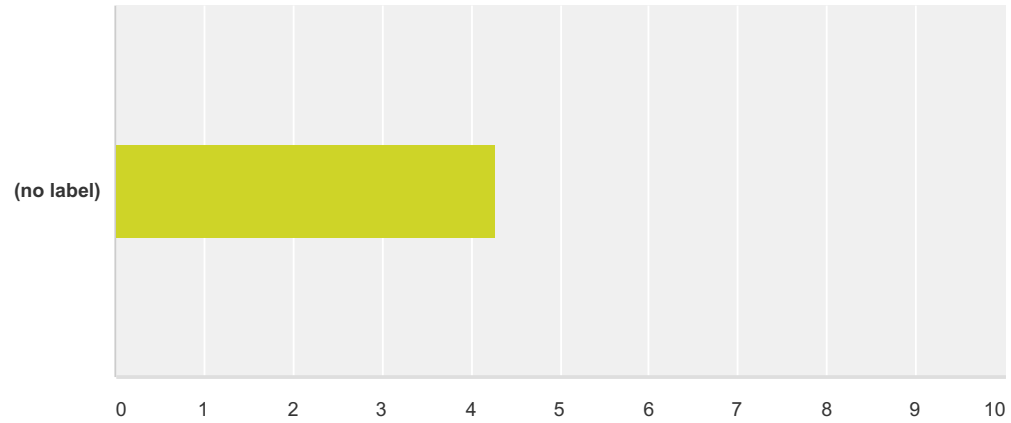
Answered: 64 Skipped: 11



| | Not Important | Somewhat Important | Neutral | Important | Very Important | Total | Weighted Average |
|------------|---------------|--------------------|--------------|--------------|----------------|-------|------------------|
| (no label) | 1.56% 1 | 4.69% 3 | 15.63% 10 | 45.31% 29 | 32.81% 21 | 64 | 4.03 |

Q16 How important are Veterans courts and other legal services on VA campuses?

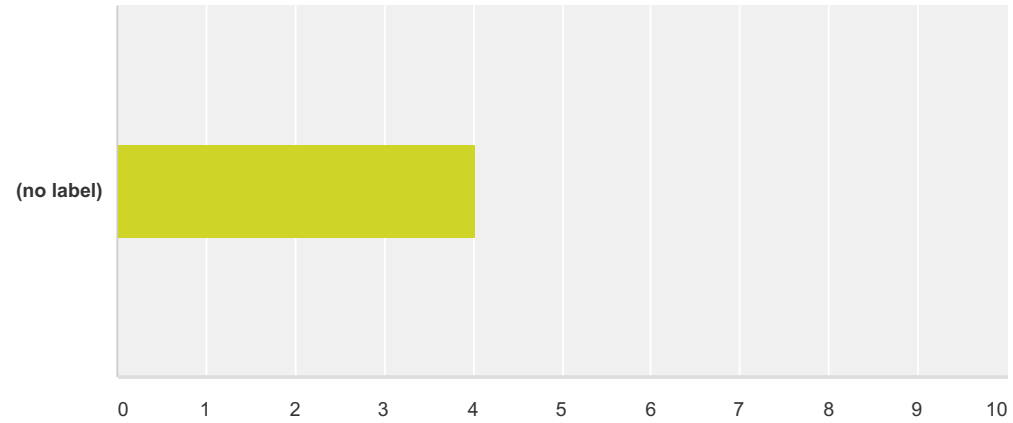
Answered: 64 Skipped: 11



| | Not Important | Somewhat Important | Neutral | Important | Very Important | Total | Weighted Average |
|------------|---------------|--------------------|-------------|--------------|----------------|-------|------------------|
| (no label) | 0.00% 0 | 3.13% 2 | 10.94% 7 | 40.63% 26 | 45.31% 29 | 64 | 4.28 |

Q17 How important are dedicated services for family and children on VA campuses?

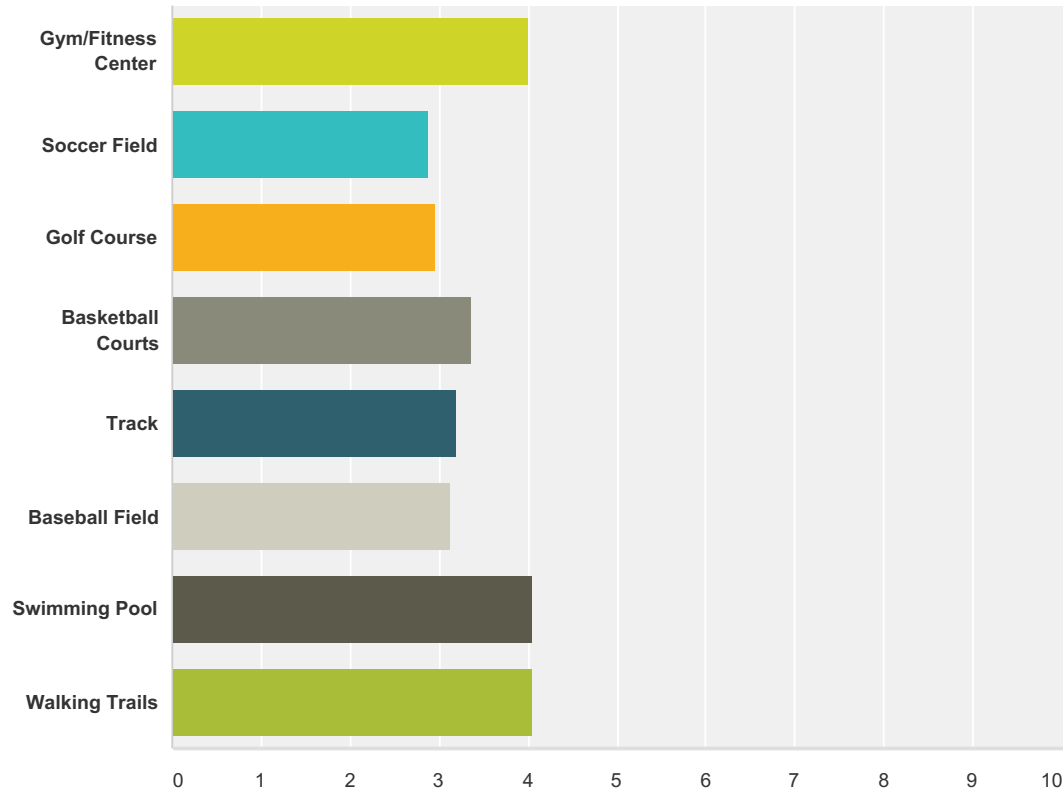
Answered: 64 Skipped: 11



| | Not Important | Somewhat Important | Neutral | Important | Very Important | Total | Weighted Average |
|------------|---------------|--------------------|--------------|--------------|----------------|-------|------------------|
| (no label) | 3.13% 2 | 4.69% 3 | 17.19% 11 | 35.94% 23 | 39.06% 25 | 64 | 4.03 |

Q18 How important are the following organized fitness and recreational activities hosted on VA campuses?

Answered: 64 Skipped: 11

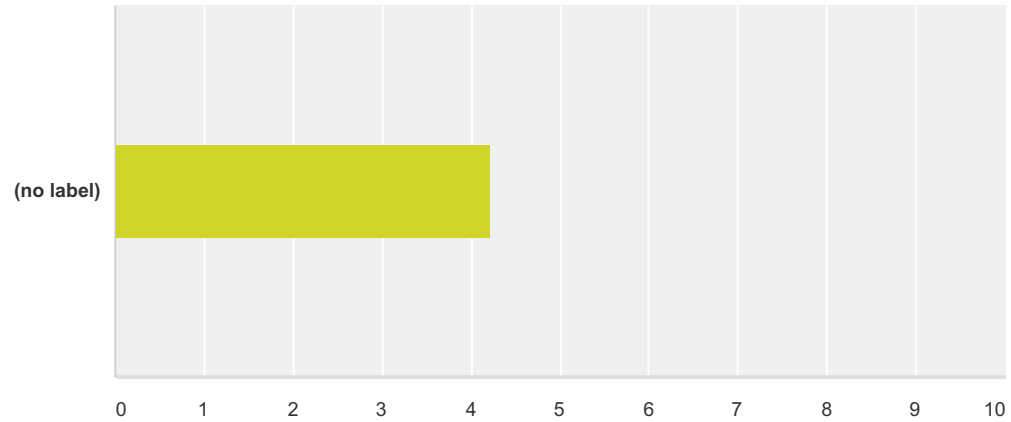


| | Not Important | Somewhat Important | Neutral | Important | Very Important | Total | Weighted Average |
|--------------------|---------------|--------------------|--------------|--------------|----------------|-------|------------------|
| Gym/Fitness Center | 4.69% 3 | 6.25% 4 | 9.38% 6 | 43.75% 28 | 35.94% 23 | 64 | 4.00 |
| Soccer Field | 17.19% 11 | 15.63% 10 | 42.19% 27 | 12.50% 8 | 12.50% 8 | 64 | 2.88 |

| | | | | | | | |
|-------------------|---------------------|---------------------|---------------------|---------------------|---------------------|----|------|
| Golf Course | 18.75% 12 | 10.94% 7 | 34.38% 22 | 26.56% 17 | 9.38% 6 | 64 | 2.97 |
| Basketball Courts | 6.25% 4 | 17.19% 11 | 28.13% 18 | 31.25% 20 | 17.19% 11 | 64 | 3.36 |
| Track | 7.81% 5 | 18.75% 12 | 34.38% 22 | 25.00% 16 | 14.06% 9 | 64 | 3.19 |
| Baseball Field | 12.50% 8 | 15.63% 10 | 31.25% 20 | 26.56% 17 | 14.06% 9 | 64 | 3.14 |
| Swimming Pool | 3.13% 2 | 7.81% 5 | 10.94% 7 | 37.50% 24 | 40.63% 26 | 64 | 4.05 |
| Walking Trails | 4.69% 3 | 4.69% 3 | 9.38% 6 | 42.19% 27 | 39.06% 25 | 64 | 4.06 |

Q19 How important is a space dedicated to socializing with Veterans on VA campuses?

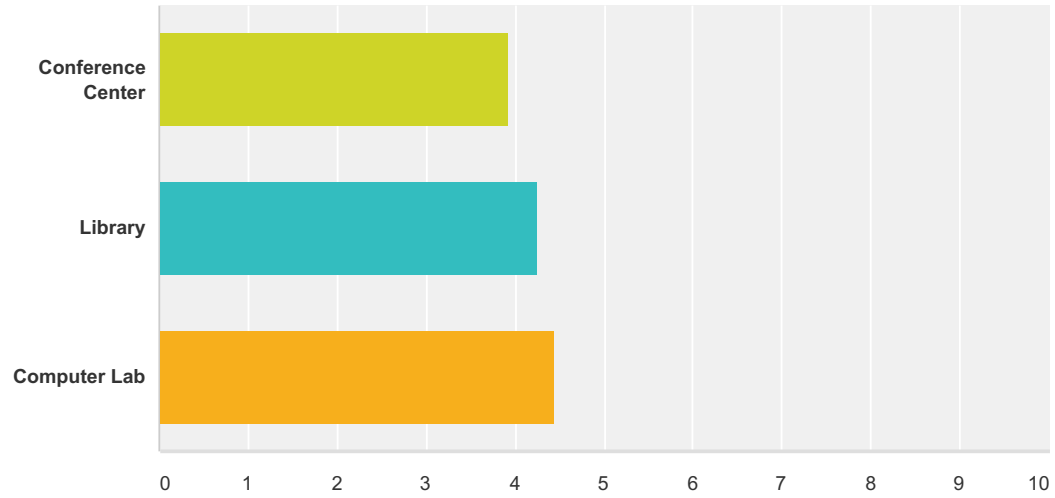
Answered: 63 Skipped: 12



| | Not Important | Somewhat Important | Neutral | Important | Very Important | Total | Weighted Average |
|------------|---------------|--------------------|------------|--------------|----------------|-------|------------------|
| (no label) | 3.17% 2 | 4.76% 3 | 7.94% 5 | 34.92% 22 | 49.21% 31 | 63 | 4.22 |

Q20 How important are the following work environments on VA campuses?

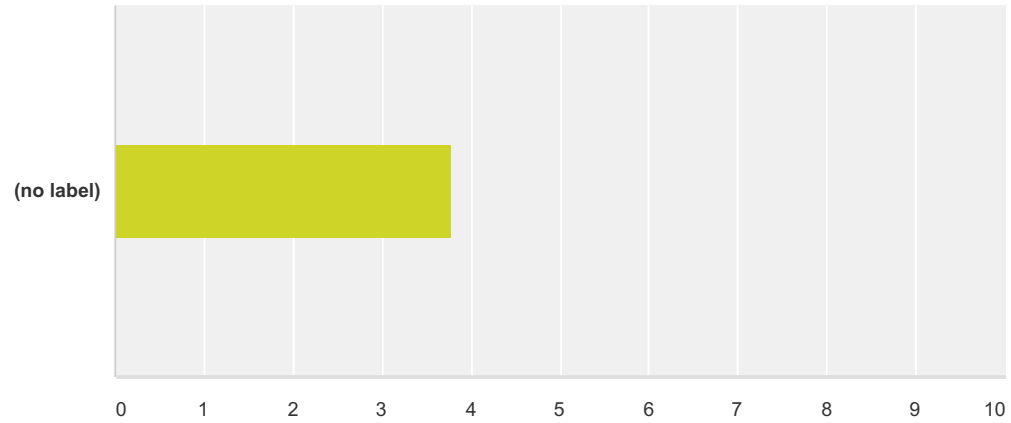
Answered: 64 Skipped: 11



| | Not Important | Somewhat Important | Neutral | Important | Very Important | Total | Weighted Average |
|-------------------|---------------|--------------------|-------------|--------------|----------------|-------|------------------|
| Conference Center | 3.13% 2 | 6.25% 4 | 14.06% 9 | 48.44% 31 | 28.13% 18 | 64 | 3.92 |
| Library | 6.25% 4 | 0.00% 0 | 9.38% 6 | 31.25% 20 | 53.13% 34 | 64 | 4.25 |
| Computer Lab | 1.56% 1 | 4.69% 3 | 3.13% 2 | 28.13% 18 | 62.50% 40 | 64 | 4.45 |

Q21 How important are retail and dining outlets on VA campuses?

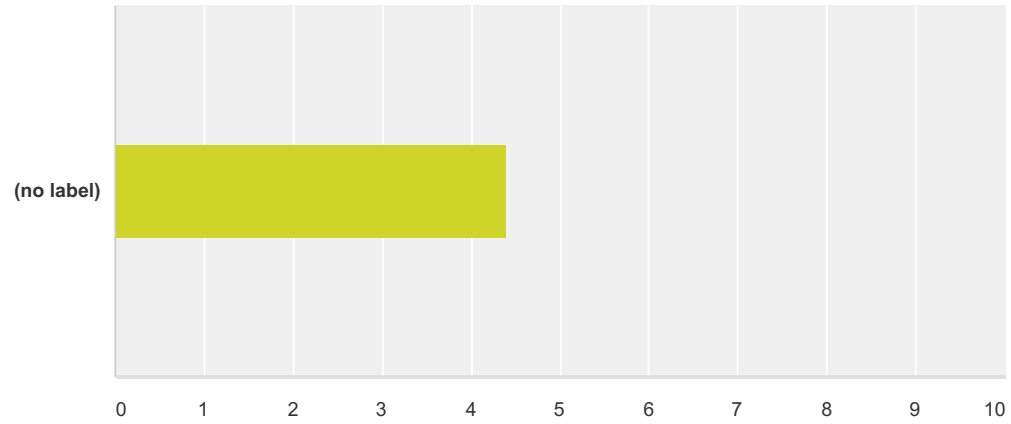
Answered: 64 Skipped: 11



| | Not Important | Somewhat Important | Neutral | Important | Very Important | Total | Weighted Average |
|------------|---------------|--------------------|--------------|--------------|----------------|-------|------------------|
| (no label) | 6.25% 4 | 1.56% 1 | 21.88% 14 | 50.00% 32 | 20.31% 13 | 64 | 3.77 |

Q22 How important is it to you to have a Veteran job training center on VA campuses?

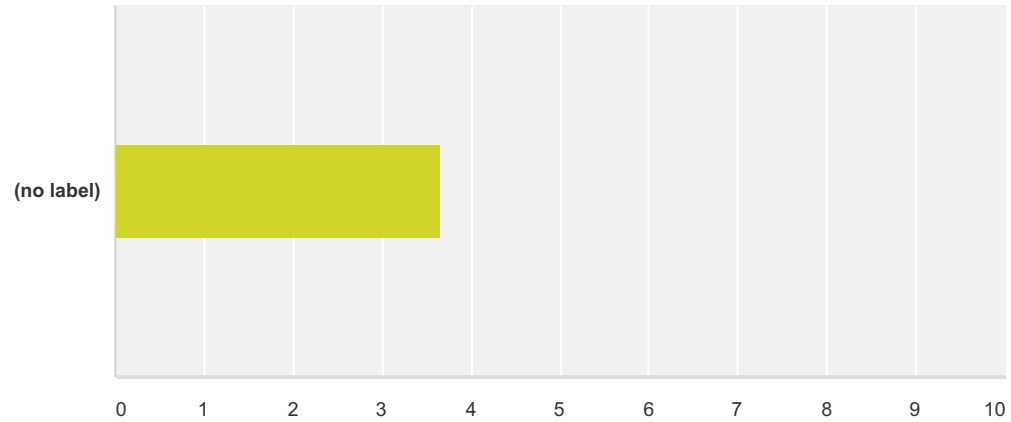
Answered: 64 Skipped: 11



| | Not Important | Somewhat Important | Neutral | Important | Very Important | Total | Weighted Average |
|------------|---------------|--------------------|------------|--------------|----------------|-------|------------------|
| (no label) | 3.13% 2 | 1.56% 1 | 4.69% 3 | 32.81% 21 | 57.81% 37 | 64 | 4.41 |

Q23 How important are art and entertainment outlets, such as movie theater or concert hall, on VA campuses?

Answered: 64 Skipped: 11



| | Not Important | Somewhat Important | Neutral | Important | Very Important | Total | Weighted Average |
|------------|---------------|--------------------|--------------|--------------|----------------|-------|------------------|
| (no label) | 12.50% 8 | 3.13% 2 | 18.75% 12 | 37.50% 24 | 28.13% 18 | 64 | 3.66 |

Q24 Please include any additional suggestions or comments for the West Los Angeles VA campus. Thank you!

Answered: 27 Skipped: 48

#HelpHouseLAVets
Share Your Vision for Veterans Housing in Los Angeles

[View this email in your browser](#)



How You Can Help

This e-newsletter is designed to ensure that you as a stakeholder have the latest information on how to participate in this process to transform the VA West Los Angeles Campus into a more welcoming community for Veterans. View the following sections to learn how you can provide input. **Then help spread the word.** The future of our Veterans depends on it!

SHARE
YOUR
VISION




TAKE THE QUESTIONNAIRE

A community-based planning process for the VA West Los Angeles Campus is underway.

Take the Community Questionnaire to weigh in.
([Start Here](#))

GET UP TO SPEED

Learn more on www.helphouselavets.com.

Need information to share with your group?

([Download the Toolkit](#))

Need a refresher on the Master Plan Process?

([Read the Fact Sheet](#))

Get your frequently asked questions answered.

([Read the FAQs](#))



WHERE ARE WE NOW?

Project & Community Kickoff

**Data Collection & Analysis/
Define Master Plan Goals**

Develop Master Plan Options &
Gather Feedback

Evaluate Master Plan Options &
Listen More

Review & Share Master Plan Report

PARTICIPATE IN MEETINGS & EVENTS

Attend Our Weekly Design Open Houses Every Tuesday In August - [Check Back Soon For Information on Extended Evening Hours TBA!](#) ([RSVP](#)) ([Flyer](#))

Pop-Up Workshop at Fifth Annual Veterans Summer Celebration & Picnic **Sat., Aug. 1** ([More Info](#))

KNOW THE PROCESS

Learn more about the West Los Angeles VA Master Plan process. ([More Info](#))
Catch up by viewing recap of our Community Kickoff meeting ([Learn More](#))

Share with friends. Get the word out.

Share Your Vision on Social Media Using [#HelpHouseLAVets](#)

Keep an eye out for details about a special #HelpHouseLAVets Social Media Day on Tues. Aug 4th!



Share



Tweet



Share



Forward

THANK YOU FOR PARTICIPATING

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Los Angeles, CA 90073

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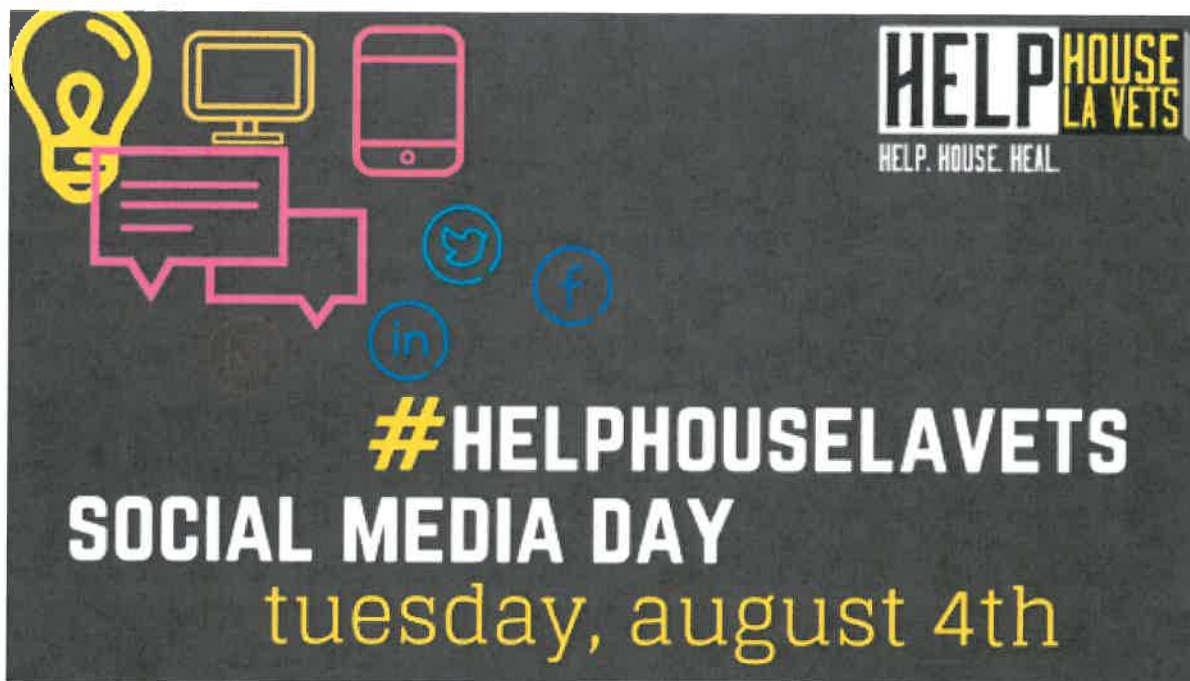
Questions?
(310) 879-5773
hello@helphouselavets.com

[unsubscribe from this list](#) [update subscription preferences](#)

MailChimp

#HelpHouseLAVets
Social Media Day - Spread the Word - August 4th

[View this email in your browser](#)



Will You Share the #HelpHouseLAVets Call to Action on August 4th?

Dear Government Representatives:

To raise awareness about how Los Angeles area stakeholders can provide input on the West Los Angeles VA Master Plan, on **Tuesday, August 4th**, we are asking government offices to share the helphouselavets.org website and encourage their constituents to take our online questionnaire to share their vision for the West Los Angeles VA Master Plan.

[View the social media release to obtain content links and images for your convenience.](#)

[View Social Media Release](#)

Please feel free to call the West Los Angeles VA Master Plan Outreach Team at **(310) 879-5773** or email: hello@helphouselavets.com with any questions. Thank you for all of your hard work and collaboration on this effort!

#HelpHouseLAVets

You can engage with us offline too!

[View this email in your browser](#)

Upcoming Events

Here's an update on upcoming opportunities to learn more from the West Los Angeles VA Master Plan team and share your ideas in person. Please also note we have extended evening hours for our Design Open Houses on August 11 & 25. Find the event that fits your schedule and mark your calendar!



West Los Angeles VA Master Plan Public Participation Opportunities

Attend Our Weekly Design Open Houses Every Tuesday In August! ([RSVP](#)) ([FLYER](#))

- **August 11:** 1:30 p.m. - 8 p.m. (*extended evening hours*)
- **August 18:** 1:30 p.m. - 4:30 p.m.
- **August 25:** 1:30 p.m. - 8 p.m. (*extended evening hours*)

All are located at the [VA West Los Angeles Campus](#) in the VA's new Welcome Center (Building 257).



Share with friends. Get the word out.



Facebook



Twitter



Website

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Los Angeles, CA 90073

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Questions?
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#HelpHouseLAVets
Check out our web stream!

[View this email in your browser](#)



Design Open House - Aug 11th

Can't make it to the Design Open House this week? That's not a problem! We will also be streaming this week's Design Open House online. See below on how to participate in person or online.



August 11: 1:30 p.m. - 8 p.m. (extended evening hours)

Afternoon Session

1:30 p.m. - Welcome/Introduction

1:45 p.m. - Guiding Principles and Previous Meeting Overview

2 p.m. - Breakout Sessions

3:30 p.m. Breakout Session Recap

5 p.m. Break (no webcast)

Evening Session

6 p.m. - Welcome/Introduction

6:10 p.m. - Vision and Key Drivers

6:15 p.m. - Priority Exercise

7 p.m. - Group Discussion

8 p.m. - Open House Concludes

All are located at the [VA West Los Angeles Campus](#) in the VA's new Welcome Center (Building 257).

Join us via web stream at <http://www.ustream.tv/channel/gla-press-room>

For those participating online you can send your questions and comments to hello@helphouselavets.com.



Share with friends. Get the word out.



Facebook



Twitter



Website

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Where you can find the West Los Angeles VA Master Plan Team
 Upcoming Events: Aug. 17 through Aug. 21

[View this email in your browser](#)



Reminder: Outreach Events 8/17-8/21



DESIGN OPEN HOUSES

Tuesday, Aug. 18 1:30 p.m. to 4:30 p.m. ([RSVP](#))

Tuesday, Aug. 25 1:30 p.m. to 8 p.m.

([RSVP](#)) ([Flyer](#))

Missed Last Week's Open House?

([View the Webcast](#))



HOMELESS VETERAN TOWN HALL

Thursday, Aug. 20 6 p.m. to 8:30 p.m. ([RSVP](#))

Grace Black Auditorium

3130 Tyler Ave

El Monte , CA 91731 ([Map](#))

Co-Hosted by the Honorable Hilda Solis, Los Angeles County Supervisor



POP-UP WORKSHOP AT THE FARMERS MARKET

Wednesday, Aug. 19

3 p.m. - 5 p.m.

VA West Los Angeles Campus (near Bldg 500)

([Map](#))

Share with friends. Get the word out.

Take Our Questionnaire

www.helpouselavets.com/survey

Share

Tweet

Share

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Where you can find the West Los Angeles VA Master Plan Team
Upcoming Events: Aug. 24 through Aug. 28

[View this email in your browser](#)



Reminder: Outreach Event 8/25



DESIGN OPEN HOUSE

Tuesday, August 25 from 1:30 p.m. to 8 p.m. ([RSVP](#)) ([Flyer](#))

Join us for extended evening hours to share your thoughts about the Master Plan with the team! Drop by during the afternoon session, 1:30 p.m. to 5 p.m. or evening session, 6 p.m. to 8:00 p.m.

CATCH UP ON THE LATEST



Continuing the Conversation

On Tuesday, August 11, the Master Plan Design team hosted a design open house to gather community feedback for the West Los Angeles VA Master Plan.

[\(Blog\)](#)



Service Providers For Homeless Veterans Weigh in on Housing Needs

The Master Plan Design team met with roughly 200 homeless service providers from throughout the region, who serve a majority of our local veterans.

[\(Blog\)](#)

Share with friends. Get the word out.

We Want to Hear From You!

www.helpouselavets.com/comments



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Tweet



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Learn where you can find the West Los Angeles VA Master Plan Team and updates on recent events!

[View this email in your browser](#)



Upcoming Outreach Event



POP-UP WORKSHOP AT WOMEN WARRIORS FREEDOM FEST

Friday, September 11 from 10 a.m. to 2 p.m. ([RSVP](#))

Rose Garden, located behind Building 220

11301 Wilshire Blvd.

Los Angeles, CA 90073

This event is open to the general public and aims to help educate, employ, unite and empower women veterans. Stop by to ask questions and provide input about the West Los Angeles VA Master Plan at our pop-up workshop from 10 a.m. to 2 p.m. RSVP directly with the GLA VA HCS, Women Veteran Patient Advisory Council [here](#).

CATCH UP ON THE LATEST



Six Weeks of Design Open Houses Come to a Close

On August 18 and 25, the VA Master Plan Design Team conducted the final design open houses prior to the release of the draft document. The meetings brought Veterans, neighbors and community members together to share their vision for the future of the West LA VA campus.

([Blog](#))



Los Angeles County Supervisor Weighs In on Homeless Veterans

On August 20, Supervisor Hilda Solis co-hosted a Veterans Town Hall meeting in El Monte to discuss homelessness, veteran services and benefits, and the West Los Angeles VA Master Plan.

([Blog](#))

Dates for upcoming Veterans Town Hall meetings will be announced soon. In the meantime, we encourage you to comment and share your ideas at

helphouselavets.com/comments

Share with friends. Get the word out.

We Want to Hear From You!

www.helphouselavets.com/comments



Share



Tweet



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Questions?

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View upcoming event details. Have you downloaded our Outreach Toolkit yet?

[View this email in your browser](#)



Outreach Event This Thursday



MASTER PLAN UPDATE AT VA HOMELESS VETERAN TOWN HALL

Thursday, September 17 from 5 p.m. to 6:30 p.m. ([RSVP](#))

Century Villages at Cabrillo

2001 River Ave

Long Beach, CA 90801

([map](#))

The next VA Homeless Veteran Town Hall is hitting the road again and will be in Long Beach. During this meeting, VA will provide an update on its Homeless Strategy and members of the Master Plan Team will be present to provide a status update. All are welcome!

CATCH UP ON THE LATEST



PRESENTATION

Download, view and share! The latest presentation slides on the Master Plan can be found on our [Outreach Toolkit page](#). The Outreach Toolkit is a resource to allow you to download hard copies of our fact sheet, questionnaire, sign up sheets and more to help spread the word. Feel free to use the materials at your organization's next meeting.

Dates for upcoming Veterans Town Hall meetings will be announced soon. In the meantime, we encourage you to comment and share your ideas at

helphouselavets.com/comments

Share with friends. Get the word out.

We Want to Hear From You!

www.helphouselavets.com/comments



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#HelpHouseLAVets

Share Your Vision for Veterans Housing in Los Angeles

[View this email in your browser](#)

Please Speak Up!

Thank you for attending an outreach event for the West Los Angeles VA Master Plan. Your involvement is crucial to the progress and eventual success of the VA Master plan and we appreciate your continued participation and support!

So, now we invite you to take the next step by filling out our West Los Angeles VA Master Plan [online survey](#) to share your thoughts and ideas about the plan and help us end homelessness among our Veterans in LA.

Click below to take the survey and share your vision:

helphouselavets.com/survey



TAKE THE QUESTIONNAIRE

A community-based planning process for the VA West Los Angeles Campus is underway.

Take the Community Questionnaire to weigh in.

[\(Start Here\)](#)

GET UP TO SPEED

Learn more on www.helphouselavets.com.

Need information to share with your group?

[\(Download the Toolkit\)](#)

Need a refresher on the Master Plan Process?

[\(Read the Fact Sheet\)](#)

We want to hear from you!

Get your frequently asked questions answered.

[\(Read the FAQs\)](#)

Share with friends. Get the word out.

Share Your Vision on Social Media Using [#HelpHouseLAVets](#)

Keep an eye out for details about a special #HelpHouseLAVets Social Media Day on Tues. Aug 4th!



THANK YOU FOR PARTICIPATING

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Los Angeles, CA 90073

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View upcoming event details. Can't attend? Participate from home and [share your vision](#) online.

[View this email in your browser](#)



You're Invited!



U.S. Department of Veteran Affairs Master Plan Town Hall

Wednesday, October 7 from 6 p.m. to 8 p.m. ([RSVP](#))

Wadsworth Theater

11301 Wilshire Blvd

Los Angeles, CA 90073

United States

([map](#))

During this meeting VA will provide an update on its Homeless Strategy and members of the Master Plan Team will be present to provide a status update. This will likely be the last town hall before the draft Master Plan is released in mid October. Come share your ideas with us, we want to hear from you!


Click the images to download the flyer and map

U.S. Department of Veterans Affairs


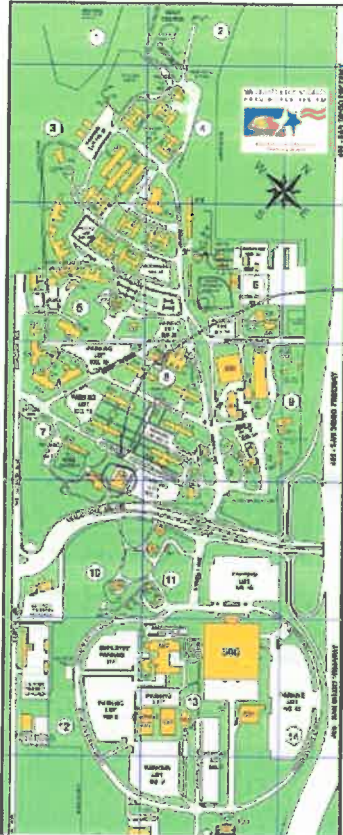
Master Plan

Town Hall

Wednesday, October 7, 2015
6:00pm to 8:00pm
Wadsworth Theatre



For more information call the
Office of Communications (310) 268-3790

VA - West Los Angeles Campus Index

| Number | Location | Address |
|--------|--------------------|--------------------|
| 1 | 1000 Wilshire Blvd | 1000 Wilshire Blvd |
| 2 | 1100 Wilshire Blvd | 1100 Wilshire Blvd |
| 3 | 1200 Wilshire Blvd | 1200 Wilshire Blvd |
| 4 | 1300 Wilshire Blvd | 1300 Wilshire Blvd |
| 5 | 1400 Wilshire Blvd | 1400 Wilshire Blvd |
| 6 | 1500 Wilshire Blvd | 1500 Wilshire Blvd |
| 7 | 1600 Wilshire Blvd | 1600 Wilshire Blvd |
| 8 | 1700 Wilshire Blvd | 1700 Wilshire Blvd |
| 9 | 1800 Wilshire Blvd | 1800 Wilshire Blvd |
| 10 | 1900 Wilshire Blvd | 1900 Wilshire Blvd |
| 11 | 2000 Wilshire Blvd | 2000 Wilshire Blvd |
| 12 | 2100 Wilshire Blvd | 2100 Wilshire Blvd |
| 13 | 2200 Wilshire Blvd | 2200 Wilshire Blvd |
| 14 | 2300 Wilshire Blvd | 2300 Wilshire Blvd |

Share with friends. Get the word out.

- Share
- Tweet
- Forward

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VA West Los Angeles Master Plan updated their cover photo.

Published by Andrea Campbell [?] · August 3 ·



193 people reached

Boost Post

Like Comment Share

Ron Jones, Annette Gutierrez, Russell Silber and 3 others like this. Most Recent

1 share



Tina Whitley Thank God for the VA in West Los Angeles and the community that supports veterans here.

Like · Reply · September 13 at 8:20am



VA West Los Angeles Master Plan Thank you for your comment Tina! We'd appreciate your feedback on Master Plan. Please fill out this short questionnaire, thanks!

<http://www.helpouselavets.com/survey>



Help House LA Vets

The Master Plan is an action to help end homelessness among veterans in Los Angeles....

HELPHOUSELAVETS.COM

Like · Reply · Remove Preview · Commented on by Andres Ramos [?] · September 15 at 5:47pm



VA West Los Angeles Master Plan updated their profile picture.

Published by Andrea Campbell [?] · August 3 ·



173 people reached

Boost Post

Like Comment Share

Ron Jones, Russell Silber and Isabel Santiago like this. Most Recent

1 share



Mary Randall

Like · Reply · August 5 at 2:03pm



Write a comment...





VA West Los Angeles Master Plan

Published by Andrea Campbell [?] · August 5 · 🌐

Want to engage with us in-person? Here is a schedule of upcoming events. <http://www.helpouselavets.com/eventscalendar> <http://bit.ly/1pLQMq> #helpouselavets



OPEN HOUSE FLYER

Events & Meetings

Share Your Vision for Veterans Housing in LA. Your West LA VA Master Plan #HelpHouseLAVets

HELPHOUSELAVETS.COM

1,698 people reached

Boosted

Like Comment Share

Beverly McFadden, Kausar Bashir, Felicia Gomez Verdin and 29 others like this.

4 shares

Lawrence Jones Be encouraged
Like · Reply · August 6 at 6:09am

Stacey Staples no c
Like · Reply · August 6 at 7:36am

VA West Los Angeles Master Plan We understand there are questions about the outreach being conducted. In addition to engagement via digital channels we are also reaching out to veterans through boots on the ground via community based organizations, meetings and focus groups with Vete... See More
Like · Reply · Commented on by Andrea Campbell [?] · August 6 at 12:56pm · Edited

Write a comment... 📷 😊



VA West Los Angeles Master Plan

Published by Andres Ramos [?] · August 5 · 🌐

Engagement going strong. In the picture, a veteran and his family giving us some great ideas!



540 people reached

Boost Post

Like Comment Share

Darlene C. Matthews, Martha Elena Michel, Beverly McFadden and 8 others like this.

1 share



VA West Los Angeles Master Plan #helpouselavets

Like · Reply · Commented on by Andrea Campbell [?] · August 5 at 2:34pm



Darlene C. Matthews Are there to be more helps for those with disability without substance abuse? The substance abuse programs are unfriendly and in other ways not accessible or safe for us.
Like · Reply · August 24 at 1:02pm



Darlene C. Matthews How can you help OC veterans who dont' want to live in a big city?
Like · Reply · August 24 at 1:03pm



VA West Los Angeles Master Plan Thank you for your comments. Currently, the plan's main focus is housing homeless veterans and fixing the environmental infrastructure. The team is working hard to craft the Master Plan with members of the public. To learn more about what this phase of the plan covers, check out the Learn More page on our website. <http://www.helpouselavets.com/learnmore>



About the West Los Angeles VA Master Plan

HELPHOUSELAVETS.COM



VA West Los Angeles Master Plan

Published by Andres Ramos [?] · August 6 ·

Breaking News: Senator Barbara Boxer Senator Dianne Feinstein Rep. Ted Lieu propose legislation to #helphouselavets at the West LA VA campus. The legislation would grant the VA authority to enter into partnerships with local governments and nonprofit groups to help shelter and provide services to the over 4,400 chronically homeless veterans in LA County.



Boxer, Feinstein back plan to move homeless vets to VA campus

California's two U.S. senators will propose legislation Thursday that would move some of the thousands of veterans living in makeshift encampments across the...

LATIMES.COM | BY LOS ANGELES TIMES

1,895 people reached

Boost Post

Like Comment Share

Martha Elena Michel, Ellyse Adele Vitiello, Bella Boc and 28 others like this. Most Recent - this.

17 shares

- Bob Baker** It's about time. Unlike · Reply · 1 · August 6 at 11:04am
- Nora Edwards** Immediately!! Unlike · Reply · 1 · August 6 at 12:17pm
- Bobby Iruia** Tony George Cecilia Gonzalez Like · Reply · August 6 at 1:52pm
- Judith Moser McGavin** No, they need to go to boxers and feinsteins homes! Like · Reply · August 6 at 10:34pm
- Krisianna Trager** Awesome!!! Like · Reply · August 7 at 8:06am
- Elizabeth Hernandez** About time! Like · Reply · August 7 at 9:02pm

Write a comment...



VA West Los Angeles Master Plan

Published by Andres Ramos [?] · August 13 ·

If you were unable able to attend the weekly design open house on Tuesday 8/11 or were having trouble accessing the live stream here is the recorded webcast <http://www.ustream.tv/channel/gla-press-room>

After you watch, make sure to participate in the online questionnaire! <http://www.helphouselavets.com/survey>



GLA Press room

VAGLAHS is one component of the VA Desert Pacific Healthcare Network (VISN22) offering services to Veterans residing in Southern California. VAGLAHS consists of three ambulatory care centers, a tertiary care facility and eight...

USTREAM.TV

584 people reached

Boost Post

Like Comment Share

James Johnson, Alice Ward, Karla Gutierrez and 5 others like this. Most Recent -

1 share

Audrey Aio Pay attention to the content. The land was deeded in 1888 to benefit Veteran's only. Not the public, or 1%, or VA administrator's. If it is not truly benefitting Veteran's then it is not pono. You are being bamboozled. Like · Reply · August 16 at 11:08pm

VA West Los Angeles Master Plan Thanks for your input Audrey! We'd really appreciate you taking your engagement one step further by participating in our survey: <http://www.helphouselavets.com/survey> Or maybe you can share with friends? Either way thanks again for commenting.



Take the Questionnaire

Lorem ipsum dolor sit amet, eruditi conceptam abhorreant ne nec, sed cu equidem splendide... HELPHOUSELAVETS.COM

Like · Reply · Remove Preview · Commented on by Andres Ramos [?] · August 17 at 3:25pm



VA West Los Angeles Master Plan

Published by Andres Ramos [?] · August 18 ·

Join us! Today is the weekly design open house at the West LA VA Campus from 1:30pm to 4:30pm. Details can be found on our website, see you there!



Weekly Design Open House

West Los Angeles VA Master Plan

HELPHOUSELAVETS.COM

251 people reached

Boost Post



Like Comment Share

Julio Castro and Theresa Hiney like this.

Most Recent -



Kim Ramos Julie Gonzales

Like · Reply · August 20 at 4:46pm



Write a comment...



VA West Los Angeles Master Plan

Published by Janet Ouch [?] · August 20 ·

The Master Plan Design team met with roughly 200 homeless service providers from throughout the region, who serve a majority of our local Veterans. Read our blog for more details and tell us your thoughts! Agree? Disagree? Have something to add? Tell us in the comments below! #HelpHouseLAVets



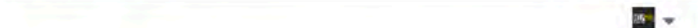
Service Providers for Homeless Veterans Weigh In on Housing Needs

West Los Angeles VA Master Plan

HELPHOUSELAVETS.COM

988 people reached

Boost Post



Like Comment Share

Julio Castro, Miles Toth, Carole Ford-Shepherd and 21 others like this.

Most Recent -

25 shares



Roquel Elisheva Haqer Duh

Like · Reply · August 21 at 12:48am



Carrie Nowocin LOL

Like · Reply · August 22 at 12:22am



VA West Los Angeles Master Plan

Published by Andres Ramos [?] · August 24 ·

Please join us tomorrow 8/25 for the Design Open House. Drop by any time during the afternoon session from 1:30pm to 5pm or the evening session 6pm to 8pm. As always we would greatly appreciate your input. Hope to see you there!



2,060 people reached

Boost Post

Like Comment Share

Veteran Cruz, Carol Price, Rita Simonian Most Recent and 3 others like this.

23 shares

Darlene C. Matthews can we find out the tentative plans before coming in so we can comment ?
Like · Reply · August 24 at 1:04pm

VA West Los Angeles Master Plan The project team is actively working on the Master Plan. The Master Plan should be available in the next coming weeks. We encourage you to continue to participate and give us your feedback on how to improve the Master Plan at the VA West Los Angeles Campus. Please take our quick survey and share your thoughts <http://www.helphouselavets.com/survey>.



We Want to Hear From You!
The Master Plan is an action to help end homelessness among veterans in Los Angeles. As part of that goal,

Like · Reply · Remove Preview · 1 · Commented on by Andres Ramos [?] · August 24 at 4:14pm

Darlene C. Matthews Uh oh how can i get my First response off there i did not understand you would be posting how i know about west la.
Like · Reply · August 24 at 6:34pm

VA West Los Angeles Master Plan Darlene C. Matthews your comment was removed as requested.
Like · Reply · Commented on by Andrea Campbell [?] · August 24 at 9:27pm

Darlene C. Matthews Thanks.
Like · Reply · August 24 at 9:28pm



VA West Los Angeles Master Plan

Published by Andrea Campbell [?] · September 8 at 10:47am ·

The VA Greater Los Angeles Healthcare System Women Veteran Patient Advisory Council will host the first Women Warrior Freedom Fest this Friday, September 11 from 10:00 a.m. - 4:00 p.m. We'll be there from 10a-2p hosting a pop-up workshop on the Master Plan. For details and to RSVP directly with the event hosts visit the link.



"Women Warrior Freedom Fest" September 11, 2015

Greater Los Angeles (GLA) Veterans Administration (VA) Health Care System (HCS) Women Veteran Patient Advisory Council Presents: "Women Warrior Freedom Fest" * September 11, 2015 * 10 am to 4pm Rose Garden GLA VA...

EVENTBRITE.COM

277 people reached

Boost Post

Like Comment Share

VA West Los Angeles Master Plan, Roquel Elisheva Haqer, Amy Edwards and 2 others like this.

2 shares

Debbie Barajas-lopez Sheena Lene
Like · Reply · September 9 at 1:55am



Write a comment...

VA West Los Angeles Master Plan created an event.
September 11 at 6:09pm · 🌐



17 SEP Homeless Veterans Town Hal...
Thu 5 PM · Century Villages at ...
by VA West Los Angeles Maste...

Going ▾

2,044 people reached

Like Comment Share

Tom Fields, Randall Ott, Denise Galindo Prewitt and 51 others like this.

Russell Silber Same here they lost my records. And it's my fault. You got to love it .
September 11 at 8:45pm · Like · 🔄1

Bernice Duncombe Sterling Ok great start for helping our military people
September 12 at 10:41am · Like

Russell Silber No in Long Beach.It's the Brentwood campus
September 12 at 12:03pm · Like

Frank Marco Manzi What about the Military housing, at the former MCAS in Irvine! Could house a lot of homeless!
September 14 at 8:58pm · Like

Frank Marco Manzi I hand carried My records to the Long Beach, Veteran's Hospital! I received a receipt for the records! I had no problem and still do not! I have only one complaint about the Long Beach VA! The Parking Lot is Always Full! Charlie Team, is Great!



September 14 at 9:06pm · Like

Russell Silber Good for you just don't jump that's a Long Beach history check it out
September 14 at 9:09pm · Like

Denise Galindo Prewitt I'm a service member that lives in Long Beach. I went from active duty--to military spouse--to reservist-- to active reservist. One thing that the military does is teach young men and women how to be disciplined and strong; however, it also takes aw... [See More](#)
September 16 at 11:12pm · Edited · Like

VA West Los Angeles Master Plan shared their event.
Published by Andres Ramos [?] · September 24 at 2:02pm · Edited · 🌐

Join us Wednesday, October 7 for a Master Plan Town Hall. This will likely be the last town hall before the draft master plan is released in mid October. Come share your ideas with us, we want to hear from you!



07 OCT Master Plan Town Hall (West LA)
Wed 6 PM · Wadsworth Theatre - West LA VA Camp...
by VA West Los Angeles Master Plan

+ Join

425 people reached

Boost Post

Like Comment Share

Tith Chansreypao, Sherrie Bukshpan, Roberto Ramirez Gonzalez and 16 others like this.

Avery Rawls Health accessibility, their soul,ie emotions has injury. phyc, Spiritual truth,the HOLY SPIRIT IS OUR TEACHER. JOHN CH14VS26.
Like · Reply · September 24 at 4:06pm · Edited

Robin Gudmundson Can't happen soon enough.It's about time
Like · Reply · September 24 at 5:18pm

VA West Los Angeles Master Plan We look forward to seeing you there!
Like · Reply · Commented on by Andres Ramos [?] · September 24 at 5:19pm

Write a comment...



Jill Volat ▸ VA West Los Angeles Master Plan

August 3 · Los Angeles, CA · 🌐

I would like to help with edible gardens...



Edible Gardens

Take a tour of the farm...right here in the city!

FARMISTALA.COM

👍 Like 💬 Comment ➦ Share



Christine Clayburg ▸ VA West Los Angeles Master Plan

August 17 · 🌐

If you are going to DO this on PRIME WEST LA REAL ESTATE PLEASE PLEASE PLEASE don't promote yet another homeless vet stereotype to raise \$ for this. Call it #VetsRising and have two buildings..one for those recovering from homelessness and one for vets pursuing post-duty careers in LA who need a place to sleep in LA to AVOID becoming homeless! There is NO BRIDGE for us. NONE. I've looked.

I currently know of a 6+ retired Army Ranger chaplain and award winning screenwriter who sleeps on the floor at the USO once a week when he flies in from Colorado to attend the Writers Guild Foundation Veterans Writing Retreat 2015. Another drives from San Francisco EVERY WEEK and crashes on couches. My West VA counselor doesn't want me to drive an hour and a half to home at midnight after seeing her here and then going to the WGA until 10- but there is NOWHERE for #VetsRising to go to sleep in this town as we re-build our careers. STOP THE STIGMA. NO VET coming home can afford to live or stay in LA for an opportunity, but that doesn't mean we are homeless. We don't need a long term solution, just a quick professional place to check in and check out, in a safe area in la, for less than \$300/night. Leaving us out of the equations perpetuates the sterotype and isolates the homeless.

👍 Like 💬 Comment ➦ Share



Rebecca Johnson Branham ▸ VA West Los Angeles Master Plan

August 4 · 🌐

i think yhr government owes these vets lots but they no longer care about what the vets have done to keep freedom. they are helping other countries but not the vets the forget the courage and sacrifices these wonderful people have gave.. thank you all veterans.your are the best

👍 Like 💬 Comment ➦ Share



VA West Los Angeles Master Plan

Written by Andrea Campbell [?] · September 29 at 7:00pm · 🌐

Comment today to help house LA's homeless Veterans.



Help LA's Homeless Veterans

WWW.HELPHOUSELAVETS.COM

12,876 people reached

Boost Post

👍 Like 💬 Comment ➦ Share

Nelly Haro, Jurline Redeaux, Lea Ross and 53 others like this.

Most Recent ▾

13 shares



Lawrence Jones Be encouraged!

Unlike · Reply · 1 · September 29 at 7:54pm



WJ Bellamy This neglect has go to stop

Unlike · Reply · 1 · September 29 at 10:41pm



Martin Zarate Please help this Heroes.

Unlike · Reply · 1 · September 29 at 11:39pm



Zenaida Loreto About time... better late than never

Unlike · Reply · 1 · September 30 at 7:07am



Eleanor Scott Good, let work began to help the homeless.

Unlike · Reply · 1 · September 30 at 7:12am



DuckBill Maggie Cooper-Harris Tra Cooper-Harris

Unlike · Reply · 2 · September 30 at 8:13am



William Scales That is great please help!!! This is building 556.Wasworth

Unlike · Reply · 1 · September 30 at 12:36pm



James Stukes MY question is " why does the WLA VA lease land to organizations like UCLA while there are so many homeless veterans here?". Homeless people tend to need the most Medical attention because of their environment

Ending their homelessness might actually ease the load at the hospital.

Unlike · Reply · 1 · September 30 at 1:53pm



VA West Los Angeles Master Plan Thank you for participating. Please excuse the long post but your question is an important one. Through the ongoing Master Planning process, we are evaluating the best use of the campus to ensure it is Veteran focused moving forward. The Principles Agr... [See More](#)

[Like](#) · [Reply](#) · Commented on by [Andrea Campbell](#) [?] · 38 mins



Jean Clinton Good question James Stukes

Unlike · Reply · 1 · September 30 at 4:01pm



Alice Venegas Help our Veterans! !

Unlike · Reply · 1 · September 30 at 4:55pm



VA West Los Angeles Master Plan Thanks all for your interest. Please be sure to comment on <http://www.helpouselavets.com/survey>. Your input is needed.



Help House LA Vets

The Master Plan is an action to help end homelessness among veterans in Los Angeles. As part of that goal,...

HELPHOUSELAVETS.COM

Unlike · Reply · [Remove Preview](#) · 1 · Commented on by [Andrea Campbell](#) [?] · September 30 at 5:54pm · Edited



Kava US Are you sure help ?

[Like](#) · [Reply](#) · September 30 at 9:20pm



Kawika David Muca When do I move in..in about to be homeless. lol

[Like](#) · [Reply](#) · Yesterday at 8:30am



Parker Lydia Work with them,help them get back on track.

[Like](#) · [Reply](#) · 16 hrs



Rodney Rowe All good. Should be the decision of the veteran, not some panel of WLA citizens who have an agenda that some pushes the veterans to the side.

[Like](#) · [Reply](#) · 15 hrs



Rosemarie Lorraine Ranallo Please help our homeless Veterans .

[Like](#) · [Reply](#) · 15 hrs



L Hernandez Esp Please 'please help the veterans - have a heart

[Like](#) · [Reply](#) · 5 hrs



Write a comment...



 VA Master Plan LA Retweeted



Sheila Kuehl @SheilaKuehl · Aug 3

Share your vision for the West Los Angeles VA campus and #HelpHouseLAVets - kueh.ly/LAVets


  2  2 

 VA Master Plan LA Retweeted



Francisco @USMC2397752 · Aug 4

Sign up for updates on the West LA VA Master Plan. I just joined. Let's #HelpHouseLAVets! helphouselavets.com/join?recruiter...

  1  1 

 VA Master Plan LA Retweeted



S Debra Evans @eastladebra · Aug 3

House'm All!! RT @SheilaKuehl: Share your vision for the West Los Angeles VA campus and #HelpHouseLAVets - kueh.ly/LAVets

  2  2 

 VA Master Plan LA Retweeted



John Ismay @johnismay · Sep 1

LA Mayor @ericgarcetti says city won't end veteran homelessness by 2016 scpr.org/news/2015/09/0... cc @LAHomeless @VAMasterPlanLA @HomeForGoodLA

  4  2 

[View summary](#)

 VA Master Plan LA Retweeted

westside.today.com

Westside Today @WestsideLAToday · Aug 7

. @SenFeinstein @SenatorBoxer & @RepTedLieu are calling for additional #veteran housing: ow.ly/QDg6O @VAMasterPlanLA

  1  1 

VA Master Plan LA Retweeted



Aspiration @aspiration · Aug 5

Critical work being done here in LA to address Veteran homeless:
helphouselavets.com #HelpHouseLAVets #Veterans



2



4



G2

Existing Shuttle Schedule

Stakeholder Meetings **G1**

Existing Shuttle Schedule **G2**

Possessory Use Agreements **G3**

G2. Existing Shuttle Schedule

Table G3 (a) ROUTE 1: The driver shall transport veterans (includes caregivers) and specimens between the following locations during the estimated times:

| Location | Address | Bus Arrival | Bus Departure |
|--|------------------------------------|-------------|---------------|
| VA Bakersfield Community Based Outpatient Clinic Ambulatory Care Center (BACC) | 1801 Westwind Dr. Bakersfield, CA | 7:15 a.m. | 7:35 a.m. |
| McDonald's Restaurant | 49714 Gorman School Rd. Gorman, CA | 8:15 a.m. | 8:25 a.m. |
| Sepulveda Ambulatory Care Center (SACC) | 16111 Plummer St. North Hills, CA | 9:30 a.m. | 10:15 a.m. |
| VA West Los Angeles Campus (WLA) | 11301 Wilshire Los Angeles, CA | 11:00 a.m. | 11:20 a.m. |
| VA Los Angeles Ambulatory Care Clinic (LACC) | 351 East Temple Los Angeles, CA | 12:00 p.m. | 12:15 p.m. |
| VA Sepulveda Ambulatory Care Center (SACC) | 16111 Plummer St. North Hills, CA | 1:00 p.m. | 2:15 p.m. |
| Driver Lunch | | 1:15 p.m. | 1:45 p.m. |
| VA West Los Angeles Campus (WLA) | 11301 Wilshire Los Angeles, CA. | 2:45 p.m. | 3:10 p.m. |
| Sepulveda Ambulatory Care Center (SACC) | 16111 Plummer St. North Hills, CA | 3:45 p.m. | 4:00 p.m. |
| McDonald's Restaurant | 49714 Gorman School Rd. Gorman, CA | 4:55 p.m. | 5:00 p.m. |
| VA Bakersfield Community Based Outpatient Clinic Ambulatory Care Center (BACC) | 1801 Westwind Dr. Bakersfield, CA | 5:30 p.m. | |

*Driver shall check with laboratory at each VA to check for specimens as well as the information desk for any items that need to be delivered to other VA facilities. Bus shall be locked and closed (no patients shall be aboard) during driver lunch and break times. Driver fifteen minute break time shall be between 8:25 a.m. through 8:40 a.m. (morning) and 3:10 p.m. to 3:25 (afternoon).

G2. Existing Shuttle Schedule

**Transportation time shall vary depending on traffic conditions.

(b) The Contractor shall provide the following routes Monday through Friday (excluding holidays) but not limited to:

Table G4 ROUTE 2: The driver shall transport veterans (includes caregivers) and specimens between the following locations during the estimated times:

| Location | Address | Bus Arrival | Bus Departure |
|--|--|-------------|---------------|
| Veterans Memorial Building | 801 Grand Ave. San Luis Obispo, CA | 6:00 a.m. | 6:15 a.m. |
| VA Santa Maria Ambulatory Care Clinic (VASMACC) | 1500 East Main Santa Maria, CA | 6:45 a.m. | 7:00 a.m. |
| Carl's Jr. Restaurant | Buelleton Town Center Hwy 246 and McMurray | 7:30 a.m. | 7:45 a.m. |
| VA Santa Barbara Ambulatory Care Center (VASBACC) | 4400 Calle Real Santa Barbara, CA | 8:15 a.m. | 8:30 a.m. |
| Veterans of Foreign Wars (VFW), Veterans Memorial Building | 941 Walnut Carpenteria, CA | 9:05 a.m. | 9:10 a.m. |
| Oxnard Metrolink | 201 East 4th St. Oxnard, CA | 9:30 a.m. | 9:45 a.m. |
| VA West Los Angeles Campus (WLA) | 11301 Wilshire Los Angeles, CA | 10:40 a.m. | 11:00 a.m. |
| VA Sepulveda Ambulatory Care Center (SACC) | 16111 Plummer St. North Hills, CA | 11:30 a.m. | 12:30 p.m. |

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G2. Existing Shuttle Schedule

| Location | Address | Bus Arrival | Bus Departure |
|--|------------------------------------|-------------|---------------|
| Driver Lunch | | 11:45 a.m. | 12:15 p.m. |
| VA West Los Angeles Campus (WLA) | 11301 Wilshire Los Angeles, CA | 12:55 p.m. | 2:10 p.m. |
| VA Sepulveda Ambulatory Care Center (SACC) | 16111 Plummer St. North Hills, CA | 2:35 p.m. | 2:45 p.m. |
| VA West Los Angeles Campus (WLA) | 11301 Wilshire Los Angeles, CA | 3:30 p.m. | 3:40 p.m. |
| Oxnard Metrolink | 201 East 4th St. Oxnard, CA | 5:00 p.m. | 5:15 p.m. |
| Veterans of Foreign Wars (VFW), Veterans Memorial Building | 941 Walnut Carpentaria, CA | 5:45 p.m. | 5:55 p.m. |
| Santa Barbara Transit Center | 1020 Chapala St. Santa Barbara, CA | 6:00 p.m. | 6:05 p.m. |
| VA Santa Barbara Ambulatory Care Center (VASBACC) | 4400 Calle Real Santa Barbara, CA | 6:20 p.m. | 6:25 p.m. |
| VA Santa Maria Ambulatory Care Clinic (VASMACC) | 1500 East Main Santa Maria, CA | 7:30 p.m. | 7:35 p.m. |
| Veterans Memorial Building | 801 Grand Ave San Luis Obispo, CA | 8:00 p.m. | |

*Driver shall check with laboratory at each VA to check for specimens as well as the information desk for any items that need to be delivered to other VA facilities. Bus shall be locked and closed (no patients shall be aboard) during driver lunch and break times. Driver fifteen minute break time shall be between 8:25 a.m. through 8:40 a.m. (morning) and 3:10 p.m. to 3:25 (afternoon).

**Transportation time shall vary depending on traffic conditions.

***Contractor shall use two (2) drivers for the San Luis Obispo to VA WEST LOS ANGELES MEDICAL CENTER ROUTE in order to be in compliance with the State of California Vehicle Code 34501.2 and CCR 1212 which places limits on the number of hours bus driver may drive.

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G3

Possessory Uses

Stakeholder Meetings

G1

Existing Shuttle Schedule

G2

Possessory Use Agreements

G3

G3. Possessory Use Agreements

Table G5 Possessory Use Agreements - Recently Expired, Terminated, or Termination in Process

| | Agreement Partner | WLA VA Asset | Agreement # | Term of Agreement | Agreement Status |
|---|----------------------------------|---|----------------------------------|--------------------------|--|
| 1 | American Red Cross ("ARC") (WLA) | ARC district headquarters located on the southwest corner of VA grounds between Ohio Ave and Dowlen Drive | Revocable license V691-88-044 LI | 4/15/1989 to 4/14/2039 | Active: Termination for convenience letter sent on 9/15/15 with effective date of 9/10/16 |
| 2 | Barrington Park (WLA) | City of Los Angeles 12 acre park includes dog run, baseball diamonds, athletic fields, parking lot | ESA V691S-5276 | N/A | Expired: Termination notice issued on 6/2/15 with effective date of 10/1/15; Temporary extension until VA speaks with City |
| 3 | Richmark Entertainment (WLA) | Wadsworth and Brentwood Theaters | ESA V691S-159 | 9/23/2010 to 9/22/2016 | Expired: Termination notice issued on 6/2/15 with effective date of 10/1/15 |
| 4 | Twentieth Century Fox (WLA) | N/A (no longer on WLA campus) | V691S-5278 | Terminated in 2011 | Expired: Settlement agreement finalized |
| 5 | Veterans Park Conservancy (WLA) | Veterans Memorial Park, healing garden and incomplete amphitheater on 16 acres of the campus | 2014-1111 V691S-5294 | 11/11/2014-02/25/2015 | Expired: Currently in discussions |
| 6 | Westside Breakers (WLA) | Macarthur Field and adjacent parking lot 38 located on the northwest side of campus | ESA V691S-5309 | 08/06/2010-12/06/2011 | Expired: Termination effective 8/31/15 |
| 7 | Westside Services Parking (WLA) | Vehicular parking areas throughout campus | ESA V691S-154 | 04/01/2002 to 07/14/2022 | Active: Termination initiated per terms of agreement with effective date of 5/26/16 |

Source: From VA on October 14, 2015.

G3. Possessory Use Agreements

Table G6 Possessory Use Agreements - Under Discussion

| | Sharing Partner | WLA VA Asset | Agreement # Revocable License | Term of Agreement | Agreement Status |
|---|---|---|--|---|---|
| 1 | Breitburn Energy/ Westside Operating Partners (WLA) | 2.5 acre site in an industrial area of the campus | License No. 691-97-010LI/ESA V691S-5140 | No End Date | Active |
| 2 | Brentwood School (WLA) | 20 acre athletic complex includes a swimming pool, track field, tennis courts and baseball diamonds | ESA V691S-171 | 06/20/2000 to 06/19/2020 | Active; under review |
| 3 | Golf Course (US Vets) (WLA) | Golf course located on north east area of campus includes Golf Club House (Building 329) and Golf Course Storage (Building 334) | ESA V691S-5310 (Terminated, replaced with Revocable License) | Extensions beyond 12/31/15 under discussion | Terminated (June 2015): Revocable License issued through 12/31/15 |
| 4 | Parrot Sanctuary (WLA) | Building numbers 512 and 521 and vicinity parking area | Revocable License | Terminated in 2011 | Expired: Settlement agreement finalized |
| 5 | South Coast AQMD (WLA) | Temporary trailer occupying 30' x 40' area on the south campus | Revocable license 2013-0401 | 04/01/2013 to 03/30/2018 | Active |
| 6 | UCLA Cyclotron (WLA) | Medical Sharing Agreement | ESA V691S-5292 | 07/15/2009 to 07/15/2017 | Active: pending renegotiation |
| 7 | UCLA Jackie Robinson Stadium (WLA) | Baseball stadium on the east side of campus | Expired-OLD ESA V691S-287 | Expired 5/14/2011 | Expired (month to month); under review |

Source: From VA on October 14, 2015.

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G3. Possessory Use Agreements

Table G7 Possessory Use Agreements - Veteran Centric to Remain

| | Agreement Partner | WLA VA Asset | Agreement # | Term of Agreement | Agreement Status |
|---|--|------------------------------|---------------------|--------------------------|------------------|
| 1 | New Directions, Inc. (Bldg. 116) (WLA) | Building 116 | 691-95-010LE | 08/29/1995 to 08/31/2045 | Active |
| 2 | Salvation Army Bldg. 207 (WLA) | Building 207 | ESA V691S-5271 | 07/06/2006 to 07/05/2016 | Active |
| 3 | Salvation Army Bldg. 212 (WLA) | Building 212 | ESA 691-94-2-LI | 7/25/2004 to 7/24/2024 | Active |
| 4 | VA Desert Pacific Credit Union (WLA) | Building 500, Room 1404-1405 | Lease VA262-0-1060 | 11/1/2013 to 10/31/2016 | Active |
| 5 | Ready America (WLA) | Building 259 | MOU (services only) | 10/01/2014 to 09/30/2017 | Active |

Source: From VA on October 14, 2015.

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G4

Formal Correspondence

Stakeholder Meetings

G1

Existing Shuttle Schedule

G2

Possessory Use Agreements

G3

Formal Correspondence

G4



July 24, 2015

Bandini Foudnation Culinary Training Program and Heroes Café Proposal

To Whom It May Concern:

As the West LA VA Master Planners expand their vision of how best to provide housing and services to veterans in Los Angeles, the Bandini Foundation is eager to also strengthen its contribution of vocational, recreational, nutritional, and therapeutic services to veterans. Since 2011, the Bandini Foundation has provided veterans with employment at the Heroes Golf Course as starters and maintenance personnel, recreation through reduced-price starter fees and free events, wellness services including free golf clinics, and even nutrition through consistent food donations and produce via the Heroes Garden.

The Bandini Foundation is now prepared to collaborate with the St. Joseph Center to recreate its successful Culinary Training Program and Bread & Roses Café, by offering a similar Culinary Training Program for veterans and opening an affiliated Heroes Café at the Heroes Golf Course. This project would further enrich the West LA VA by providing food service jobs to veterans in need of vocational training and work experience, as well as offering a welcoming food service option for VA residents, employees and visitors.

The Bandini Foundation proposes to model the Heroes Café and Culinary Training Program on the extremely successful program run by the St. Joseph Center, which currently enables homeless and formerly homeless individuals with barriers to employment to spend ten weeks learning, training, gaining experience, and ultimately employment, in the food service industry. Importantly, the St. Joseph's Center has agreed to assist us with the creation and operation of this program, which will further ensure its success and effectiveness. Operating in conjunction with St. Joseph Center's staff and resources, a Bandini Foundation Culinary Training Program (CTP) would mirror the original training program, at the conclusion of which, each CTP student would graduate eligible for entry-level positions in the food service industry. The program would begin with six weeks of classroom training, including lectures and hands-on demonstrations covering the equivalent of the first year of culinary school. Working with an encouraging staff and mutually supportive group of students, veterans would also attend workshops in job search strategy and life skills on topics such as résumé preparation, interview techniques, effective communication, and culinary theory. All classes would be offered free of charge to participants, and include supportive services such as case management.



While participating in the CTP, veteran-students would intern at the Heroes Café. In addition to providing CTP students with work experience and professional references, the Heroes Café would add a much-needed food service option at the West LA VA, to be enjoyed by all veterans living and working at the West LA VA, as well as to VA visitors and golfers at the Heroes Golf Course. Food served at Heroes Café would include fresh produce grown in the Heroes Garden, and follow strong nutrition guidelines. Similar to the Bread & Roses Café, which serves up to 150 homeless men, women and children each day, the Heroes Café would support the dignity of homeless and ill veterans by allowing them to dine in a welcoming restaurant setting rather than a soup line. Veterans would work at the Heroes Café as CTP interns and staff to offer fellow veterans and other restaurant guests consistent, high-quality food. Prices would be specially tailored to fit the community, with discounted foods available for veterans unable to pay full-price.

Ultimately, we cannot end veteran homelessness without transitioning these individuals into the civilian workforce. The Bandini Foundation is enthusiastic at the prospect of supporting this transition with a Culinary Training Program similar to St. Joseph Center's, which prides itself on a 70% success rate. Its combination of education, income, and support instills hope and confidence in CTP participants and leads them toward meaningful employment. With a Heroes Café and corresponding Culinary Training Program, the Bandini Foundation will be able to offer many out-of-work veterans this unique and much-needed opportunity, while also providing the community at large with a welcoming, healthy food service option. The Bandini Foundation would be privileged to bring such change to the Heroes Golf Course, enriching the West LA VA community and honoring the Foundation's mission by helping veterans assimilate successfully into the community and secure civilian employment.

Sincerely,

Ricardo Bandini Johnson
President
Bandini Foundation



July 13, 2015

To Whom it May Concern:

The Bandini Foundation fully supports the transformation of the West Los Angeles VA into a vibrant veteran-centric community that will provide housing, healthcare, and recreation for our community's veterans. Eager to contribute to the implementation of this vision, we propose the expansion of the Heroes Golf Course into a multi-purpose facility that all veterans will feel welcome to access and utilize—a place where veterans can socialize with one another and interact with those in the community living on, working at, or visiting the West LA VA.

Primarily through the Heroes Golf Course, Bandini Foundation currently provides therapeutic, social, and recreational activities such as golf, meditation and gardening to veterans and the entire West LA VA community. It is wholly feasible for us to add such enhancements to the Heroes Golf Course as a clubhouse and veteran's community center, a golf practice hitting area, horseshoe traps, shuffleboard and croquet courts, ping-pong tables, an outdoor physical fitness course, and a sports court that can offer basketball, volleyball, badminton, and paddle tennis.

In addition to adding greatly to the social and recreational atmosphere of the West LA VA campus, a Heroes Golf Course recreational enhancement project will create numerous employment opportunities for veterans. As is its mission, Bandini Foundation will continue to staff these expanded facilities with veterans seeking transitional employment and vocational training, thereby helping them recover from their injuries and illnesses, assimilate successfully into the community, and eventually secure civilian employment. Veterans in need of training, experience and income will take on roles overseeing all recreational activities, maintaining these new facilities, and even working to promote these wonderful programs within the West Los Angeles veteran community. In addition, we are eager to provide a campus dining option at Heroes Golf Course in collaboration with the St. Joseph's Family Center, which would double as a chef-training program, providing ample opportunities for education and experience in the food service industry.

We have the resources to raise the necessary funds, and are eager to do so, in order to make the Heroes Golf Course a recreational hub for the West LA VA. We very much look forward to contributing in whatever ways we can as the VA Master Plan is developed and implemented, and are extremely excited specifically at the prospect of providing a wide array of programs, activities, and employment opportunities for veterans through Heroes Golf Course. We therefore hope you will consider Bandini Foundation when working towards the creation of a recreational epicenter on the West LA VA campus. Please share this proposal with the Master Plan's firms, and let us know your thoughts on how we can build the best recreational center and contribute to the growth of this community for our veterans in the months and years to come.

Best Regards,

Ricardo Bandini Johnson
President



July 24, 2015

Bandini Foundation Recreational Center Proposal

To Whom It May Concern:

The Bandini Foundation fully supports the transformation of the West Los Angeles VA into a vibrant veteran-centric community that will provide housing, healthcare, and recreation for our community's veterans. Eager to contribute to the implementation of this vision, we propose the expansion of the Heroes Golf Course into a multi-purpose facility that all veterans will feel welcome to access and utilize—a place where veterans can socialize with one another and interact with those in the community living on, working at, or visiting the West LA VA.

Primarily through the Heroes Golf Course, Bandini Foundation currently provides therapeutic, social, and recreational activities such as golf, meditation and gardening to veterans and the entire West LA VA community. It is wholly feasible for us to add such enhancements to the Heroes Golf Course as a clubhouse and veteran's community center, a golf practice hitting area, horseshoe traps, shuffleboard and croquet courts, ping-pong tables, an outdoor physical fitness course, and a sports court that can offer basketball, volleyball, badminton, and paddle tennis.

In addition to adding greatly to the social and recreational atmosphere of the West LA VA campus, a Heroes Golf Course recreational enhancement project will create numerous employment opportunities for veterans. As is its mission, Bandini Foundation will continue to staff these expanded facilities with veterans seeking transitional employment and vocational training, thereby helping them recover from their injuries and illnesses, assimilate successfully into the community, and eventually secure civilian employment. Veterans in need of training, experience and income will take on roles overseeing all recreational activities, maintaining these new facilities, and even working to promote these wonderful programs within the West Los Angeles veteran community. In addition, we are eager to provide a campus dining option at Heroes Golf Course in collaboration with the St. Joseph Center, which would double as a Culinary Training Program, providing ample opportunities for education and experience in the food service industry.

We have the resources to raise the necessary funds, and are eager to do so, in order to make the Heroes Golf Course a recreational hub for the West LA VA. We very much look forward to contributing in whatever ways we can as the VA Master Plan is developed and implemented, and are extremely excited specifically at the prospect of providing a wide array of programs, activities, and employment opportunities for veterans through Heroes Golf Course.

Sincerely,

Ricardo Bandini Johnson
President
Bandini Foundation

The Veterans' Center for Recreation and Education: A Strategic Partnership with Brentwood School

Our 21st Century Community

Brentwood School, a 501(c)(3) non-profit organization, looks forward to being a dedicated community partner in manifesting the VA's goal to honor the 1888 vision of Bandini de Baker and Senator John P. Jones - the creation of a national home for our veterans. Brentwood School is unique in that we can **immediately** provide veterans and their families at the WLA VA campus substantial veteran-centric services fully funded by Brentwood School. The existing facilities built by Brentwood School can offer **physical recreation, health and wellness, education, and vocational training.**

For more than three decades, our strategic partnership with the VA has included countless outreach service hours benefitting veterans, improvement and school use of VA land, and ongoing lease payments. We are now committed to creating The Veterans' Center for Recreation and Education as an integral facet of our thriving 21st century community. The Veteran's Center will be founded on these four cornerstones:

1. Access for Veterans:

Exclusive and Extensive

- Abundant recreational facilities maintained by Brentwood School promote health and wellness, socialization, and skills building.
- Daily, exclusive, access to these state-of-the art recreational facilities
- Recreational and lap swimming on weekends
- Welcome Center for vets to check out sports equipment and store gear
- Veterans' Center Liaison and on-site staff, funded by Brentwood School
- Round trip shuttle bus service
- Classes and clinics in swimming, weight training, conditioning, tennis, and more

2. Opportunities:

Educational, Vocational, and Recreational

- Continued collaboration through service, and special drives for supplies to support the housing of veterans and their families
- Vocational resources and intramural athletics
- Scholarships for children of vets to attend Brentwood School's summer camp
- Adult education classes for veterans and their families
- Access to special events produced by Brentwood School:
 - Screenings of popular new films
 - Parent education workshops
 - Hutson Memorial Guest Lecture Series
 - Musical performances
- Brentwood School will continue to hire veterans
- Fundraising expertise to benefit the restoration of the historic core of campus
- Advocacy for the VA and veterans on our website and through communications with BWS families and friends
- Host the National Veterans Golden Age Games again

3. Improvements:

Delivered to Veterans Quickly and On -Time

- Open to financing the construction of additional veteran-centric therapeutic and recreational facilities, such as:
 - Weight room
 - Separate locker facilities for men and women
 - Equipment room and space for veterans to store their gear
 - Possible therapy pool exclusively for veterans (Feasibility to be determined.)

4. Security and Accountability:

Guarantees for our 21st Century Community

- Brentwood School is prepared to provide all of the above and the following financial resources for as long as we have continued use of the VA land:
 - Brentwood School will continue, as it has since 1999, to pay market rates for the leased land (currently \$450K/year)
 - Pay all operating and maintenance costs (approx. \$150K/year)
 - Assume cost of all deferred maintenance and ongoing improvements (approx. \$50-350K/year)
- Exclusive recreational, educational and vocational opportunities offered at The Veterans' Center for Recreation and Education will not be determined by the government's budget
- Collaboration in regular monitoring of the facility and its programs, so that any adjustments and/or improvements can be made quickly and effectively

136-142 SBP Limited Partnership
7946 West Third Street
Los Angeles, CA 90048
323-653-0410; 323-653-0413 fax

August 25, 2015

West Los Angeles VA Master Planning Staff
11301 Wilshire Blvd. Building 257
Los Angeles, CA 90073

Subject: VA Parking Lot located at approximately
180 South Barrington Place (Brentwood Village)
Los Angeles, CA 90049

Ladies and Gentlemen:

Our partnership owns a parcel in the Brentwood Village, which we purchased in 1991. We have three commercial tenants on our parcel who in the aggregate provide a living for about 18 people. In the Brentwood Village there are 29 such parcels, many of which are larger than ours. So, the jobs in the Brentwood Village run well into the hundreds.

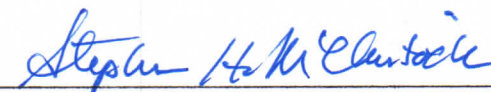
The subject Parking Lot, which has served the patrons of the Brentwood Village Commercial District for the past several decades, is vital to the continuing existence of nearly every business located in the Brentwood Village. It is not an exaggeration to say that without the Parking Lot, Brentwood Village will become a ghost town.

We hope you will see fit to recommend the preservation of this particular Parking Lot. Below are some reasons that we feel would support such a recommendation:

1. The Lot is a busy one which is capable of providing the VA with a continuing income stream indefinitely.
2. The amenities and services available in the Village would be available to the veterans as valued customers living conveniently close-by.
3. The grade level of the Parking Lot is considerably higher than the bulk of the West LA Campus with the consequence that it may be disproportionately expensive to alter the Lot for other uses that blend with the rest of the campus.
4. Veterans are admired not only for their patriotism, but also for their characteristic can-do attitude - in other words as ideal employees. There should be jobs for Vets in the Brentwood Village.

Thank you for considering our point of view.

Sincerely,
136-142 SBP Limited Partnership

By: 
Stephen H. McClintock, General Partner



**THE SECRETARY OF VETERANS AFFAIRS
WASHINGTON**

June 22, 2015

Mrs. George Barrie IV
1707 San Vicente Boulevard
Santa Monica, CA 90402

Dear Carolina,

This comes as follow-up to my letter to you dated March 19, 2015. Thank you again for your generous offer to renovate the Wadsworth Chapel, located on the grounds of VA's West Los Angeles campus. I also deeply appreciate your desire to renovate four other structures located on the campus in addition to the chapel; specifically, the Trolley Depot, Original Barracks, Building 33, and the Governor's Mansion.

As noted in my prior letter to you, I have authority to accept gifts for the alteration of VA medical facilities, under 38 U.S.C. 8104(e). The Wadsworth Chapel, Trolley Depot, Original Barracks, Building 33, and the Governor's Mansion all fall within that definition. We would be honored to allow your contractor to perform the renovation work for these five structures, at no cost to VA. The renovation work of your chosen contractor will need to be done per applicable law, including environmental and historic preservation and VA policy. And, the renovation of these five structures are authorized and permitted outside of the new Master Plan, planned for the West Los Angeles campus.

Although VA cannot solicit donations, we welcome generous contributions. We are truly grateful for your support of our nation's Veterans. I look forward to seeing you again soon.

Sincerely,

A handwritten signature in blue ink, appearing to read "Robert A. McDonald".

Robert A. McDonald

SYLVIA PATSOAURAS
President

LYNN ALVAREZ
Vice President

MELBA CULPEPPER
MISTY M. SANFORD
IRIS ZUNIGA

ARMANDO X BENCOMO
Commission Executive Assistant II

CITY OF Los ANGELES
CALIFORNIA



ERIC GARCETTI
MAYOR

EXECUTIVE OFFICE
P.O. BOX 86328
LOS ANGELES, CA 90086-0328

TEL: (213) 202-2633

MICHAEL A. SHULL
GENERAL MANAGER

October 13, 2015

Vincent Kane
Special Assistant to the Veterans Administration Secretary
US Department of Veterans Affairs
Networking Contracting Office 22 (NCO 22)
4811 Airport Plaza Drive, Suite 600
Long Beach, California 90815

Dear Mr. Kane:

On behalf of the City of Los Angeles, Department of Recreation and Parks (City), thank you for the opportunity to provide comments and suggested uses for the Barrington Park Fields to help support the Department of Veterans Affairs (VA) commitment to opportunity, programming, and housing for veterans. The City recognizes this effort requires the partnership of Federal, State and local authorities. As such, the City desires to continue partnership with the VA to continue recreation and leisure activities at Barrington Park, specifically its adjacent fields (Barrington Park) to benefit veterans per its legal settlement integrated with city services.

Specifically, the City can provide job opportunities for Veterans, outreach and promotion of VA goals and objectives, and help the VA fulfill its objectives to better utilize the West Los Angeles Medical Center campus.

Barrington Park Current Recreational Programs

It is the City's desire to support the Veterans Administration's mission, while continuing to offer public and community access and programming for recreational activities

The City is exploring alternative sites for City Park operations and would prefer to offer recreational programs to the community while working with the VA to develop programs that better equip Veterans with job skills, access to income, and recreational opportunities that benefit health and wellness.

The property currently contains 2 baseball diamonds, fields for soccer and football, walking trails and a dog park, operated through the City's Municipal Sports Section and Operations and Maintenance Branch. Those amenities can provide job opportunities for Veterans.

Additionally, the City can work with its partner, Coca Cola in a program called "Troops for Fitness" to create job opportunities for veterans. Currently, two years remain on the Coca Cola grant that can be used to hire Veterans to lead fitness training at Barrington Park.

Future Land Use Proposals

Pursuant to the Master Plan, all Land Use Proposals which support the goal of creating therapeutic, Patient-Centered Care environments will be evaluated based on the three critical priorities: *Direct Benefit for Veterans, Fulfillment of the VA's mission and Compatibility with the Community*

1. Direct benefit for Veterans

Should a land use agreement be afforded to the City, job opportunities will become available for Veterans.

2. Fulfillment of VA's mission

Barrington Park will provide facilities/land for Veteran participation in leagues and recreational activities. These leagues and recreational activities will provide an arena for the able bodied, as well as the physically and mentally disabled. Appropriate facilities and programming will provide for veterans that will create a sense of belonging and worth that can substantially improve overall health and wellness.

3. Compatibility with the community

The City will agree to maintain the baseball diamonds, soccer fields and Dog Park to acceptable standards to the VA and the community.

Added Benefits and Services for Veterans

The City is well equipped to be a partner with the VA to support and strengthen its goal.

Use of park space for development of programs that benefit VA hospital outpatient needs — therapeutic physical training areas, a special designed course for fitness training etc.; installation of a monument honoring veterans to be maintained by vets; programs for Dog Therapy for Vet dogs or training of sight dogs, care dogs etc.; recreational, sports programming offered to Veterans managed and operated by Recreation and Parks free of charge and paths to possible part time job offerings.

The City is committed to a partnership with the VA in support of mutual goals to address Veteran homeless. The City can offer direct benefit to veterans while adhering to the VA's commitment. We look forward to continuing to work with the VA to serve and support America's Veterans and provide recreational services and opportunities for all Los Angeles area residents.

Sincerely,



MICHAEL A. SHULL
Assistant General Manager

MAS/CM:ct

cc: Mayor Eric Garcetti, Attn: Ryan Carpio
Councilmember Mike Bonin, Attn: Sharon Shapiro
Anthony-Paul Diaz, City Attorney
Ramon Barajas, Assistant General Manager
Cathie Santo Domingo, Superintendent of Planning and Construction

Building 220, West Los Angeles Medical Center, Department of Veterans Affairs

Department of Veterans Affairs

Doug Pulak, Deputy Federal Preservation Officer (DC)
Ralph Tillman, Chief, External Affairs (LA)
Jeffrey Blake, Associate Chief, Asset Management (LA)

Veterans Park Conservancy

Sue Young, Executive Director
Welch Howe, Consultant
Doug Wheeler, Counsel (by phone)

The meeting was convened by Mr. Tillman at the request of Ms. Young to discuss the proposed "Cooperative Historic Preservation Program" [attached], which has been developed by VPC with encouragement from Mr. Pulak and the National Park Service, in furtherance of the agencies' "Discover Our Shared Heritage Travel Itinerary Program". The Program documents and seeks to preserve 11 original branches of the National Home for Disabled Volunteer Soldiers, including the Pacific Branch in Los Angeles, predecessor of the West Los Angeles Medical Center. Under its proposal, and the terms of its Enhanced Sharing Agreement, the VPC would assume responsibility for a campus-wide historic preservation program, including visitor contact; development of an interpretative "History Walk"; historical research, in cooperation with Brentwood School; and preparation of multi-media educational materials.

Ms. Young introduced Welch Howe as a nationally-recognized preservation consultant who will assist the VPC in its implementation of the program. Mr. Tillman expressed unqualified approval of the program, noting that the DVA does not have adequate resources to undertake a program of its own, and agreed that VPC's involvement is consistent with the terms of the Enhanced Sharing Agreement. Moreover, he said, its emphasis on the history of military service will demonstrate anew that the campus is devoted primarily to enjoyment by and benefit of disabled veterans.

Although they encouraged VPC's continued interest in the preservation of historic buildings, eventually including the Victorian Chapel, Messrs. Tillman and Blake noted that a separate citizens' committee had been organized to undertake fundraising for restoration of the Chapel. They expressed confidence that this project and the work of the VPC could be readily coordinated, without overlap or conflict. [Mr. Pulak subsequently advised that the Blake committee had barely gotten started, and expressed the opinion that there would soon be a convergence of interests].

Ms. Young thanked Messrs. Tillman and Blake for their support, and pledged the continued cooperation of the VPC. Mr. Tillman concluded the meeting by suggesting that a letter be written by the VPC in which it discloses its plans for the preservation program in addition to those which have already been approved under the "conceptual plan" of the Enhanced Sharing Agreement. The concurrence of the DVA would be forthcoming, he said.

Attachment: "Cooperative Historic Preservation Program"

Cooperative Historic Preservation Program: West Los Angeles Medical Center (Pacific Branch, National Home for Disabled Volunteer Soldiers), Los Angeles, California

Participants: Veterans Park Conservancy; Department of Veterans Affairs (Office of Historic Preservation); National Park Service (Heritage Education Services and Federal Preservation Institute); and California State Historic Preservation Office

Background:

Pursuant to an Enhanced Sharing Agreement (August 24, 2007) with the Department of Veterans Affairs (DVA), the Veterans Park Conservancy (VPC) has agreed to establish, improve and administer a National Veterans Park (Park) on a 16-acre site at the campus of the West Los Angeles Medical Center. The Park is intended "to serve the needs of veterans and residents alike, emphasizing for generations to come the indomitable values of *our shared American heritage*". In its early implementation of the Agreement and a "Conceptual Plan" for the Park, VPC has expended contributed funds for physical improvements at the Park, including restoration of historic sites and buildings.

Now, with encouragement and support of the Department of Veterans Affairs and the National Park Service, the Board of VPC proposes to undertake a cooperative historic preservation program to aid in interpretation and appreciation by veterans and visitors of the Park's historic site and buildings, and the surrounding campus of the West Los Angeles Medical Center. Though the Center is now the largest medical complex within DVA, serving the health care needs of 1.4 million veterans in the Greater Los Angeles region, it was first organized in 1888 as the Pacific Branch of the National Home for Disabled Volunteer Soldiers.

As part of its "Discover Our Shared Heritage Travel Itinerary" program, the National Park Service—in cooperation with the DVA— has recently published a history of the National Home for Disabled Volunteer Soldiers, suggesting history-themed travel to each of 11 branches, including the Pacific Branch in Los Angeles. The Park Service notes that these original "National Homes" have been succeeded by the network of DVA medical centers. Nonetheless, it observes, "the unique campuses and architecture of the original National Home branches remain, *providing insight for visitors as to how the Federal Government cared for and continues to provide for veterans*". In recent meetings with the Park Service and DVA personnel in Washington and Los Angeles, the Veterans Park Conservancy has been encouraged to expand its preservation mission at the West LA campus to include volunteer interpretative services for visitors and veterans alike. Thus, VPC will be a partner with the Park and Service and DVA in the implementation of their "Discover Our Shared Heritage" program at the West Los Angeles Medical Center.

Program Elements:

VPC proposes for consideration by DVA and the Park Service the following elements of a cooperative preservation program, to be administered on the West LA campus by VPC in furtherance of the themes which motivate "Discover Our Shared Heritage":

--*History Walk*: a self-guided tour for visitors and veterans of selected historic sites at National Veterans Park and the wider West LA campus, with emphasis on the original Pacific Branch and the "time line" of important developments since 1888;

--*Visitor Contact*: a corps of VPC volunteer docents will be responsible for contact with visitors who follow the NPS Travel Itinerary and others, to assure that their visit to the West LA campus is educational and enjoyable;

--*Educational material*: drawing on its substantial inventory of resources related to the history of the Park and the West LA campus, the VPC will research, write and publish in printed and electronic form, information which will enhance the visitor experience, and explain the mission of the DVA in its historic context. Such publications might include a tour guide for the *History Walk*, and an introductory pamphlet for visitors who follow the "Discover Our Shared Heritage" Travel Itinerary; and

--*Electronic outreach*: provide "distance learning" on a specially designed website, with links to DVA and NPS sources, about the historic heritage of the Pacific Branch and its successor institution, including current information about directions, tours and activities which may be of interest to veterans and visitors.

In undertaking these programs, VPC will enlist and organize the volunteer services of its members, participating veterans and other interested citizens. For instance, it has already received a generous offer of assistance from the nearby Brentwood School, whose social studies students have volunteered to conduct historical research, and draft written material for use in the cooperative preservation program. VPC agrees with Margaret Kruckemeyer at the Central Branch/ DVA medical center in Dayton, Ohio that "heritage heals" and with the Park Service "that preserving the past at the historic National Home branches for veterans and others to experience serves as a building block for a better future".

Next Steps:

VPC proposes that DVA's Office of Historic Preservation convene a conference call to discuss this proposal and to solicit support from other interested stakeholders. These would include representatives of DVA in Los Angeles, possibly Donna Beiter and/or Ralph Tillman; Carol Shull, Director of Heritage Education for the National Park Service, and Wayne Donaldson, California's State Historic Preservation Officer and newly-appointed Chair of the Advisory Council on Historic Preservation. VPC is prepared to assist in organizing this meeting, and looks forward to the early implementation of an innovative historic preservation program at the West Los Angeles Medical Center.



WILSHIRE @ WEST GATEWAY

I hereby certify this is a true copy
of the record in book 405 page 14
if impressed with the seal of this office
Date Dec. 11, 1970 Ray E. Lee Recorder
 County of Los Angeles
 State of California

This indenture made the third day of March one thousand eight hundred and eighty eight, by and between John P. Jones and Arcadia B. de Baker, the parties of the first part and the National Home for Disabled Volunteer Soldiers a corporation formed and now existing under the laws of the United States the parties of the second part.

Witnesseth, that whereas by an act of Congress approved March 2nd 1887, to provide for the location and erection of a branch home for disabled volunteer soldiers West of the Rocky Mountains, the Board of Managers of the National Home for Disabled Volunteer Soldiers, were authorized, empowered and directed to locate, establish, construct and permanently maintain a branch of said National Home for Disabled Volunteer Soldiers, to be by such Board, located at such place in the States West of the Rocky Mountains as to said Board should appear most desirable and advantageous.

And whereas, the parties hereto of the first part in consideration that the party hereto of the second part should locate, establish, construct and permanently maintain a branch of said National Home for Disabled Volunteer Soldiers on a site to be selected by its Board of Managers along the dividing line between the Ranchos San Jose de Buenos Ayres and San Vicente y Santa Monica offered to donate to the said party of the second part, three hundred acres of land, being a portion of said Rancho San Vicente y Santa Monica belonging to them the said parties of the first part, on which to locate, establish, construct and permanently maintain such branch of said National Home for Disabled Volunteer Soldiers.

And Whereas, the Board of Managers of said National Home for Disabled Volunteer Soldiers, in consideration of said offer have selected the land and premises hereinafter described for the purpose aforesaid and have notified the parties of the first part of such selection.

Now Therefore, in consideration of the premises and of the location, establishment, construction and permanent maintenance of a branch of said National Home for Disabled Volunteer Soldiers on such tract of land so selected and of the benefits to accrue to the said parties of the first part, owners of the said Rancho San Vicente y Santa Monica by such location have given and granted and by these presents do give and grant unto said party of the second part all the following described land and premises, situate lying and being in the County of Los Angeles, State of California and particularly bounded and described as follows:

Commencing at a point on the boundary line between the Ranchos San Vicente y Santa Monica and San Jose de Buenos Ayres distant 6044 feet Northerly from the corner post on the line between the said Rancho San Vicente y Santa Monica and the Rancho La Ballona, which post is the common corner of the Rancho San Vicente y Santa Monica and the Rancho San Jose de Buenos Ayres running from said point of beginning South $34\frac{1}{2}^{\circ}$ West 2780 $\frac{2}{10}$ feet to a stake being the Southwest corner of the tract herein conveyed, then North $54\frac{1}{2}^{\circ}$ East

2780 2/10 feet to a stake on the boundary line between the said Ranchos San Vicente y Santa Monica and San Jose de Buenos Ayres; South 35½° East along said boundary line 4385 feet to the place of beginning, containing three hundred (300) acres of land.

Together with all and singular, the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining, to have and to hold the said land and promises, with appurtenances unto the said party Disabled Volunteer Soldiers to be thereon so located, established, constructed and permanently maintained.

In Witness Whereof, the said parties of the first have hereunto set their hands and seals the day and year first above written.

John P. Jones (Seal)
By his attorney in fact, Walter Van Dyke (Seal)
Arcadia B. de Baker (Seal)
By her attorney in fact, Robt S. Baker (Seal)

State of California
County of Los Angeles

On this 5th day of March in the year one thousand eight hundred and eighty eight before one Charles Worth, a Notary Public in and for said Los Angeles County, residing therein duly commissioned and sworn personally appeared Walter Van Dyke known to me to be the person described in and whose name is subscribed to the within instrument as the Attorney in fact of John P. Jones and the said Walter Van Dyke acknowledges to me that he subscribed the name of John P. Jones thereunto as principal and his own name as Attorney in fact.

In Witness Whereof, I have hereunto set my hand and affixed my official seal at my office in the City and County of Los Angeles the day and year in this Certificate first above written.

Notarial Seal

Charles Worth
Notary Public

State of California
County of Los Angeles

On this 5th day of March in the year one thousand eight hundred and eighty eight before one Charles Worth, a Notary Public in and for said Los Angeles County, residing therein duly commissioned and sworn personally appeared Robt S. Baker known to me to be the person described in and whose name is subscribed to the within instrument as the Attorney in fact of Arcadia B. de Baker and the said Robt S. Baker acknowledges to me that he subscribed the name of Arcadia B. de Baker thereunto as principal and his own name as Attorney in fact.

In Witness Whereof, I have hereunto set my hand and affixed my official seal at my office in the City and County of Los Angeles the day and year in this Certificate first above written.

Notarial Seal

Charles Worth
Notary Public

A full true and correct copy of the original recorded at request of Grantee Mar. 10, 1888 at 17 min. past 12 N.

Frank A. Gibson County Recorder
By Frank E. White Deputy

This is a true and certified copy of the record
if it bears the seal, imprinted in purple ink,
of the Registrar-Recorder.

NOV 4 1987

John W. ... REGISTRAR-RECORDER
LOS ANGELES COUNTY, CALIFORNIA



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HONORING OUR VETERANS
PRESERVING THEIR LAND
SINCE 1986

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Mrs. Donald Petroni
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Rear Admiral USNR, Ret.
Alexa Scharff

Executive Director
Curtis Mack,
Colonel, US Air Force, (Ret)

August 13, 2015

Ms. Cynthia Keeffe
Vice President
HOK
9530 Jefferson Boulevard
Culver City, CA 90232

Dear Cynthia

As the information gathering portion of your project for the West Los Angeles Veterans Campus starts to come to a conclusion, let me just take one final opportunity to share with you the Veterans Park Conservancy's vision for the area in the triangle just north and east of the intersection of Wilshire Boulevard and San Vicente Boulevard. This is the area where we have been planning and building for years, all with the collaboration and concurrence of the DVA.

This space is contiguous with Building 220, which has been designated as the Center for Integrated Health and Healing, and has been started to be used as such. In support of the therapeutic practices being used there, following a "holistic" path to healing mental health issues (for both homeless and non-homeless alike), the VPC spent some \$1.4 million raised entirely from the community to refurbish the "Historic Women's Rose Garden." This is an area that dates back over a half century and commemorates the service and sacrifices that women veterans made during World War II. This renewed space offers an environment of peacefulness and serenity that meshes perfectly with the efforts of the clinicians in Building 220. There they offer treatments much different than traditional western medicine, but which have proven to be highly successful in combating mental health problems, without the use of highly addictive drugs and so on.

Adjacent to the Rose Garden is a partially constructed (about 80% complete) structure, the Hollywood Canteen Healing Center (previously known as the Amphitheatre), which will further expand the use of alternative therapies important to the recuperative process. The Greater Los Angeles Healthcare System is on record in February, 2014, as looking forward to "... a host of programs that will use the new

Amphitheater as part of our healing process. These include creative writing and poetry groups, music and performance art modalities, patient education and many other opportunities for Veterans to heal outside of the confines of the clinical setting.” They further state “As you know, VA Greater Los Angeles Healthcare System is one of five nationally recognized Centers of Innovation for Patient Centered Care, and the campus amenities VPC has made possible provide an ideal setting for these cutting-edge initiatives.” Over \$300,000 has been raised and spent on this project so far.

Continuing with its community-based efforts to provide for the healing and well-being of our veterans, VPC has proposed building a state-of-the-art running and walking track offering veterans alternative routes with varying levels of exercise. Additionally, the 2/3 mile loop would also feature unique weather-resistant exercise stations with innovative equipment such as stationary ellipticals and bicycles. The stations will be developed in partnership with the VA Patient-Centered Care Teams to ensure key physical rehabilitation needs are met. The track’s tree-framed views into our proposed “Fields of Glory” offer a beautiful and scenic exercise venue, while bermed perimeter landscaping shelters the track from the street.

The “Fields of Glory” would provide an expansive open grass area as a home for everything from veterans’ family and staff picnics to military ceremonies and green space for low-impact physical therapies. This serene reserve would provide an immensely appealing space for veterans to gather, relax and enjoy the tranquility, much in the same way the veterans at the original National Old Soldiers Home, Pacific Branch, did with the park area surrounding its barracks buildings.

A Sports Commons – opportunities for physical recreation, healing and camaraderie with fellow veterans would abound in this specialized sports zone. Accessible to all veterans, the Sports Commons would offer such amenities as a sand volleyball court, bocce ball and horseshoe courts and other areas for interactive play. Apart from the benefits of recreational sports therapy to help veterans with healing and reintegration processes, the Sports Commons could also be a home for a Veterans Sports League and other such programs.

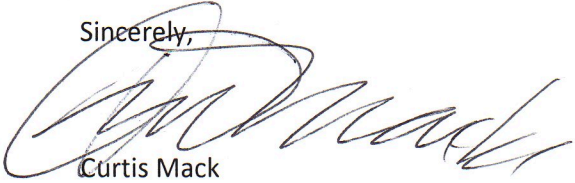
And finally in this area, we see an historic promenade. This would be an area designed to invoke patriotic pride and ensure recognition and appreciation for our veterans’ sacrifices. A 10-foot walkway would be highlighted by inspirational engraved seating walls with quotes paying tribute to veterans. Shaded enclaves, framed by low hedges with bench seating, would create peaceful outdoor classrooms for discourse among the generations. A series of uplifting memorials could invoke a sense of pride and deepen our collective respect for those who allow us to live in freedom.

Our concept for these projects can be seen on our website www.veteransoparkconservancy.org.

Cynthia, I am sure you and your colleagues recognize the value and importance in each of the ideas I have outlined. They would be for the homeless. But they would also be for the more than 85,000 veterans who visit the West Los Angeles Campus each year, an estimated 25% of which have mental health issues. The DVA must be able “to walk and chew gum” at the same time in this very unique location.

Thank you very much for your time and attention and I look forward to future conversations with you.

Sincerely,

A handwritten signature in black ink, appearing to read "Curtis Mack". The signature is fluid and cursive, with a large initial "C" and "M".

Curtis Mack
Executive Director

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Carolyn Stone Enenstein, **Parliamentarian**
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Mrs. Donald Petroni
Frank E. Raab,
Rear Admiral USNR, Ret.
Alexa Scharff
Executive Director
Curtis Mack,
Colonel, US Air Force, (Ret)

September 30, 2015

Ms. Cynthia Keeffe
Vice President
HOK
9530 Jefferson Boulevard
Culver City, CA 90232

Dear Cynthia,

As the time draws near for comment on the DVA North Campus to close, I want to add a few final thoughts.

Historic preservation and acknowledgement of the unique history of the WLA VA site has guided VPC in its relationship with the VA from its inception. The VPC Enhanced Sharing Agreement (ESA) has allowed VPC to preserve and renovate historic structures and uses on the WLA VA campus when funding for such purposes was not otherwise available.

A History Walk is one of the key features developed by Veterans Park Conservancy pursuant to its ESA. This Walk is intended to illustrate to veterans and the public alike the esteem VPC holds for those who have served their country, and acknowledgement of those who have supported them. The Walk would extend from Wadsworth Chapel on the east to San Vicente Boulevard on the west.

To further honor and preserve the unique history of the WLA VA campus, VPC entered into a Cooperative Historic Preservation Plan in November 17, 2010. Doug Pulak, Deputy Federal Preservation Officer from the National Park Service in Washington D.C., Jeffrey Blake and Ralph Tillman of the West LA VA, Sue Young, VPC Executive Director and Doug Wheeler, VPC Counsel worked out the details. Katherine Welch Howe, a prominent preservation consultant was also involved. The National Park Service encouraged development of the plan.

The VPC commissioned a study by Katherine Welch Howe entitled "Veterans History Walk, National Veterans Park". The resulting study was published in April 2011 and is enclosed as an exhibit with this comment. Attached also is a companion essay entitled "Veterans Administration and National Cemetery, A Walking Tour" by Evelyn Lager.

The Howe study lays out concepts for the composition of the Walk. The suggestions include pools, lawns, and groves of trees and inclusion of other natural materials. It also suggests that programs be developed using interactive communication associated with elements of the Walk. The study emphasizes that the Walk should lie within the designated historic site boundaries (National Register of Historic Places) within the WLA VA campus.

The historical aspects of what was originally known as the Pacific Branch of the National Home for Disabled Soldiers should be celebrated. It is one of only eleven such properties in the U.S., all of which are listed on the National Park Service website, each with its own historical background.

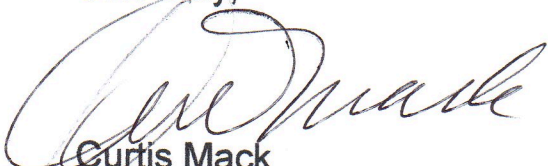
The Hollywood Canteen Health and Healing Plaza is an integral aspect of the history acknowledged in the Walk. The Hollywood Canteen provided entertainment for the troops and was part of the fabric of World War II history. It has been helping veterans ever since, right up to the present day.

Many have acknowledged VPC's historic preservation work. In a December 2011, letter from the National Park Service, the NPS acknowledges the work that the VPC had done in the Women's Rose Garden adding it would add to the pleasure of visiting the historic medical center. This letter is attached as an exhibit.

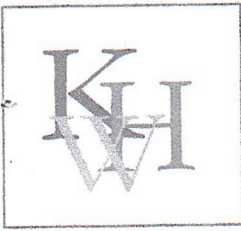
The VPC has also demonstrated its appreciation for the historic aspects of the property rights in many other ways. For example, it has funded an HSR (Historic Structures Report) on the Bob Hope Chapel in the National Cemetery for its renovation. It has also facilitated numerous conversations with both state and federal officials exploring the dos and dont's of historic renovation.

In conclusion, I just wanted to share these thoughts with you so you can see VPC's long commitment to the land, and more importantly, to those whom the land represents. Thank you and your team for all the efforts you are making on behalf of America's veterans.

Sincerely,



Curtis Mack
Executive Director



10570 LE CONTE AVENUE

LOS ANGELES

CALIFORNIA 90024

310.470.0274

EMAIL khowe.kwh@gmail.com

**Veterans History Walk
National Veterans Park
April 6, 2011**

Overview

Veterans History Walk at the National Veterans Park will illuminate the accomplishments of United States Veterans and the Department of Veterans Affairs. The History Walk will illustrate to veterans and to visitors the honor in which we hold our armed forces and those who support them. Elements of the History Walk will be integrated in the entire 16-acre Park site which occupies the area beginning at the Chapel on the East to San Vicente Boulevard on the West and Wilshire Boulevard on the South.

Project Description

KWH Associates, Inc. was engaged for a brief, limited assignment to provide suggestions for 3 scenarios for a Veterans History Walk. KWH was asked to provide conceptual, decision-making level suggestions for the Veteran Park Conservancy to consider. Due to time and financial constraints, KWH was not asked to review materials associated with the proposed National Veterans Park, or to research military or veteran history, or the history of the VA and this site. The VPC wished to first consider the concepts and present them to its board and supporters before proceeding into further development. This summary report provides notes for the board's further consideration.

These suggestions therefore are necessarily restricted and are provided as examples to help the VPC envision options. With this preliminary work, further research and programming will create a park of great inspiration. A broadly conceived Veterans History Walk presents an incomparable opportunity to give deeper meaning to the Los Angeles National Veterans Park.

Veterans History Walk: 3 Scenarios

The Veterans History Walk will combine the scenic beauty of landscape with the expressiveness of history to give a deeper meaning to the National Veterans Park. A walk through its paths will enrich the mind and spirit and provide an experience of how different ages can lend inspiration to one another and what Veterans' history can mean to us today.

The 3 Scenarios for the Veterans History Walk can be employed independently or, more powerfully, to reinforce each other. And can be implemented over time. A summary of the History Walk scenarios:

- 1. Veterans History Walk: Memory Garden:** The historic buildings and landscapes of the site are restored, revived and interpreted as integral parts of the Veterans National Park in order to commemorate the US Veterans, this site and the history, persons, and care provided by the Department of Veterans Affairs and its predecessors. Plantings and artifacts will complement the existing historic resources in order to provide the foundation for the National Veterans Park. A linear walk, The Veterans Promenade, will unite the park and will highlight historic events applicable to Veterans and the National Soldiers Home.
- 2. Veterans History Walk: Commemorative Garden Rooms:** A series of outdoor rooms will provide a contemplative experience, allowing veterans and visitors to focus on Veteran and VA history. The outdoor garden rooms will include illustrations, maps and artifacts that depict military service and veterans care. Veteran and VA History will be divided into several rooms that correspond to chronological development from 1860 to 2012.
- 3. Veterans History Walk: Interactive Timeline:** A highly interactive scenario using contemporary technology will allow the veteran and visitor to traverse the linear History Walk, stopping at interactive kiosks and stations to learn more about a particular time period or theme. The material will be drawn from all five Services, the Veterans History Project of the Library of Congress and other sources. A way to contribute stories and experiences to the History Walk will be a component of the Interactive Timeline.

1. Veterans History Walk: Memory Garden

* The 16-acre site for the National Veterans Park and History Walk encompasses historic buildings and landscape features that date from the opening of the Pacific Branch of the National Home for Disabled Volunteer Soldiers in 1888 through its 120 year evolution to become the West Los Angeles Medical Center of the Department of Veterans Affairs.

* The site's historic resources can serve as the foundation to tell the story of the Veterans, the Pacific Branch, and the care the government has provided to Veterans. Plantings and artifacts can commemorate the history of the site and veterans use of the Park. The historic resources will be revived and adapted for contemporary use in the National Veterans Park. The Memory Garden scenario is inspired by the many parks and gardens around the world that respect and build upon important cultural landscapes, including the recently completed Parc de Bercy in Paris and the current restoration and revitalization of Governors Island, New York, a former military base in New York Harbor, also designed by McKim, Mead and White.

* The Park area is recognized by the National Register of Historic Places. Changes will be guided by preservation and design standards that protect the architecture and landscape features.

*** *Site History and Historic Resources***

The History Walk Memory Garden scenario will revive and incorporate the historic buildings and picturesque landscape. Rather than slavishly recreating the 19th-20th century landscape, the historic elements will become the foundation for the contemporary park and the Veterans History Walk.

The three major periods of development of the site include:

1. Founding and original design and development (1888-1930) The Pacific Branch, National Home for Disabled Volunteer Soldiers was designed in 1888 by noted architect Stanford White of McKim, Mead and White. All buildings were designed in the Shingle Style. The grounds featured picturesque/romantic plans popularized by Frederick Law Olmstead, Calvert Vaux, H.W.S. Cleveland, and Andrew Jackson Downing. The Pacific Branch landscape included lush plantings and open spaces, meandering paths and roadways, groupings of specimen trees, water features, natural growth and a zoo. The Soldiers Home was a leading Los Angeles tourist attraction at the turn of the 20th Century and considered one of the catalysts for the development of West Los Angeles. Two original buildings exist: the 1900 Shingle-style Chapel and the 1900 Trolley Depot (moved north of the site). Vestiges of the early landscape are visible in the broad, open meadow, the clusters of Moreton Bay Fig Trees, the Deodor Cedars and the Eucalyptus Grove which may have bordered the trolley track that ran through the west section of the site. (The geography and early settlement of the site is also relevant and significant --as part of the homeland of the Tongva Gabrielino Indians, and as a prominent Mexican rancho, San Jose de Buenos Ayres.)

2. Veterans Administration Consolidation (1930-1960). The single, national agency for veterans' affairs imposed standardization of design as an important tool for efficiency and cost effectiveness. Many original buildings were demolished and the site's landscape was modified in order to develop buildings meeting the new standards. Art-Deco style buildings, such as the 1938 Wadsworth Theater, characterize this period.

3. Contemporary Use as the Los Angeles Medical Center (1960-2010) The past fifty years altered the landscape significantly with the construction of the 405 Freeway, parking lots, and deferred maintenance. Most recently the VPC Conservancy replaced the chain-link fence surrounding the property with appropriate wrought iron fencing and re-established a ceremonial Wilshire Boulevard entrance.

** Using Historic Resources to Preserve Memory and to Inspire*

** Veterans Promenade*

The Veterans Promenade, a linear walkway, will traverse the north section of the Park, linking the two parts of the site from the Chapel on the east to the Eucalyptus Grove on the west. The Promenade will include markers and stations, which will tell the story of the park, the VA and the Veterans. The information will be developed so that one side of the promenade proceeds chronologically, creating a literal timeline experience. The other side of the walkway will treat themes associated with that period. This approach has been used effectively at the New Orleans World War II Museum's exhibition spaces dealing with the Pacific Theater in World War II.

The promenade timeline will allow the veteran and visitor to experience the Park chronologically, understanding the site's evolution and the relationship to larger themes of military history and veteran care. In this report are preliminary timelines that illustrate a range of milestones related to the history of the Los Angeles Veterans Center and the Department of Veterans Affairs

** Veterans Chapel*

The restored Chapel will become a distinctive icon for the Park and the veterans History Walk. As the oldest building remaining on the site and the oldest building on Wilshire Boulevard, the shingle-style Chapel illustrates the scale and character of the original campus. More important, the Chapel represents the landmark legislation enacted by Congress in 1900 to authorize a government-funded dual-denomination chapel. With this Chapel, the Congress recognized that support and healing for veterans are multi-faceted: "Something more than mere food, shelter and clothing seems due to these men." The Chapel will again provide a sanctuary for veterans and visitors to express emotion, to renew their faith and to receive services. The Veterans Chapel might also provide exhibition space and visitor services.

* *Landscapes and Public Spaces*

The landscapes and public spaces will retain their historic character with selective planting of trees and other plant material, the restoration and repair of earlier footprints of buildings and the rejuvenation of key spaces.

-Great Lawn

The broad, open meadow at the center of the Park will become a natural setting for listening to music, for concerts and gatherings as well as the site for pick-up games of soccer, frisbee or baseball. The Great Lawn can support, for example, concerts on Veterans Day, a parade of vintage automobiles and military vehicles, and a children's carnival on the 4th of July.

-Widow's Row

Where trees surrounded buildings, the trace of those buildings will be indicated with symbols of the original use. For example, "Widows Row" along Wilshire Boulevard, which was the historic location of cottages provided to widows of Civil War soldiers, could be commemorated with a stone garden representing building foundations along with plants that symbolize faith and perseverance.

-Eucalyptus Grove and Moreton Bay Fig Trees

The Eucalyptus Grove which once bordered the trolley line will once again become part of the circulation in the Park incorporating old rail lines as part of the path's design.

The Majestic Fig Trees will signal the transition of activities on the east and west sides of the Park.

- *Pool of Remembrance*

The restoration of water within the Park will be an important symbol of the site's renaissance. A Pool of Remembrance honoring the dead, the missing, the POWs and the wounded at a reflecting pool will provide a meaningful stop on the History Walk.

2. *Veterans History Walk: Commemorative Rooms*

A series of contemplative outdoor rooms will be created along a linear History Walk. The garden rooms will allow the veteran and visitor to personally focus on the bravery and memorable accomplishments of service persons and the Veterans Administration over time. The gardens may be interpreted as "rooms" in which themes and history will be illustrated using artifacts, maps and other tools that depict the armed forces and veterans care in a particular era or service. The precedents for the commemorative garden rooms are classical gardens and national memorial monuments. Along the National Mall in Washington, D.C.

- **Founding and Creation of the National Veterans Park:** This room might include the artifacts from the 20th century such as medical instruments, military transport, and volunteer support through institutions such as the Red Cross. The location of this room near the Chapel will allow one to envision the pace, character and reality of war and care at the turn of the 20th century.
- **Post World War One:** Commemorating World War I and its aftermath might include the use of military vehicles, the ambulance corps and the advent of military flight. Commemorating the vast change at the National Soldiers Home and the surrounding area in this period suggests that this garden room be located near the WPA-era Wadsworth Theater on the Veterans History Walk
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- **Post World War II:** The massive change in medical care and post-war technology at the LA Medical Center, the pioneering defense industries, and the support from Los Angeles arts and entertainment community might be the focus of the Post World War II contemplative garden. The Conservancy has recognized the significant women's history in the armed forces in the Rose Garden. An outdoor room close by on the linear history path will be complementary.
- **Korean War and Vietnam:** The garden associated with these two conflicts will deal with the increased US involvement in Asia as well as the vast changes at the Soldiers Home and the area, such as the bifurcation and transformation of the site.
- **Wars in the Middle East:** The LA Medical Center has become a center for the care of disabled veterans. The changed character of war and injury, advances in medical care and rehabilitation, and the role of the Department of Veterans Affairs will be included at this room.

3. Veterans History Walk: The Interactive Timeline

In order to engage the wide range of persons who will visit the Veterans History Walk, interactive technology will be used to appeal to their varied interests, to their multi-generational and multi-cultural character as well as to their preferred learning style—that of observer, participant, independent or enthusiast. The development of interactive technology-based devices to enliven the visitor experience is advancing rapidly. LACMA, the Dallas Museum of Art and others are pioneering this approach to exhibition design and programming. KWH assisted the VPC in defining a project for a senior history class at the Brentwood School to research exhibit technology and this may be a resource for the Conservancy planners in the further development of the Veterans History Walk.

- Using WI-Fi enabled mobile devices, veterans and visitors can listen to an audio tour, can view video features, see portraits of related persons, view related subjects, explore maps and photographs of locations that are the subject of the particular thematic or chronological marker, the historic resource or commemorative garden room.
- Kiosks will explain significant milestones and will allow the veteran and visitor to search and to contribute his /her record, experience and memory. Links with the Veterans History Project of the Library of Congress will be developed.

Veterans Administration and National Cemetery *A Walking Tour*

Information provided by VETERANS PARK
Written by Evelyn Lager

Can you imagine the Westside of Los Angeles without the last green "breathing space" in this part of our county? It took generous donations of land carved from two great ranchos to move our town from last to first place on the list of choices for a Pacific Branch of the National Home for Disabled Volunteer Soldiers and Sailors. Luckily for us and for veterans of the Civil War and every conflict since then, Congress approved the gift in 1887. A 400-acre complex of hospital and special services continues to serve members of our nation's armed forces while providing a rich depository of historical and architectural treasures. From Victorian gingerbread to Art Deco grace, from chapel to barracks to trolley station, we can see it all on a comfortable stroll, allowing two and a half hours to enjoy the attractive grounds of the VA and National Cemetery. If you've brought your camera, you can create your own "souvenirs."

Our itinerary includes these landmarks:

1. Wadsworth Theater. Once a showcase for memorabilia, including letters from President Abraham Lincoln and yearly registers of enrollment in the facility, this entertainment facility has more recently been shared with UCLA for performance of theatrical events.
2. The Victorian Chapel. Still a dominant feature of the landscape to be seen from Wilshire Boulevard looking north, its late-Victorian elegance provides a suitably graceful and decorous setting for religious services.
3. The Central Steam Plant. This 1949 Art Moderne building provides all the steam for the Veterans Administration.
4. The Chief Engineer's Building. Another Victorian structure, this is the oldest building still standing on the VA grounds. It was built by the Bandini family on a large piece of property that they then owned.
5. The Old Trolley House. After serving as a station for a railway from the shore down to Long Beach, this Victorian building was used for the Red Car system. It now houses an art gallery.

6. The Hoover Barracks. Built in 1930 to accommodate homeless and jobless veterans, it originally had no plumbing or washroom facilities. Such amenities were thought to encourage "staying around."
7. The Japanese Gardens. An opportunity for meditation and spiritual renewal is afforded here where tradition joins art and nature in a harmonious partnership. Nearby, *Vets' Garden* makes plant materials available for sale to both the professional and amateur enthusiast. Monday, Tuesday and Thursday hours are from 10:00 a.m. - 1:00 p.m. and Friday from 9:00 - 11:00 a.m. Call (310) 824-6771 for additional locations.
8. Civil War Cannon. Cannon and ordnance wagon dated 1865 remind us that the Pacific Branch of the National Home for Disabled Volunteer Soldiers and Sailors was established by Congress in response to public support for service to veterans who'd fought for the Union.
9. Columbium of the Los Angeles National Cemetery. Built under the Works Progress Administration, this is the only indoor columbium in the National Cemetery System. Spanish architecture inspired the design of the columbarium and its matching pergola, reflecting the city's rich Spanish heritage. Two plaques adorn the outside walls. One reads "*Veterans of Foreign Wars of the United States Ladies Auxiliary Department of California Humbly Honor the Memory of the Brave Men and Women of the United States Armed Forces Who Offered Their Lives in the Service of Our Country 1946.*"
10. Rostrum and Statue of Civil War Soldier. In the center of the cemetery, the annual Memorial Day Ceremony is held before a rostrum bearing a plaque containing President Abraham Lincoln's address at the dedication of the Gettysburg National Cemetery in 1863. Nearby is a statue "*Dedicated to the Department of California and Nevada Grand Army of the Republic,*" placed there by the Women's Auxiliary Relief Corps in 1942.
11. Geranium Circle. Dedicated to "*women who served for God and country,*" a bronze monument is surrounded by a circle of red and white geraniums.
12. Sculpture of Liberty and Her Defenders. We end at the corner of Wilshire and Veterans Avenues. Roger Noble Burnham's creation in bronze was commissioned in 1950 by the United States War Veterans. Its inscription reads "*To Those Who Volunteered and Extended the Hand of Liberty to Alien Peoples 1902.*"

If it weren't for the Civil War, many of us wouldn't be living and working on the west side of Los Angeles County. Responding to public desire to assist veterans of that conflict, in 1887 Congress established the Pacific Branch of the National Home for Disabled Volunteer Soldiers and Sailors.

Despite its natural appeal, the site of the present Veterans Administration Medical Center and National Cemetery was originally at the bottom of the list of candidates. Now, of course, we'd hate to think of our community without its last significant "green" breathing space.

The grounds today still offer clues to the natural history of West Los Angeles. From a drainage headwall at the northwest of the property, an arroyo of about 109 acres emerges as watershed for a small tributary. Denatured after grading and dumping, this canyon was once a wide and steep habitat for native plants and wildlife. But remnants of a rich riparian ecosystem can be glimpsed. (For a detailed description, see pp. 16-23 of the Strategic Plan prepared for Veterans Park Preserve in September, 1991 by Robert S. Harris, FAIA, Emmet L. Wemple & Associates, and Achva Stein, ASLA.)

Deposits of broken rock line the canyon bottom, while sand, gravel, silt and other composites elsewhere make the site vulnerable to water runoff and erosion. Proximity to a number of fault lines means earthquake activity can be expected to alter the landscape from time to time.

As part of the watershed system of the Santa Monica Mountains, a tributary runs from the northwestern portion of the VA site to a drainage channel at the southern end and eventually flows into Ballona Creek and thence to Santa Monica Bay. The portion freely flowing within the VA could provide "an ideal urban riparian ecosystem demonstration site," according to the 1991 Strategic Plan, which also cites the spring from the Japanese Garden as "free from pollutants and....invigorating the creek."

Landscaping currently mixes exotics with a number of surviving native species. Their presence allows reconstruction of a natural history of the site, including plant communities and the animal populations they probably supported in the recent past. Not far from the creek bed can be seen several healthy coastal live oaks and sycamores, indicating water has been present here for some time. Very old willows grow in the bed of the creek itself, as do a cottonwood and scattered cattail, although they don't appear to be reproducing. A few specimens of bunchgrasses hint at an earlier oak woodland or open oak savannah nearby. The west and south slopes may once have been covered with California coastal sage, but now Salvias and other grasses grow there.

Valley grassland occupies the remainder of the VA site, where a few native bunchgrasses mingle with widespread invasive exotic plants such as thistle, plantain, and wild oats. Giant reeds dominate the creek bottom, while Eucalyptus, Acacias, and castor bean appear elsewhere. Because of their toxicity,

Eucalyptus threaten the growth of native plants. Nevertheless, some nesting, perching, and dwelling places are offered for animals, along with a limited amount of forage and protection. Burrows confirm reports of mammals like pocket gophers, ground squirrels, coyotes, and raccoons.

Of the 244 species of birds historically found in the Santa Monica Mountain region, owls, mourning doves, band-tailed pigeons, bushtit, swifts, hummingbirds, swallows, jays, wrens, thrashers, blackbirds, finches, sparrows, hawks, and kestrels have been seen on the grounds of the VA. There have also been reports of sighting others such as the Spotted Dove, Townsend's Warbler and Hooded Oriole.

Instead of the rich variety of snakes and amphibians that would be expected in a pristine area connected by wildlife corridor to the mountains, a few examples of the western fence and alligator lizard have been seen. Except for butterflies and a few other groups, the insect population is poor too.

Outside the VA's northern section, plant materials and open space present a cultural rather than a natural landscape. Materials imported from other areas of the country and the world include magnificent palm groves, the rose garden, the Japanese garden, and the golf course. These and other plantings provide therapeutic settings essential to the health care mission of the VAMC.

Few, if any, early and reliable records detail how the human inhabitants fared when this landscape was yet untouched. Contemporary accounts of encounters between "outlanders" and Native Americans reveal more about the expectations and preconceptions of the newcomers than they provide hard facts about the way their predecessors lived. Again and again, the newly arrived express disappointment that they haven't met up with the bloodthirsty savages promised by popular pulp fiction. There's much reference to the flimsy construction and obviously temporary nature of shelter preferred by indigenous peoples. (With a longer history here, today we can appreciate the good sense of adapting in this matter to an unstable landscape subject to drought as well as flooding, mudslides and earthquakes.)

When Father Juan Crespi recorded the arrival of Gaspar de Portola in Sepulveda Canyon in August, 1769, he noticed evidence of campgrounds sporadically occupied by the Shoshoean Indians. And on Barrington Avenue between Texas and Ohio Avenues, we find the site of what was once the thriving self-contained village of the Tongva people, the Kuruvungna Springs, now in the care of the Gabrielino/Tongva Indians.

Beating out sixty other candidates for placement of a West Coast Branch of the National Home for Disabled Volunteer Soldiers and Sailors required hard selling back in 1887. Nevada Senator John Percival Jones, Colonel Robert S. Baker, his wife Arcadia Bandini de Baker, and their L.A. Land and Water Company put up a fierce fight for a proposition that started out near the end of a

Congressional list. When managers of the future Home showed up in Los Angeles late in the year, they were entertained in great style at the Arcadia Hotel after an escorted tour of the highlighting the locale's salubrious landscape (within sight of sea and mountains) and access to convenient transportation. Admiring its "climate and hygiene," administrators were impressed enough to move the offered three hundred acres up to the number three spot.

To clinch the deal, Senator Jones telegraphed his promise of \$100,000 to pay for improvements and a five-acre water source supplying 12,000 gallons a day. Such generosity was difficult to ignore. Votes were switched and the award was made. The new home for old soldiers would straddle two former Mexican land grants -- the Ranchos San Vicente y Santa Monica and San Jose de Buenos Ayres.

The decision was a valuable one for the recently founded nearby city of Santa Monica. Congress had committed to an annual budget of \$259,000, not counting more than \$66,000 that would come to soldier-residents as pensions. Great prosperity was anticipated. Veterans were no less enthusiastic. Unwilling to wait out construction, the first resident appeared. Private George Davis of New York, survivor of Civil War battle, set up his tent on the bare grounds. Before another year was out, he was joined by a thousand of his fellows. Marching down from Yountville in Northern California for 500 weary miles, a particularly gumpious group of one hundred men showed that the decades since Shiloh hadn't worn away their stubbornness or stamina.

Their attitudes rubbed off on the nearby community as it grew. While 1889 saw completion of Stanford White-designed buildings to house the eager veterans bivouacked in tents and makeshift structures, neighboring parcels on streets named after Northern states sold swiftly. Designating a street with the name of a Southern state was the kiss of death. Inside the grounds, only the Civil War men felt they'd earned the title "veterans." They dubbed Spanish-American war vets "bamboos" in recollection of battles fought in the Philippine jungles. World War I fighters received the name of "hero." The influence of these Civil War veterans can still be perceived today in the gingerbread structures that remain. Not until 1952 did the last of the gentlemen pass away. Douglas G. Story died at the age of 108 and was buried in the Los Angeles National Cemetery where, on May 11, 1889, Abner Prather of the 4th Indiana Infantry had been the first veteran laid to rest in a 20-acre tract consecrated and dedicated for the burial of residents. Later the tract was expanded to 114 acres, and veterans of every conflict from the Civil War to Vietnam rest here among their comrades-in-arms.

Among fourteen Medal of Honor recipients interred within the quiet grounds of the Los Angeles National Cemetery is Chris Carr, veterans of World War II. On Memorial Day his grave, like those of the other honorees, is marked with a special recognition flag of light blue with a white insignia of the medal he earned. In addition, every grave is decorated with a small U.S. flag.

Also on Memorial Day, an Avenue of Flags--50 interment flags donated by the next-of-kin--flies along Constitution Avenue within the cemetery. In memory of all our deceased veterans, these flags fly on Flag Day and Veterans Day as well.

But throughout the year, present-day veterans receive treatment at the 531-acre Department of Veterans Affairs Medical Center. One of the largest and most complex health facility in the department, the VAMC West Los Angeles is committed to medical care, education of health care professionals and research. The medical center is a teaching institution affiliated with the University of California at Los Angeles Medical School and more than 22 other colleges, universities, and schools. The site of more than 17 medical, nursing, paramedical, allied health, and administrative programs, the VAMC West L.A. is one of the largest research institutions in the VA system.

Recognition of the important role paid by our branch of the VA has been marked by no fewer than three presidential visits. In 1901, President William B. McKinley addressed veterans of the Civil War and Spanish-American War on its grounds, promising them that *"the government for which you fought, to which you gave the best years of your lives...will see to it that in your declining years you shall not suffer."*

Appearances by President Taft in 1909 and by President Roosevelt in 1935 seemed to reaffirm that promise.

Responding to the changing needs of the veterans it serves, the West Los Angeles facility looks to the coming decades of a new century as an opportunity to continue to improve the care its precious patients receive.

On Memorial Day and every day, as neighbors we are proud to share these goals and feelings of appreciation for the men and women who have served our country so well.

Important Dates

- 1828 The Rancho San Vicente y Santa Monica is granted to Francesco Sepulveda, reaffirmed in 1938 and 1846.
- 1881 Ramona Sepulveda is claimant for 30,260 acres, patented on July 23.
- 1887 Congress creates a Pacific Branch of the National Home for Disabled Volunteer Soldiers and Sailors.
Private George Davis of the 14th New York Cavalry is the first National Home patient.
- 1888 A thousand veterans camp out on the grounds of the new National Home, including a group of a hundred from the State Veterans Home in Yountville, California who had marched the 500 miles south to West Los Angeles.
- 1889 The National Home's new building houses 1,000 members.
First interment at the Los Angeles National Cemetery takes place when Abner Prather is buried here on May 22.
Dedication of the cemetery takes place on May 22.
- 1892 The U.S. government is spending \$250,000 a year on the National Home.
- 1893 Staff quarters (building 33) and trolley station (building 66) are built.
- 1897 Engineering shops (building 44) built.
- 1900 The Barry Hospital opens and dozens of graceful structures in late Victorian style are built or moved here.
Trees are planted along the trolley lines.
The chapel is built.
- 1920 To provide for tuberculosis patients, additional buildings appear on the Brentwood grounds.
- 1927 The 2,400-bed James Wadsworth Hospital is completed.
- 1930 Fifteen barracks are constructed for homeless and jobless veterans enduring the Depression.
- 1935 Brentwood "sister" buildings are converted to use as neuropsychiatric facility for 2,000 men and women.

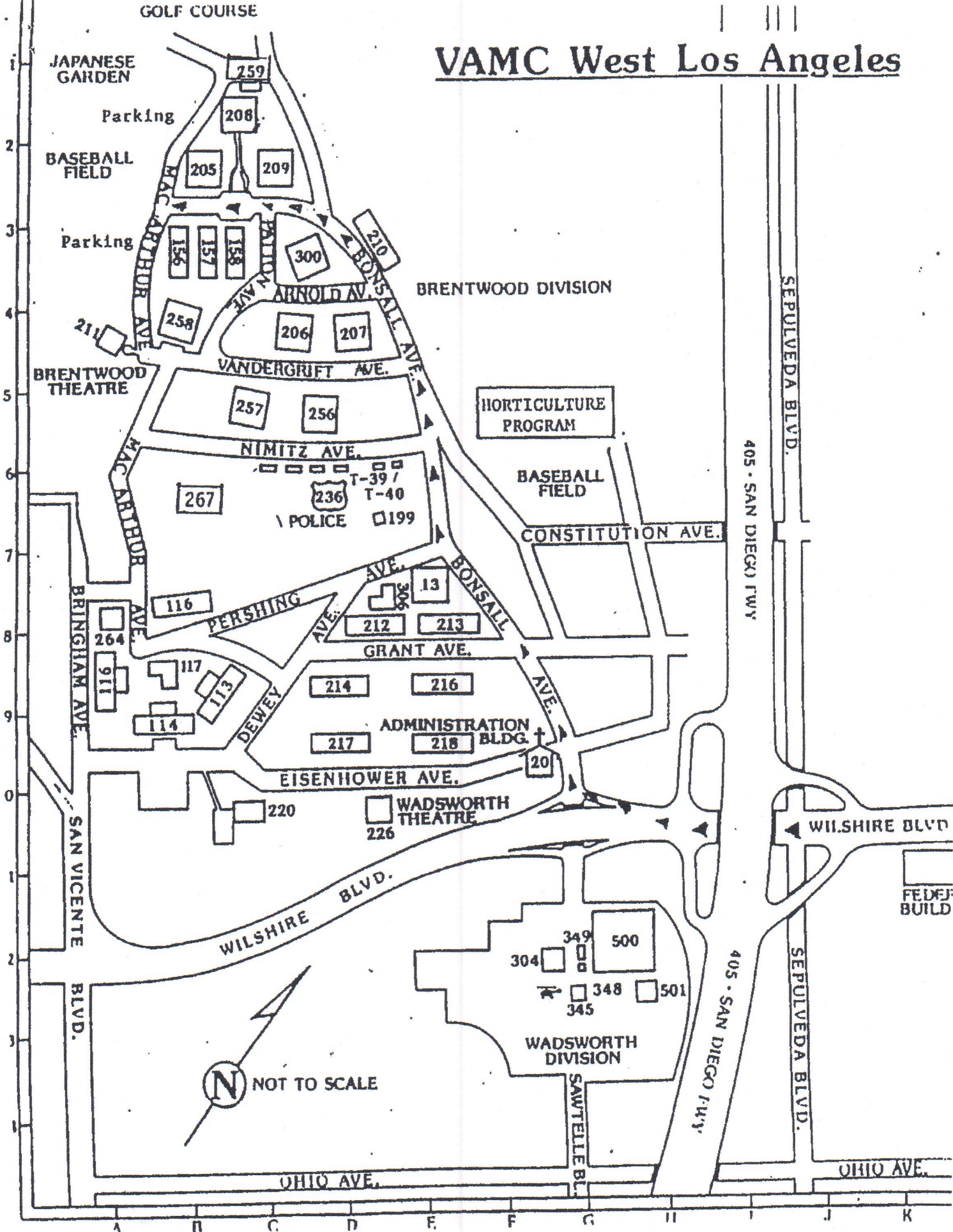
- 1955 Barry Hospital is demolished.
- 1963 More than half a million patients have been served by the West Los Angeles VAMC by this year.
- 1970 The WLA facility now cares for patients in three structures:
 - V.A. Hospital Brentwood (neuropsychiatric)
 - V.A. Hospital Wadsworth (medical/surgical)
 - Extended Care (Domiciliary)
- 1971 Earthquake demolishes the San Fernando V.A. Hospital; the Wadsworth VAMC and several Brentwood VAMC buildings declared seismically unsafe. Patients are moved, and the buildings razed.
- 1973 Construction begins on new 832-bed Wadsworth VA Medical Center at a cost of \$1,000,000.
- ✓ The Los Angeles National Cemetery becomes part of the National Cemetery System when the Veterans Administration takes over responsibility for it. ✓
- 1981 The Brentwood and Wadsworth centers are joined administratively as the West Los Angeles VA Medical Center.
- 1986 Coalition of homeowners groups deters selling off of portions of the property by the White House Office of Management and Budget resulting in a temporary moratorium.
- 1988 Public Law 100-322 passed by Congress preventing the sale of the VA land to developers.
- 1991 Public Law 102-86 enacted by Congress prohibiting the threats of long-term commercial leasing of Veterans Affairs property.
- 1994 Earthquake damages many historic and fragile structures.
- 1995 Plans for a NFL Coliseum surfaces rousing community support. The California Congressional Delegation responds quickly to place a temporary moratorium on any form of development.
- July 1996 Legislation is introduced in Congress to transfer 45 acres of VA property as a Veterans Memorial Park in perpetuity for future cemetery expansion.

✓ mentioned in Holt Book: "quote" Holt

Expansion of LA National Cemetery

Expansion vis-a-vis NFL legislation passed

VAMC West Los Angeles



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NOT TO SCALE

Proposal for MacArthur Field at the West LA Campus

This proposal is being submitted on behalf of our two nonprofit soccer clubs, Westside Breakers and FC Los Angeles, who are currently maintaining and using MacArthur Field on the north side of the West Los Angeles VA campus. As the Master Planner and design professionals consider various proposals for restoring the West LA site, we believe our presence is consistent with the vision of a health campus that serves both the veterans and the surrounding communities.

Our two soccer clubs are nonprofit organizations that serve hundreds of boys and girls from all over Los Angeles. We provide full and partial scholarships to kids from underserved communities. All of our teams carry scholarship players, as high as 90% for some teams. A high percentage of our players use soccer as a vehicle to get into college.

Our clubs have served the community for over 15 years. This includes building and maintaining MacArthur Field as a beautiful green space for both our players and the veterans. Over the years, we have spent hundreds of thousands of dollars in redesigning, landscaping and maintaining the field. We have built new restroom facilities and installed portable lights to illuminate the field at night. Each spring we spend over \$20,000 to restore and re-turf the worn spots on the field.

In addition to maintaining the field on our own dime, our clubs pay over \$55,000 annually in rent to the VA.

We understand that the current proposal divides the VA campus into four zones. Zone 4 will be for “Green Space and Recreation” and includes MacArthur Field. This field is the open green space envisioned by the current proposal. Our clubs use the field only in the late afternoons/early evenings and over the weekend. Along the way, we have shared the field with the veteran community when needed for recreation or any other purpose.

Our clubs, players and families have volunteered our time and money to support veteran causes, such as our recent contributions to the annual 2K walk/run fundraiser. We have been active participants in the Master Plan discussions since the beginning. Our community consists of over 1,000 families who are enthusiastic about supporting the VA and helping to bring solutions to veterans' issues.

We propose that our clubs and the VA continue the current use arrangement for MacArthur Field, at least for the time being. The open field space is consistent with the draft plan for Zone 4. If eventually a consensus is reached that our clubs do not fit within the Master Plan, we would request a fair exit plan with ample advance notice. Working together like this will be the best way to build supportive relationships between the VA and the surrounding communities.

In the meantime, there is no good reason to remove our clubs from the field, at least at this preliminary stage of planning. Our continued presence will keep this space maintained in great condition and beautify the entire VA campus. MacArthur Field is the only open green space available on this site. We want to work with the VA to keep it that way.

Our clubs are also ready and able to assist in any facility upgrades that might be called for under the Master Plan. We are open to any proposals to enhance the field and facilities at MacArthur Field. This may include building a running/walking track around the field, installing permanent lights, making arrangements to open up the field during the day, and perhaps building an indoor gymnasium or club house.

We look forward to continuing our dialogue with the professionals assigned to this project, the VA and the veterans themselves. We share your vision of integrating the veteran community with the neighborhood surrounding the campus, in order to enhance the important recovery and rehabilitation goals of the VA.

September 3, 2015

Westside Breakers Soccer Club

FC Los Angeles

“Motorcycle-related fatalities is and continues to be a leading cause of death among service members unrelated to war.” ~Armed Force Health Surveillance Center. December, 2013.

Dear Cynthia,

We are reaching out to you with the intention of being a part of the VA's new master land use plan for the West LA Campus. We understand many entities that do not provide direct services to Veterans are being asked to vacate by October. Our mission from the day we started training on the VA grounds has been Veteran-centric in nature. Since we began in 2005 as the original and only CHP-approved training facility in the 33rd CD, we have trained over 20,000 riders. *In that ten-year span, nearly one-third of our graduates have been Veterans.*

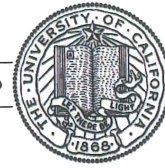
Need for Veteran Motorcycle Safety Courses: Motorcycle crashes are a leading cause of death among U.S. service members. In 2008, Marine motorcycle deaths topped their Iraq combat fatalities. A report published by the Armed Forces Health Surveillance Center (AFHSC) in December, 2013 indicates: “Motorcycle-related fatalities is and continues to be a leading cause of death among service members unrelated to war.” This study tracked a 15-year surveillance period. The report recommends that greater efforts need to be made to encourage service members most at risk to appreciate their vulnerability and to modify their riding behaviors accordingly.

We serve our Veterans and our extended community with a high quality rider education program that recognizes and respects all learning abilities, in which safety to all participants is paramount. In addition to offering curricula recognized and required by the DOD for Veterans to ride on military bases, we offer free advanced riding courses for Veterans and provide a variety of direct and specific benefits to Vets including:

Discounts for the California Motorcyclist Safety Program Motorcyclist Training Courses (The DMV required license-waiver course): Veterans that come on standby are eligible to take the course for \$100. (The CHP set the price statewide at \$258).

Priority Enrollment for our Veterans: *Since 2009, the Department of Defense has required service members who intend to own a motorcycle to enroll and participate in motorcycle safety courses.* Since the closing of the LA Air Force Base, we have trained and licensed hundreds of Veterans mandated to take the courses we teach so they are able to ride on their military bases. WMA gives these Veterans priority enrollment to obtain their required training to fit their schedule as requested.

Free Quarterly Advanced Riding Classes for Veterans: Studies show that riders who continue to take courses and practice their riding skills reduce the occurrences of crashes and fatalities. WMA is committed to helping Veterans reverse the trend of surviving war and killing themselves on their motorcycles when they return to civilian life.



OFFICE OF THE CHANCELLOR
2147 MURPHY HALL, BOX 951405
LOS ANGELES, CALIFORNIA 90095-1405

October 5, 2015

The Honorable Dianne Feinstein
United States Senate
331 Hart Senate Office Building
Washington, D.C. 20510

Dear Senator Feinstein:

For nearly 70 years, the University of California, Los Angeles (“UCLA”) and the Department of Veterans Affairs (“VA”) have partnered to serve veterans at the West Los Angeles VA campus. Their medical collaborations have been rich and varied; and, together, UCLA and the VA have provided cutting-edge programs for veterans in fields as diverse as public health, social welfare, family resilience, and entrepreneurship. Today, opportunity exists for something even greater.

Inspired by Secretary McDonald’s vision for a reinvigorated, veteran-centric campus and by its longstanding commitment to serving its veteran neighbors, UCLA has vowed to use its broad and deep medical and academic expertise to support the VA as it redesigns a West Los Angeles campus for the 21st century. Specifically, UCLA and the VA have agreed that expanding and strengthening their partnership will best serve the unique needs of veterans residing at and otherwise utilizing the West Los Angeles campus, and the following projects are under active consideration:

- (1) *Veterans and Family Resource Center* – The Veterans and Family Resource Center would be a fully integrated, one-stop portal, through which veterans and their families could access specialized medical, public health, social work, legal, educational, employment, financial management, parenting skills, and family resilience programs and services. The Center, which would be jointly operated by UCLA and the VA, would be designed based on the work of Dr. Patricia Lester, Jane and Marc Nathanson Family Professor of Psychiatry at UCLA, the Director of the Nathanson Family Resilience Center, and a nationally recognized expert in family resilience and trauma.
- (2) *Enhanced Specialty Medical Care for Veterans* – UCLA and the VA would collaborate to enhance specialty care available on the West Los Angeles campus by developing a concentration of programs and centers focused particularly on the problems of homeless and disadvantaged veterans. These programs and centers would focus on disabilities associated with trauma, including brain damage, post-traumatic stress, and addictive illnesses.

- (3) *Fellowship and Training Programs in Psychiatry, Psychology, Social Work and Nursing* – UCLA has a longstanding, successful partnership with the VA in the training of physicians and behavioral health workers. For example, the integrated UCLA / VA general residency ranks within the top three nationally. Going forward, UCLA and the VA would partner to develop additional opportunities for the training of fellows in psychiatry, psychology, social work and nursing on the VA campus to address special needs of homeless populations.
- (4) *Enhanced Research Relationships* – UCLA and the VA would work together to enhance the scope and reach of medical, social science, and other research conducted at the West Los Angeles campus, benefitting veterans who live and receive services there. As just one possibility, UCLA would explore collaboration with the VA through a new UCLA project that is under development – the Depression Grand Challenge, a multi-million dollar research endeavor bringing together scientists, scholars, and public and private stakeholders with the common goal of cutting the burden of depression in half by 2050 and eliminating it by the end of the century.
- (5) *Advanced Technical Training for Veterans* – Another proposal that is being considered is a UCLA / VA collaboration to develop a 21st century high-tech vocational training school at the West Los Angeles campus. This school would be developed based on a community college model and in conjunction with other community partners.
- (6) *Legal Support for Veterans* – UCLA would expand its clinical law programs involving faculty, law students, and relationships with pro bono lawyers that provide legal services to veterans in need on the West Los Angeles campus. As just a few examples, legal support services include providing direct assistance or facilitating connection with other legal support as veterans encounter problems with criminal matters, claims processing, family reunification assistance, and traffic / failure to appear citations.
- (7) *Expanded Recreational and Other Veterans' Benefits at Jackie Robinson Stadium* – As early as the 1930s and continuously since 1964, UCLA has used for its baseball team Sawtelle Field, located in a section of the West Los Angeles campus that is devoted to infrastructure facilities. Between 1979 and 1981, with the permission of the VA, UCLA upgraded the stadium and named it in honor of veteran and UCLA student athlete Jackie Robinson. In partnership with the VA, UCLA intends to expand veteran-centric programming offered in conjunction with the stadium – develop recreational and adaptive recreational programming (including softball programs) for veterans, increase work opportunities for veterans at the stadium, offer physical health improvement programs for veterans, facilitate family programming (such as movie nights) and non-recreational events at the stadium, and invite all veterans to enjoy UCLA baseball games. UCLA will also pay fair market rent for the stadium – as determined by professional appraisers in a process agreed upon by the parties – and continue its maintenance of the stadium and its grounds.

The Honorable Dianne Feinstein

October 5, 2015

Page 3

Although this list is not exhaustive and matters remain to be addressed, the programs and ideas above are representative of the collaborative spirit of the proposed UCLA / VA relationship going forward. UCLA intends to collaborate closely with the VA on many projects, programs, and activities, including but not limited to those discussed above, with the purpose of serving veterans' needs in the present while also engaging in innovative research to address the needs of the future.

Thank you for your leadership in supporting Secretary McDonald's vision for a revitalized West Los Angeles VA campus. I look forward to providing you updates as UCLA and the VA work together to implement our shared vision of a partnership that will provide critical, impactful services to our nation's veterans. You have my personal commitment to work diligently with Secretary McDonald in implementing his vision for the West LA Campus.

Sincerely,



Gene D. Block
Chancellor

cc: Secretary Robert A. McDonald, U.S. Department of Veterans Affairs
Senior Advisor for Strategic Partnerships Matthew S. Collier, Department of Veterans Affairs
President Janet Napolitano, University of California

VA Authorities Involving Housing Components for Veterans (10/15/2015)

1. **Enhanced-Use Lease Authority:** 38 U.S.C. §§ 8161-8169 authorizes VA to outlease VA property to a selected developer/lessee for up to 75 years, to develop and operate a “supportive housing” facility as defined in 38 U.S.C. § 8161(3). (Note: VA is currently prohibited from doing Enhanced-Use Leases at the West LA VAMC campus, due to the “Feinstein Amendment” (Section 224 of Public Law 110-161)).
2. **Enhanced-Sharing Authority:** 38 U.S.C. §§ 8151-8153 in part authorizes VA to enter into agreement with third parties, exclusively for the purpose of sharing “health-care resources” as specifically defined in § 8152(1) of the statute.
3. **Housing and Urban Development (HUD)-VA Supported Housing Program (HUD-VASH):** HUD-VASH is a joint program between VA and HUD, per 38 U.S.C. § 2003(b) and 42 U.S.C. § 1427f(o). VA screens homeless Veterans for program eligibility, and provides case management services to Veteran participants, while HUD provides permanent housing subsidies to homeless Veterans and their immediate families, by allocating rental subsidies from its “Housing Choice” Program.
3. **Domiciliary Care for Homeless Veterans (DCHV) Program:** VA has authority to provide domiciliary care under 38 U.S.C. § 1710(b) and 38 C.F.R. §§ 17.30(b), 17.43, 17.46(b) and 17.47(b)(2). Domiciliaries provide shelter, food, and necessary medical care on an ambulatory self-care basis, to restore patients to their highest level of functioning. These Veterans are not in need of hospitalization or nursing care services. Additionally, 38 U.S.C. § 2043 provides VA with specific authority for the Domiciliary Care for Homeless Veterans (DCHV) Program. DCHV provides time-limited residential treatment to homeless Veterans, with significant health care and social-vocational deficits.
4. **Compensated Work Therapy (CWT) and Compensated Work Therapy/Transitional Residence (CWT/TR):** CWT/TR programs are designed for Veterans whose rehabilitative focus is transitioning to successful independent community living. See 38 U.S.C. §§ 2031(a)(3), 2032, and 2042. Disadvantaged, at-risk, and homeless Veterans live in CWT/TR community-based supervised group homes, while working for pay in VA's CWT Program.
5. **Homeless Grant & Per Diem Program:** VA uses this program to assist public or non-profit private organizations in establishing and operating transitional programs for homeless Veterans, by awarding capital grants, and operational funding (per diem) to such organizations. (38 U.S.C. §§ 2011, 2012, 2061 and 38 C.F.R. Part 61). Under the Capital Grant component, VA may fund up to 65% of the construction, acquisition, or renovation of facilities, or purchase vans to provide outreach and services to homeless Veterans.
6. **Health Care for Homeless Veterans (HCHV):** HCHV is primarily to perform outreach through VA social workers and other mental health clinicians, to identify homeless Veterans with serious mental illnesses, and assist them in accessing appropriate healthcare and benefits. See 38 U.S.C. § 2031(a)(1)-(2). In addition to its initial core mission, HCHV also functions as a mechanism to contract with providers for community-based residential treatment for homeless Veterans.

7. **Supportive Services for Veteran Families Program (SSVF)**: 38 U.S.C. § 2044 authorizes VA to provide financial assistance for supportive housing for very low income Veteran families in permanent housing. VA provides supportive service grants to non-profit organizations and consumer cooperatives, which provide supportive services to very low-income Veteran families residing or scheduled to receive permanent housing.

8. **Agreements with Nonprofits**: 38 U.S.C. § 2041 authorizes VA to enter into agreements with nonprofit organizations or state (local) governments, to sell, lease, or donate property to be used to shelter homeless Veterans and their families.

9. **Specialized residential care and rehabilitation services**: 38 USC 1720(g) authorizes VA to contract with appropriate entities to provide specialized residential care and rehabilitation services to a Veteran of Operation Enduring Freedom or Operation Iraqi Freedom who VA determines suffers from a traumatic brain injury, has an accumulation of deficits in activities of daily living and instrumental activities of daily living, and because of these deficits, would otherwise require admission to a nursing home even though such care would generally exceed the veteran's nursing needs.

10. **VA's Grant and Per Diem Program for State Home Domiciliaries**: State home domiciliaries are owned and operated by States. Per 38 U.S.C. §§ 8131-8137, and 38 C.F.R. Part 59, VA may pay up to 65 percent of the cost of construction or acquisition of State homes or for renovations to existing State homes. Per 38 U.S.C. §§ 1741-1745, VA also may provide per diem payments to States, for the domiciliary care in State homes of Veterans who meet the eligibility criteria for domiciliary care in a VA domiciliary.

11. **Housing Assistance**: VA guarantees loans made to Veterans by private lenders for, inter alia, the purchase of a dwelling to be owned and occupied by the veteran as the veteran's home. 38 U.S.C. § 3710(a)(1). Any loan to an eligible Veteran made in compliance with the purposes and requirement set forth in chapter 37 of title 38, United States Code, "is automatically guaranteed by the United States..." 38 U.S.C. § 3703(a)(1).

12. **Specially Adapted Housing**: VA may provide Specially Adapted Housing (SAH) assistance to an eligible disabled Veteran for the purpose of acquiring an adapted home or for modifying an existing home that meets the Veteran's needs. 38 U.S.C. § 2101. To be eligible for assistance, a Veteran must meet the medical eligibility requirements and the suitability and feasibility requirements prescribed by statute and regulation. 38 U.S.C. § 2101; 38 C.F.R. § 36.4404.

Prepared by:
VA Office of General Counsel



THE VETERANS' CENTER FOR RECREATION AND EDUCATION

A 21ST CENTURY STRATEGIC PARTNERSHIP
WITH BRENTWOOD SCHOOL



Brentwood School and the VA already have a longstanding strategic partnership. Since 1972, their relationship has included student and school service in support of veterans on campus and in the community, as well as use of VA land.

OUR 21ST CENTURY COMMUNITY

Brentwood School, a 501(c)(3) non-profit organization, looks forward to being a dedicated community partner in manifesting the VA's goal of honoring the 1888 vision of Bandini de Baker and Senator John P. Jones: the creation of a national home for our veterans.

Brentwood School has a more than 30 year strategic partnership with the West Los Angeles (WLA) VA, and is unique in that we can immediately offer veterans and their families at the WLA VA campus substantial veteran-centric opportunities funded by Brentwood School. **Physical recreation, health and wellness, education, and vocational training** can all take place at existing facilities built and maintained by Brentwood School.

Brentwood School is committed to creating The Veterans' Center for Recreation and Education as an integral part of our 21st century community.

THE VETERAN'S CENTER WILL BE FOUNDED ON FOUR CORNERSTONES:

1 | ACCESS FOR VETERANS
EXCLUSIVE AND EXTENSIVE

2 | NEW OPPORTUNITIES
EDUCATIONAL, VOCATIONAL, AND RECREATIONAL

3 | IMPROVEMENTS
DELIVERED TO VETERANS QUICKLY AND ON-TIME

4 | SECURITY AND ACCOUNTABILITY
FOR OUR 21ST CENTURY COMMUNITY



BEFORE AND AFTER

In 1999, after decades of permitted and contractual use, Brentwood School signed a 10-year agreement with a 10-year option to utilize 20 acres in the northern-most (greenbelt) portion of the VA campus.

\$15 million invested
\$450K annually in rent
\$150K annually for maintenance
\$50K-\$350K annually for deferred maintenance



THE FIRST CORNERSTONE



1 ACCESS FOR VETERANS

EXCLUSIVE AND EXTENSIVE

The abundant recreational facilities built and maintained by Brentwood School are a ready resource for activities that promote health and wellness, socialization, and skills building. Funded by Brentwood School, The Veterans' Center will create a truly shared and robust community. Veterans will have daily, exclusive, and plentiful access to: **tennis, volleyball, basketball, track, soccer, baseball, football, and more.**

Access will be provided every weekday from 8:00 am until noon, and during extended hours on the weekends.¹

Recreational and lap swimming will be available on weekends in the competition pool.

A Welcome Center built by Brentwood School will provide a place for vets to check out sports equipment and store their gear.

The Veterans' Center Liaison, created and funded by Brentwood School, will give VA officials a full-time contact to ensure that the Center is functioning at all times for the benefit of veterans.

At their expense, **Brentwood School will provide onsite staff** at The Veterans' Center to help guarantee smooth day-to-day operations.

Brentwood School will operate a round-trip **shuttle bus service** between the WLA VA campus and The Veterans' Center for Recreation and Education.

Classes and clinics in swimming, weight training, conditioning, tennis, and more **will be offered at no cost to veterans and their families** by Brentwood School.

¹ To take advantage of extended daylight, veterans will have exclusive daily access from 3:00 pm until 8:00 pm during summer months.

THE SECOND CORNERSTONE



2

NEW OPPORTUNITIES

EDUCATIONAL AND VOCATIONAL OPPORTUNITIES FOR VETERANS AND THEIR FAMILIES

Members of the Brentwood School community and veterans will build on past successes and continue to collaborate through service, educational outreach, and recreational activities. **Educational opportunities, vocational resources, community service, intramural athletics, and entertainment** are among the many benefits that will be made exclusively available to veterans and their families through the Veterans' Center for Recreation and Education.

OUR IDEAS INCLUDE:

Scholarships for the children of vets to attend Brentwood School summer camp.

Adult education classes for veterans and their families. Options include: GED tutoring, career counseling, resume building workshops, and finance training.

Veteran access to special events produced by Brentwood School: parent education workshops, screenings of popular new films, and the Hutson Memorial Guest Lecture Series. (Past speakers include Malcolm Gladwell, Gloria Steinem, Amy Tan, Alice Walker, and others.)

Brentwood School will continue to hire veterans.

Fundraising support to help raise money for the restoration of the historic core of campus. Brentwood School can offer expertise in grant writing, identification of foundations and other potential donors, and preparation of fundraising materials and solicitations.

Advocacy for the VA and veterans by promoting positive messaging on the Brentwood School website and through communications with Brentwood School families and friends.

As an enhancement to the thousands of hours of volunteer service to veterans already performed each year, the school can collect toiletries, blankets, clothing, food, and other supplies needed to support the housing of veterans and their families.

Host National Veterans Golden Age Games at The Veterans' Center. Brentwood School last hosted the Games in 2002.



Brentwood School students and veterans learn from each other through a longstanding practice of community service at the VA. Students dedicate thousands of hours every year to programs that directly benefit veterans, and veterans routinely speak in classes and at assemblies.

THE THIRD CORNERSTONE



3

IMPROVEMENTS ADDITIONAL FACILITIES FOR VETERANS FINANCED BY BRENTWOOD SCHOOL

Beyond recreational, educational, vocational, and support options, Brentwood School can also play a role in developing other types of recreational and therapeutic facilities for veterans.

This can be accomplished much more expeditiously through the private sector as we are not reliant on the inherent limitations of government funding and approval processes.

Brentwood School and the VA can collaborate to understand what is beneficial to the veteran community. Over time, Brentwood School is open to financing the construction of additional veteran-centric therapeutic and recreational facilities.

SUCH FACILITIES COULD INCLUDE:

A weight room for strength training

Separate and secure locker facilities for men and women

An equipment room and space for veterans to store their gear¹

A shallow therapy pool exclusively for the use of veterans²

¹ This equipment room for veterans was completed on August 3, 2015.

² The feasibility of such a project may be impacted by building conditions as determined by geologic surveys.

THE FOURTH CORNERSTONE



SECURITY AND ACCOUNTABILITY FOR OUR 21ST CENTURY COMMUNITY



Brentwood School's complete financial responsibility for and staffing of the operation and maintenance of The Veterans' Center, as well as the continued income from lease payments, will sustain our 21st century community.¹

Veterans can be confident about their continued access to these exclusive recreational, educational, and vocational opportunities offered at The Veterans' Center for Recreation and Education as they are not dependent upon governmental funding.

TO CREATE OUR 21ST CENTURY COMMUNITY, BRENTWOOD SCHOOL IS PREPARED TO PROVIDE THE FOLLOWING FINANCIAL RESOURCES FOR AS LONG AS WE HAVE CONTINUED USE OF THE LAND:

Brentwood School will continue, as it has since 1999, **to pay market rate for the leased land** in addition to annual cost of living increases.²

Brentwood will pay all of the operations and maintenance costs of The Veterans' Center for Recreation and Education for as long as there is shared use of this VA land.

Brentwood School will assume all deferred maintenance and ongoing improvements for The Veterans' Center.

Brentwood School believes that The Veterans' Center for Recreation and Education is an integral facet of a successful 21st century community. As a result, **Brentwood School will work with veterans and VA officials to engage in consistent monitoring of the facility and its programs**, so that improvements are made quickly and effectively.

¹ It is important to note that, distinct from other community partners, Brentwood School has paid more than \$5 million in rent, including scheduled increases, since the original agreement was approved in 1999.

² Please note that the School already pays the largest amount of any of the entities that have leased VA land in West Los Angeles.



BRENTWOOD SCHOOL
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MICHAEL A. SHULL
GENERAL MANAGER

October 13, 2015

Vincent Kane
Special Assistant to the Veterans Administration Secretary
US Department of Veterans Affairs
Networking Contracting Office 22 (NCO 22)
4811 Airport Plaza Drive, Suite 600
Long Beach, California 90815

Dear Mr. Kane:

On behalf of the City of Los Angeles, Department of Recreation and Parks (City), thank you for the opportunity to provide comments and suggested uses for the Barrington Park Fields to help support the Department of Veterans Affairs (VA) commitment to opportunity, programming, and housing for veterans. The City recognizes this effort requires the partnership of Federal, State and local authorities. As such, the City desires to continue partnership with the VA to continue recreation and leisure activities at Barrington Park, specifically its adjacent fields (Barrington Park) to benefit veterans per its legal settlement integrated with city services.

Specifically, the City can provide job opportunities for Veterans, outreach and promotion of VA goals and objectives, and help the VA fulfill its objectives to better utilize the West Los Angeles Medical Center campus.

Barrington Park Current Recreational Programs

It is the City's desire to support the Veterans Administration's mission, while continuing to offer public and community access and programming for recreational activities

The City is exploring alternative sites for City Park operations and would prefer to offer recreational programs to the community while working with the VA to develop programs that better equip Veterans with job skills, access to income, and recreational opportunities that benefit health and wellness.

The property currently contains 2 baseball diamonds, fields for soccer and football, walking trails and a dog park, operated through the City's Municipal Sports Section and Operations and Maintenance Branch. Those amenities can provide job opportunities for Veterans.

Additionally, the City can work with its partner, Coca Cola in a program called "Troops for Fitness" to create job opportunities for veterans. Currently, two years remain on the Coca Cola grant that can be used to hire Veterans to lead fitness training at Barrington Park.

Future Land Use Proposals

Pursuant to the Master Plan, all Land Use Proposals which support the goal of creating therapeutic, Patient-Centered Care environments will be evaluated based on the three critical priorities: *Direct Benefit for Veterans, Fulfillment of the VA's mission and Compatibility with the Community*

1. Direct benefit for Veterans

Should a land use agreement be afforded to the City, job opportunities will become available for Veterans.

2. Fulfillment of VA's mission

Barrington Park will provide facilities/land for Veteran participation in leagues and recreational activities. These leagues and recreational activities will provide an arena for the able bodied, as well as the physically and mentally disabled. Appropriate facilities and programming will provide for veterans that will create a sense of belonging and worth that can substantially improve overall health and wellness.

3. Compatibility with the community

The City will agree to maintain the baseball diamonds, soccer fields and Dog Park to acceptable standards to the VA and the community.

Added Benefits and Services for Veterans

The City is well equipped to be a partner with the VA to support and strengthen its goal.

Use of park space for development of programs that benefit VA hospital outpatient needs — therapeutic physical training areas, a special designed course for fitness training etc.; installation of a monument honoring veterans to be maintained by vets; programs for Dog Therapy for Vet dogs or training of sight dogs, care dogs etc.; recreational, sports programming offered to Veterans managed and operated by Recreation and Parks free of charge and paths to possible part time job offerings.

The City is committed to a partnership with the VA in support of mutual goals to address Veteran homeless. The City can offer direct benefit to veterans while adhering to the VA's commitment. We look forward to continuing to work with the VA to serve and support America's Veterans and provide recreational services and opportunities for all Los Angeles area residents.

Sincerely,



MICHAEL A. SHULL
Assistant General Manager

MAS/CM:ct

cc: Mayor Eric Garcetti, Attn: Ryan Carpio
Councilmember Mike Bonin, Attn: Sharon Shapiro
Anthony-Paul Diaz, City Attorney
Ramon Barajas, Assistant General Manager
Cathie Santo Domingo, Superintendent of Planning and Construction



July 16, 2015

To Whom it May Concern:

As Executive Director of the Westside Food Bank, I have been attending the recent Town Hall meetings announcing a new Master Plan for expanding veterans' housing and developing a new sense of community at the West LA VA.

At Westside Food Bank, we are very pleased to see the vigorous commitment embodied in the new Master Plan, and, as more veterans begin to be housed on the West LA campus, we see ourselves working with other local nonprofits to deliver new services to benefit LA County's veterans.

Founded in 1981, Westside Food Bank is the food bank warehouse that supplies food to more than 65 nonprofit organizations with food programs throughout Western Los Angeles County. Today, WSFB provides food to the following veterans programs at the VA campus: New Directions, Salvation Army Haven, Salvation Army Transitional Village, the Bandini Foundation Heroes Golf Course and Serenity Park. We also provide food to the PATH Veterans' housing in West LA, the women's veteran transitional living program operated by New Directions in Mar Vista, and St. Joseph Center, which operates a Veteran Representative Payee program. Additionally, low-income veterans are prominent among those receiving food at the more than 20 food pantries that we supply in Western Los Angeles County. We currently operate the Heroes Garden in collaboration with the Bandini Foundation at the Heroes Golf Course on the West LA VA campus. This vegetable garden provides paid work and vocational training for veterans and supplies fresh produce exclusively for vets. We were recently awarded one of County Supervisor Sheila Kuehl's inaugural "Food for the Soul" grants in order to ramp up operations at the Heroes Garden.

There are many services that could be delivered by local nonprofits in new facilities, as more veterans settle in at the West LA campus. Specifically, Westside Food Bank envisions the creation of an on-campus multi-purpose center to promote the highest level of health and well-being among veterans housed or served by the West LA VA. This center could incorporate a

food pantry to provide free groceries to low income and formerly homeless veterans as well as a host of other services including recreational facilities, nutrition and fitness education, cooking and food preparation lessons, dietary planning around health conditions and chronic illness, and more.

Westside Food Bank has longstanding relationships with dozens of religious congregations, schools, businesses and service clubs located in the immediate vicinity of the West LA VA campus. These institutions provide us with significant financial support, food donations and volunteer assistance, and we could enlist many of them to contribute to the success of the new VA Master Plan.

Working in close cooperation with our more than 65 member agencies and with the Westside Coalition on Hunger, Housing and Health, we are especially well positioned to bring together a variety of stakeholders to ensure that the veterans who are part of the West LA VA community receive a full range of supportive services for promoting the good health, nutrition, and life skills necessary to be part of a thriving community. **We stand ready to create and supply a food pantry on the VA campus** to serve veterans living on campus or from the wider community, ideally as part of a new multi-purpose center at the VA featuring positive opportunities for over-all wellness and good nutrition. Our own increased commitment to healthy living is reflected in our powerful new Nutrition Policy, adopted by our board last fall.

Westside Food Bank invites a conversation with the Master Planners to discuss the possibility of our serving as a focal point for food, nutrition and wellness services for the West LA VA. We would like to meet at your earliest opportunity to provide support for the planning process. We look forward to a lively and productive discussion.

Sincerely,



Bruce Rankin
Executive Director
Westside Food Bank
310-828-6016 ext. 13
bruce@wsfb.org

Appendix G. Existing VA Shuttle Schedule

Contents

Appendix G. Existing VA Shuttle Schedule G.1

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Figure G-1: Route 1 G.2
Figure G-2: Route 2 G.3

VA GLA Healthcare System provides shuttle services between VA clinical facilities in Kern, Los Angeles, San Louis Obispo, Santa Barbara, and Ventura counties. The shuttle enables Veterans who lack adequate means of transportation to easily move between key VA clinical facilities, providing greater access to specialty services. The tables below show the current schedules for the two shuttle routes currently provided by the GLA Healthcare System. At each of the listed VA facilities, the driver is required to pick up Veterans, check for laboratory specimens the facility's laboratory, and check with its information desk for any items that need to be delivered to other VA facilities.

Figure G-1: Route 1

| Location | Address | Bus Arrival* | Bus Departure* |
|--|------------------------------------|--------------|----------------|
| VA Bakersfield Community Based Outpatient Clinic Ambulatory Care Center (BACC) | 1801 Westwind Dr. Bakersfield, CA | 7:15 a.m. | 7:35 a.m. |
| McDonald's Restaurant | 49714 Gorman School Rd. Gorman, CA | 8:15 a.m. | 8:25 a.m. |
| Sepulveda Ambulatory Care Center (SACC) | 16111 Plummer St. North Hills, CA | 9:30 a.m. | 10:15 a.m. |
| VA West Los Angeles Campus (WLA) | 11301 Wilshire Los Angeles, CA | 11:00 a.m. | 11:20 a.m. |
| VA Los Angeles Ambulatory Care Clinic (LACC) | 351 East Temple Los Angeles, CA | 12:00 p.m. | 12:15 p.m. |
| VA Sepulveda Ambulatory Care Center (SACC) | 16111 Plummer St. North Hills, CA | 1:00 p.m. | 2:15 p.m. |
| Driver Lunch | | 1:15 p.m. | 1:45 p.m. |
| VA West Los Angeles Campus (WLA) | 11301 Wilshire Los Angeles, CA. | 2:45 p.m. | 3:10 p.m. |
| Sepulveda Ambulatory Care Center (SACC) | 16111 Plummer St. North Hills, CA | 3:45 p.m. | 4:00 p.m. |
| McDonald's Restaurant | 49714 Gorman School Rd. Gorman, CA | 4:55 p.m. | 5:00 p.m. |
| VA Bakersfield Community Based Outpatient Clinic Ambulatory Care Center (BACC) | 1801 Westwind Dr. Bakersfield, CA | 5:30 p.m. | |

*Times will vary depending on traffic conditions.

Figure G-2: Route 2

| Location | Address | Bus Arrival* | Bus Departure* |
|--|------------------------------------|--------------|----------------|
| Veterans Memorial Building | 801 Grand Ave. San Luis Obispo, CA | 6:00 a.m. | 6:15 a.m. |
| VA Santa Maria Ambulatory Care Clinic (VASMACC) | 1500 East Main Santa Maria, CA | 6:45 a.m. | 7:00 a.m. |
| Carl's Jr. Restaurant | Buelleton Town Center | 7:30 a.m. | 7:45 a.m. |
| VA Santa Barbara Ambulatory Care Center (VASBACC) | 4400 Calle Real Santa Barbara, CA | 8:15 a.m. | 8:30 a.m. |
| Veterans of Foreign Wars (VFW), Veterans Memorial Building | 941 Walnut Carpenteria, CA | 9:05 a.m. | 9:10 a.m. |
| Oxnard Metrolink | 201 East 4th St. Oxnard, CA | 9:30 a.m. | 9:45 a.m. |
| GLA Campus | 11301 Wilshire Los Angeles, CA | 10:40 a.m. | 11:00 a.m. |
| VA Sepulveda Ambulatory Care Center (SACC) | 16111 Plummer St. North Hills, CA | 11:30 a.m. | 12:30 p.m. |
| Driver Lunch | | 11:45 a.m. | 12:15 p.m. |
| GLA Campus | 11301 Wilshire Los Angeles, CA | 12:55 p.m. | 2:10 p.m. |
| VA Sepulveda Ambulatory Care Center (SACC) | 16111 Plummer St. North Hills, CA | 2:35 p.m. | 2:45 p.m. |
| GLA Campus | 11301 Wilshire Los Angeles, CA | 3:30 p.m. | 3:40 p.m. |
| Oxnard Metrolink | 201 East 4th St. Oxnard, CA | 5:00 p.m. | 5:15 p.m. |
| Veterans of Foreign Wars (VFW), Veterans Memorial Building | 941 Walnut Carpenteria, CA | 5:45 p.m. | 5:55 p.m. |
| Santa Barbara Transit Center | 1020 Chapala St. Santa Barbara, CA | 6:00 p.m. | 6:05 p.m. |
| VA Santa Barbara Ambulatory Care Center (VASBACC) | 4400 Calle Real Santa Barbara, CA | 6:20 p.m. | 6:25 p.m. |
| VA Santa Maria Ambulatory Care Clinic (VASMACC) | 1500 East Main Santa Maria, CA | 7:30 p.m. | 7:35 p.m. |
| Veterans Memorial Building | 801 Grand Ave San Luis Obispo, CA | 8:00 p.m. | |

*Times will vary depending on traffic conditions.

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Appendix H. Possessory Use Agreements

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In January 2015, a settlement agreement was reached in the June 2011 lawsuit filed against VA (*Valentini v. McDonald*) on behalf of several Veterans, the Vietnam Veterans of America, and Carolina Winston Barrie (a descendant of family members that deeded the GLA Campus to the United States). The lawsuit alleged that VA violated the covenant contained in the March 1888 deed whereby the United States acquired title to the GLA Campus, by misusing parts of it for commercial purposes, in lieu of caring for and serving Veterans – namely chronically homeless Veterans with significant disabilities, and other underrepresented Veterans that are severely disabled, aging, or female Veterans.

This Veteran focused intent for all land use agreements at GLA going forward is absolutely appropriate and warranted, particularly given: (a) the 1888 deed where the United States received a donation of title to the GLA campus intended for the campus to be used for disabled volunteer soldiers (e.g., homeless Veterans); and (b) the holding and lessons learned from the August 2013 District Court for Central District of California decision in the *Valentini v. McDonald* case (Case No. 2:11-cv-04846-SJO-MRW), which held that nine of the existing land use agreements were illegal as they did not constitute a valid sharing of “health-care resources” under VA’s Enhanced-Sharing Authority (38 U.S.C. §§ 8151-8153). Given those two clear principles, and as part of the “Principles for Partnership Agreement” that settled the *Valentini* lawsuit in January 2015, VA Secretary Robert McDonald commissioned an extensive review of the land use agreements at GLA, including those nine voided agreements. The nine agreements voided under the Court decision were as follows:

1. Brentwood School
2. Sodexo Marriott Laundry Services
3. UCLA Regents (Baseball Stadium)
4. 20th Century Fox TV
5. Veterans Park Conservancy
6. Westside Breakers Soccer Club
7. Westside Services Parking
8. TCM Farmer’s Market
9. Filming Agreement ESAs

All land use agreements at GLA including the above nine agreements have or are being reviewed, to determine whether they are or can be made sufficiently Veteran focused (thru fair market value rent to VA and services directly benefitting Veterans and their families), and fit within the overall needs and vision for a revitalized campus. To date, the terminated agreements include Richmark Entertainment; the Farmer’s Market; various filming agreements; Sodexo laundry agreement; 20th Century Fox; Westside Breakers; TCM Farmer’s Market; and Veterans Garden (Rancho Santa Ana); have ended from a legal standpoint. This gives VA the right and authority to end related physical presence of those activities on the GLA campus. VA is also in negotiations with certain of the existing land use arrangements (e.g., Brentwood School, UCLA, and Veterans Park Conservancy), to leverage the significant Veteran focused potential of those relationships, through a combination of fair market rents to VA (that will be strictly used to help revitalize the campus if S. 2013 and H.R. 3484 are enacted), and Veteran focused consideration (such as in-kind consideration and use of existing and future facilities under those arrangements for purposes tied to recreation, rehabilitation, therapy, mental health support, legal and addiction services). The potential future of those agreements depends on VA and the underlying parties achieving adequate Veteran focus. Veteran focus means consideration that results in additional healthcare, benefits, services, or resources being provided directly to Veterans and/or their families on the GLA campus.

VA will continue its ongoing efforts to terminate any existing third party use arrangements that fall outside of providing direct benefits to Veterans. VA will do so in a manner that takes into account the legal parameters for doing so based on the underlying contract provisions at issue, and that is representative of being stewards of tax payer resources. As part of this process, we will also ensure that any third party Veteran focused arrangements provide VA with best value within a principally Veteran focused approach. Regarding such revenues, it will be VA's objective going forward, to work with Congress to ensure that if S. 2013 or H.R. 3484 is enacted, the revenues generated from these arrangements will be used strictly at the GLA campus. Doing so will help us maintain and renovate the campus in accordance with applicable law and regulations, along with funding that VA receives through other prioritization, budgetary, congressional authorization and appropriation legislative, and enactment processes.

Veteran Focus for Future Land Use Activities

Going forward, VA's efforts to revitalize the campus will only include 'Veteran focused' agreements, or agreements that result in additional healthcare, benefits, services, or resources being provided directly to Veterans and/or their families on the GLA campus. Monetary proceeds paid to VA alone will not constitute an acceptable agreement. Neither will agreements that only benefit the public at large, versus Veterans and their families. This concept will be a key consideration in terms of how existing and any future land use agreements are evaluated for approval, rejection, or termination.

VA's review of any proposed third party land use agreements will entail a linear, multilayered process, to ensure adequate due diligence occurs. At a minimum, each agreement will receive input from the following VA personnel:

- (1) West LA Chief of Outreach
- (2) VAMC Director
- (3) VISN 22 Director
- (4) SAO West Land Use Contracting Officer
- (5) The San Francisco Regional Counsel Office (now known as the Pacific District (North))
- (6) OGC's Real Property Deputy Chief Counsel in VA Headquarters

This Veteran focused intent for all land use agreements at GLA going forward is absolutely appropriate and warranted, particularly given the lessons learned from the August 2013 District Court for Central District of California decision in the Valentini v. McDonald case, which held that nine of the existing land use agreements were illegal as they did not constitute a valid sharing of "health-care resources" under VA's Enhanced-Sharing Authority. Given those two clear principles, and as part of the "Principles for Partnership Agreement" that settled the Valentini lawsuit in January 2015, VA Secretary Robert McDonald commissioned an extensive review of the land use agreements at GLA, including those nine voided agreements. The nine agreements voided under the Court decision were as follows:

1. Brentwood School
2. Sodexo Marriott Laundry Services
3. UCLA Regents (Baseball Stadium)
4. 20th Century Fox TV
5. Veterans Park Conservancy
6. Westside Breakers Soccer Club
7. Westside Services Parking
8. TCM Farmer's Market
9. Filming Agreement ESAs

All land use agreements at the GLA campus, including the above nine agreements, have or are being reviewed, to determine whether they are or can be made sufficiently Veteran focused (thru fair market value rent to VA and services directly benefitting Veterans and their families), and fit within the overall needs and vision for a revitalized campus. To date, the terminated agreements include Richmark Entertainment; various filming agreements; Sodexo laundry agreement; 20th Century Fox; Westside Breakers; TCM Farmer's Market; and Veterans Garden (Rancho Santa Ana). VA is also in negotiations with the principals of certain existing land use arrangements (e.g., Brentwood School, UCLA, Westside Services, and Veterans Park Conservancy), to help assess the potential for Veteran focused consideration, and compatibility with the Draft Master Plan. As appropriate for those arrangements deemed to be Veteran focused, VA will seek to negotiate deals that are good for Veterans, their families, and our nation's tax payers, through a combination of fair market value rents, and Veteran focused consideration (such as in-kind consideration and use of existing and future facilities under those arrangements for purposes tied to recreation, rehabilitation, therapy, mental health support, legal and addiction services). The consideration generated will help VA significantly to transform and revitalize the campus into a state-of-the art model for other VA campuses nationwide.

The GLA Chief of Outreach and Fiscal Office, and VISN 22 Capital Asset Manager shall ensure that all executed third party land use contracts and any subsequent amendments or modifications, are uploaded into VA's Capital Asset Inventory (or successor program), within 30 days of execution, or such other time as national VA policy guidance dictates. VHA West LA shall adhere to national VA policy guidance regarding VA real property contracts and land use issues, and will consult the VA's Office of General Counsel as necessary.

Lastly, VA will continue ongoing coordination and cooperation with congressional members and their staffs, and stay apprised of existing and future congressional legislation pertinent to issues at the GLA campus, such as S. 2013 and H.R. 3484 (known as the "Los Angeles Homeless Veterans Leasing Act of 2015") and California Proposition 41 (the "Veterans Housing and Homeless Prevention Bond Act of 2014"); and S. 833 and H.R. 1543 (known as the Department of Veterans Affairs Medical Facility Earthquake Protection and Improvement Act).

Figure H-1 below, displays the agreements that are under negotiations between VA and the pertinent land use entities, and will be subject to the provision of Veteran-centric services that directly support the medical, clinical, therapeutic, dietary, rehabilitative, legal, mental, spiritual, physical, recreational, research, and counseling needs of Veterans and their families. Figure H-2 shows agreements that have been terminated or where the termination is in process. Finally, Figure H-3 displays the agreements that have already agreed to provide such services and, as such, they have been given the provision to remain on GLA Campus according to the provisions described above. Figure H-4 displays the agreements that are expired or have been terminated.

Figure H-1: Possessory Use Agreements Under Discussion

| Possessory Use Agreements under Discussion | | | | | |
|--|---|---|--|--------------------------|--------------------------|
| | Agreement Partner | WLA VA Asset | Agreement Number | Term of Agreement | Agreement Status |
| 1 | American Red Cross ("ARC") (WLA) | ARC district headquarters located on the southwest corner of VA grounds between Ohio Ave and Dowlen Drive | Revocable license V691-88-044 LI | 4/15/1989 to 4/14/2039 | Active |
| 2 | Barrington Park (WLA) | City of Los Angeles 12 acre park includes dog run, baseball diamonds, athletic fields, parking lot | ESA V691S-5276 | N/A | None |
| 3 | Brentwood School (WLA) | 20 acre athletic complex includes a swimming pool, track field, tennis courts and baseball diamonds | ESA V691S-171 | 06/20/2000 to 06/19/2020 | Active |
| 4 | Golf Course (US Vets) (WLA) | Golf course located on north east area of campus includes Golf Club House (Building 329) and Golf Course Storage (Building 334) | ESA V691S-5310 (terminated) VA262-15-RL-003 | 9/15/2015 to 02/1/2016 | Active |
| 5 | Parrot Sanctuary (WLA) | Building numbers 512 and 521 and vicinity parking area | Revocable license VA-262-15-RL-0001 | 06/01/2015 to 02/01/2016 | Active |
| 6 | UCLA Cyclotron (WLA) | Medical Sharing Agreement | ESA V691S-5292 | 07/15/2009 to 07/15/2017 | Active |
| 7 | UCLA Jackie Robinson Stadium (WLA) | Baseball stadium on the east side of campus | ESA V691S-287 | Expired 5/14/2011 | Expired (month to month) |
| 8 | Veterans Park Conservancy (WLA) | Veterans Memorial Park, healing garden and incomplete amphitheater on 16 acres of the campus | 2014-1111 V691S-5294 | 11/11/2014-02/25/2015 | Expired |

Figure H-2: Possessory Use Agreements Termination in Process

| Possessory Use Agreements Termination in Process | | | | | |
|--|--|---|------------------|--------------------------|--------------------------------|
| | Agreement Partner | WLA VA Asset | Agreement Number | Term of Agreement | Agreement Status |
| 1 | Westside Services Parking (WLA) | Vehicular parking areas throughout campus | ESA V691S-154 | 04/01/2002 to 07/14/2022 | Terminated effective 5/26/2016 |

Figure H-3: Possessory Use Agreements Veteran Centric to Remain or Logistical to Remain

| Possessory Use Agreements Veteran Centric to Remain or Logistical to Remain | | | | | |
|---|--|---|---|--------------------------|------------------|
| | Agreement Partner | WLA VA Asset | Agreement Number | Term of Agreement | Agreement Status |
| 1 | Breitburn Energy/ Westside Operating Partners (WLA) | 2.5 acre site in an industrial area of the campus | License No. 691-97-010LI/ESA V691S-5140 | No End Date | Active |
| 2 | New Directions, Inc. (Bldg. 116) (WLA) | Building 116 | 691-95-010LE | 08/29/1995 to 08/31/2045 | Active |
| 3 | Ready America (WLA) | Building 259 | MOU (services only), not for use of RP | 10/01/2014-09/30/2017 | Pending |
| 4 | Salvation Army Bldg. 207 (WLA) | Building 207 | ESA V691S-5271 | 07/06/2006 to 07/05/2016 | Active |
| 5 | Salvation Army Bldg. 212 (WLA) | Building 212 | ESA 691-94-2-LI | 7/25/2004 to 7/24/2024 | Active |
| 6 | VA Desert Pacific Credit Union (WLA) | Building 500, Room 1404-1405 | Lease VA262-0-1060 | 11/1/2013 to 10/31/2016 | Active |
| 7 | South Coast AQMD (WLA) | Temporary trailer occupying 30' x 40' area on the south campus | Revocable license 2013-0401 | 04/01/2013 to 03/30/2018 | Active |
| 8 | Los Angeles County Metropolitan Transportation Authority (LACMTA) and California Dept. of Trans. (CALTRANS) | “Certain Real Property, northwest and southwest of Wilshire Blvd” (See Exhibit A for map of area) | Revocable License | 10/11/2011 – 12/31/2061 | Active |

Figure H-4: Possessory Use Agreements Expired or Not Applicable

| Possessory Use Agreements Expired or Not Applicable | | | | | |
|---|---|---|-------------------------------|--------------------------------------|--------------------------------------|
| | Agreement Partner | WLA VA Asset | Agreement Number | Term of Agreement | Agreement Status |
| 1 | Farmers Market (WLA) | N/A (no longer on WLA campus) | Expired-OLD ESA 691S-5275 | Expired 2009 | Expired |
| 2 | Filming agreements | N/A (no longer on WLA campus) | N/A | N/A | Expired |
| 3 | New Directions, Inc. Bldg. 257 (WLA) | N/A (New Directions to consolidate services in Building 116) | Expired-OLD 691-95-010LE | Expired 3/18/2002- 3/17/2012 | Expired |
| 4 | Richmark Entertainment (WLA) | Wadsworth and Brentwood Theaters | ESA V691S-159 | 9/23/2010 to 9/22/2016 | Terminated (effective 10/1/15) |
| 5 | Sodexo Marriott (WLA) | N/A (no longer on WLA campus) | ESA V691S-203 | 03/17/2000 - 03/17/2010 | Expired |
| 6 | Twentieth Century Fox (WLA) | N/A (no longer on WLA campus) | V691S-5278 | Terminated | Terminated 2011 |
| 7 | Veterans Garden (Rancho Santa Ana) (WLA) | N/A (no longer on WLA campus) | Expired-OLD V691S-5307 | Expired 10/23/2009 | Expired |
| 8 | Westside Breakers (WLA) | Macarthur Field and adjacent parking lot 38 located on the northwest side of campus | Expired-OLD ESA V691S-5309 | Expired 08/06/2010- 12/06/2011 | Expired |